



REZ2021-00005

Godsey Properties, Inc.

Staff Report for Planning Commission Public Hearing
Prepared May 25, 2021

This report is prepared by the Henrico County Planning Staff to provide information to the Planning Commission and the Board of Supervisors to assist them in making a decision on this application. It may also be useful to others interested in this land use matter.

I. PUBLIC HEARINGS:

Planning Commission:	February 25, 2021	Deferred at applicant's request
	March 11, 2021	Deferred at applicant's request
	April 15, 2021	Deferred at applicant's request
	May 13, 2021	Deferred at applicant's request
	June 10, 2021	Pending

II. IDENTIFICATION AND LOCATIONAL INFORMATION:

Requested Zoning:	R-5AC General Residence District (Conditional)
Existing Zoning:	A-1 Agricultural District
Total Acreage:	120.4 acres
Proposed Use:	Detached dwellings with zero lot lines
Location:	North line of Creighton Road at its intersection with Gordon Lane (Glenwood Golf Club)
Magisterial District:	Fairfield
Comprehensive Plan Recommendations:	Traditional Neighborhood Development (TND), and Environmental Protection Area (EPA)
Parcel No.:	804-726-5470 and 804-726-5470.001
Zoning of Surrounding Properties:	North: R-3AC (Glenwood Lakes); R-3 (vacant County parcel) South: R-4 (Glenwood Gardens, Glenwood Heights, other large-lot residential); A-1 (large-lot residential) East: R-3 (Huntwood); R-3C (Stony Run Estates); R-3AC (Stony Run Estates, and vacant parcel) West: R-4 (Central Gardens, County's Hidden Creek Park); R-5 (Mallard Greens apartments); City of Richmond
Staff Contact:	Livingston Lewis (501-5822)

III. SUMMARY OF STAFF REPORT:

This is a request to conditionally rezone 120.4 acres from A-1 Agricultural District to R-5AC General Residence District (Conditional) to allow the construction of up to ~~291~~ ~~320~~ detached zero-lot-line dwellings on the Glenwood Golf Club property north of the intersection of Creighton Road and Gordon Lane. The applicant has also filed companion case PUP2021-00001 to allow for the ability to adjust side yard setbacks within the proposed development. The 2026 Comprehensive Plan recommends Traditional Neighborhood Development (TND) and Environmental Protection Area (EPA).

In its present form, this proposal is neither a TND nor fully consistent with the area's most recent residential developments. If the project is to be a TND, much would need to be revised and other features and services would need to be included. A more suburban-style R-3 residential development could be appropriate in this location. ~~However, staff cannot support this request until if-issues related to density, lot area and width, dimensions, site layout, and lighting, and other topics listed in this report are addressed. Until these issues are resolved, staff cannot support this request.~~

The applicant has created a project website for the public and hosted a virtual community meeting on January 28, 2021 to discuss the proposed development with area property owners and residents. Approximately 35 citizens attended and asked questions related to: traffic, Creighton Road improvements, pedestrian safety, property values, landscape buffers, public amenities, and other topics. A second virtual community meeting has been scheduled for June 2, 2021 to review recent changes to the request. The Planning Commission deferred this item to the ~~June 10~~ ~~May 13~~, 2021 hearing at the applicant's request during their meeting on May 13 ~~April 15~~, 2021. ~~No new information has been received as of the writing of this report.~~

IV. LAND USE ANALYSIS AND IMPLICATIONS:

The subject site is a single 120.4-acre, A-1 zoned parcel on the north line of Creighton Road at its intersection with Gordon Lane. The property has served as Glenwood Golf Club since 1927 and is still operating as such today. The site has rolling topography and is mostly cleared, although notable specimen trees and other vegetated areas are distributed throughout the course, including along a stream and related floodplain bisecting the parcel.

The property is surrounded by single-family residential neighborhoods on all sides, in addition to a small county park. These include: Glenwood Lakes (R-3AC) and a vacant county parcel (R-3) to the north; Glenwood Gardens, Glenwood Heights (R-4), and large-lot residential (A-1) to the south; Huntwood (R-3) and Stony Run Estates (R-3C & R-3AC) to the east; Hidden Creek Park and Central Gardens (R-4), Mallard Greens Apartments (R-5), and the City of Richmond line to the west. Other features include a 60'-120' wide Dominion Power easement adjacent to the north, and a planting strip and paper street adjacent to the west.

The 2026 Comprehensive Plan recommends the site for Traditional Neighborhood Development (TND) and Environmental Protection Area (EPA). The TND designation envisions a master-planned community with a full array of unique amenities, ancillary services, and creative site design with a mixture of uses including residential, commercial, office, and open space/recreation. The TND recommendation on this site is intended to be part of a larger transformational project extending southward to Nine Mile Road.

The applicant is requesting R-5AC zoning to construct a small-lot residential neighborhood with up to ~~291~~ ~~320~~ homes (~~2.42~~ ~~2.66~~ du/ac gross density). As illustrated on the proffered concept plan ~~and the related park exhibit~~, ~~99~~ ~~106~~ units would be built northeast of the stream/floodplain, and ~~192~~ ~~214~~ units southwest of it – each of the two sections having two points of access on Creighton Road.

One recent revision to the layout is a proposed A westward connection to Carneal Street is also proposed to resolve a previous concern about having ensure no more than 50 homes would be on a single point of access. The applicant wishes to locate the dwellings in the middle of their respective lots instead of directly on one of the side lot lines, as is typically required by code for zero-lot-line units in the R-5A district. This altered building placement necessitates approval of the companion provisional use permit request, PUP2021-00001.

Other features shown on the layout ~~and park exhibits~~ include: mulch trails/sidewalks linking the two residential sections with Hidden Creek Park and Creighton Road, a central park feature along and extending from the existing stream, ~~a tot lot, two pavilion structures,~~ existing ponds and proposed BMPs along both sides of the stream, entrance signage and fencing, and two perimeter landscape buffers (25'-wide along Creighton Road, and 10'-wide along the western boundary). Although not shown on the layout, an existing 154-foot-tall cell tower would also be located between generally behind proposed lots 138 & 150-184/185.

In addition to the concept plan, the applicant's proffers would also ensure the following:

- Maximum of 291 ~~320~~ residential units;
- Minimum width of 70 feet or greater for 50% of the lots;
- Minimum area of 9,000 sq. ft. for 45% of the lots, and 11,000 sq. ft. for 25% of the lots;
- Minimum home size of 1,350 sq. ft. for 25 homes in the northeastern section, and 1,400 sq. ft. for all others ~~finished square feet;~~
- All homes to have a minimum 1-car garage (attached or detached, with enhanced architectural features, 12" visible brick/stone around the base, and side/rear loaded on corner lots);
- Covered front porches on 30% of dwellings;
- Two windows on every street-facing side façade;
- Homes with an appearance similar to one or more of 1846 different architectural examples (multi-page Exhibit B);
- Exterior materials may include vinyl (~~0.042"~~ 0.044" thick), dryvit, hardiplank, brick, and stone – with specific features treated as listed:
 - Front facades a minimum of 30% brick or stone on a minimum of 65% of homes;
 - Front steps of brick, concrete, or similar material;
 - Foundations and chimney bases of brick, stone, or stone veneer as listed:
 - Below the first floor and above grade for crawl space foundations,
 - Stepped down on basements and large-crawl exteriors (with minimums of 2 feet above grade on the sides, and 1 foot above grade on the rear);
- Foundation plantings, sodded front yards, and irrigated front and street-adjacent side yards;
- Street tree planting (approximately every 40 feet, minimum 1 per dwelling lot);
- Lights at the front of each lot (up to 7' tall);
- Hours of exterior construction limited to Mon.-Fri. 7:00a – 7:00p/dusk, Sat. 8:00a – 7:00p/dusk ~~Sat. Sun. 7:30a – 5:00p;~~
- Creighton Road right-of-way dedication, widening, and turn lanes;
- Sidewalks along Creighton Road and one side of all public streets within the subdivision;
- Other topics including buffer treatment/planting, underground utilities, BMP location and treatment, covenants, pedestrian and amenity phasing, C-1 zoning for floodplains, cantilevered features, driveway materials, entrance features, compliance certification, and severance.

The R-5A zoning district allows a 5,625 sq. ft. minimum lot area and 50' minimum lot width. As the request is currently proffered, 30% (87 total) of all lots could reflect this minimum area, and 50% (145 total) could have this minimum width. In addition, the companion provisional use permit case

(PUP2021-00001) would also allow for side yards as narrow as 8 feet. Additional information from the applicant related to the 291-unit revised concept plan includes the following statistical summary:

- The average lot size would be 10,618 sq. ft. (versus 9,100 sq. ft. on the previous layout), and approximately 34% of the lots would meet the R-3 minimum area standard (11,000 sq. ft.).
- The average lot width would be 76' (versus 71' on the previous layout), and approximately 46% of the lots would meet the R-3 minimum width standard (80').

As currently required, more lots could end up being closer to R-5A dimensions rather than R-3, and the majority would likely be some size in between. As measured from the proffered conceptual layout, many lots in this request would be 60' wide. The average lot would be 71' wide and 9,100 sq. ft. in size, with those along Creighton Road and adjacent to the western and northern perimeters being slightly larger. The companion provisional use permit case (PUP2021-00001) would also allow for side yards as narrow as 8 feet. For comparison, single-family neighborhoods within a half mile of this project have an average lot size of 15,600 sq. ft. and lot widths ranging from 65'-80' (most closer to 80'), with 10'-12' side yard setbacks. In terms of density, this project's ratio of 2.42 units per acre would be slightly higher than the 2.29 units per acre aggregate calculation from the six most recent residential developments approved in the area. Also, even with the stream and related park area, this project's 2.66 du/ac gross density would be higher than each of the six most recent residential developments approved in the area. The aggregate proffered density for these neighborhoods is 2.29 du/ac.

A variety positive changes have been made to the request in response to concerns previously listed in this report, however, recent changes also included the elimination of two pocket park areas and their related amenity features. Given the comparative development statistics, staff believes an a fully R-3 zoned neighborhood with convenient open space areas located throughout would be more suitable in this location. However, Regardless of the requested zoning district, staff encourages the applicant to also consider the following suggestions to strengthen the request:

- **Specimen Trees** – Locate and preserve mature specimen trees on the site and design lots around them to establish a more unique character for the neighborhood; and
- **Lighting** – Provide conceptual details for a comprehensive lighting plan, including complementary fixture styles and potential placements along sidewalks and in park areas. This will help ensure lighting serves as both an attractive pedestrian-scale amenity and a robust safety feature as recommended by the Division of Police, particularly throughout the expansive stream-side common area. Implementation may require specific HOA responsibilities and could be strengthened by exploring options related to the County's sanitary district in the area.
- ~~**Lot Dimensions** – Commit to a minimum average lot width and lot area more in keeping with surrounding neighborhoods (development wide and for higher visibility perimeter sections);~~
- ~~**Density** – As mentioned above, the gross density for this request is higher than the proffered densities for several of the most recently approved residential developments in the area. This is important not only in terms of consistency, but also as it relates to potential future capacity issues in area schools. Comments provided in Section VI of this report state that upon buildout of this project the capacity at Ratcliffe Elementary would likely exceed 100% and the capacity issues at Highland Springs High (currently over 100%) would be further exacerbated. To address these concerns, the total number of residential units in this project should be adjusted;~~
- ~~**Pedestrian Features** – Sidewalks should also provide linkages to Creighton Road at the two western entrances, as shown for both eastern entrances;~~

- ~~**Garage Foundation**~~ — For consistency of appearance with the dwelling structure and in keeping with other enhanced exterior garage features, each garage foundation should have 12 inches of brick/stone exterior finish above grade;
- ~~**Vinyl**~~ — For clarification, the proposed vinyl thickness of 0.042” would not be considered “high-grade”. To improve long-term maintenance, the vinyl thickness should be a minimum of 0.044”; and
- ~~**Construction Hours**~~ — Prohibit exterior construction on Sundays to reduce impacts on surrounding residences on all sides.

While aspects of this request are consistent with some elements of the TND designation (residential use, density, pedestrian and open space amenities), overall it does not reflect the full-featured variety and creative master-planned design of a true TND project with unique character and services. If the request is evaluated strictly as a suburban residential development placed among other single-family neighborhoods, it does have a degree of compatibility with adjacent uses. However, the proposed R-5AC zoning with smaller lot areas, widths, and setbacks would represent a departure from the most recent residential approvals near the site, ~~in terms of lot dimensions and proffered gross density~~. For these reasons staff does not support this request and does not believe it would be consistent with the 2026 Plan or surrounding development. If the applicant were able to achieve the suggested lot size and other changes above, staff could be more supportive.

The applicant has created a project website for the public and hosted a virtual community meeting on January 28, 2021 to discuss the proposed development with area property owners and residents. Approximately 35 citizens attended and asked questions related to: traffic, Creighton Road improvements, pedestrian safety, property values, landscape buffers, public amenities, and other topics. A second virtual community meeting has been scheduled for June 2, 2021 to review recent changes to the request. The Planning Commission deferred this item to the June 10 May 13, 2021 hearing at the applicant’s request during their meeting on May 13 April 15, 2021. ~~No new information has been received as of the writing of this report.~~

V. COMPREHENSIVE PLAN ANALYSIS:

Future Land Use Recommendation:

The 2026 Comprehensive Plan recommends Traditional Neighborhood Development (TND) and Environmental Protection Area (EPA) for the subject property. The proposed small-lot residential use is one of the residential types sometimes included in the residential mix of TND projects. However, the request does not reflect the full-featured variety and creative design of a true TND, nor is it consistent with the lot sizes and densities of the most recently approved residential development in the surrounding area.

Vision, Goal, Objectives, and Policies:

This request is not fully consistent with the following Goals, Objectives and Policies of the 2026 Comprehensive Plan:

- Land Use & Community Character Objective 10: The County will use development design guidelines and standards to enhance, promote and protect a high-quality community identity and aesthetics.
- Land Use & Community Character Objective 20: The County will promote standards and specifications that assure quality residential development, while providing acceptable alternatives for minimizing development expense.
- General Development Policy 1: Ensure public facilities are in place or will be available to adequately serve and support new development. Only approve new development upon demonstration that adequate public facilities, as established in this Plan, are or will be available at the time of completion to maintain the desired levels of service.

This request is most consistent with the following Goals, Objectives and Policies of the 2026 Comprehensive Plan:

- Land Use & Community Character Objective 9: The County will promote diverse housing types that meet the needs of a demographically diverse population.
- Land Use & Community Character Objective 17: The County will encourage compatible land use adjoining other jurisdictional boundaries.
- Land Use & Community Character Objective 18: The County will encourage landscaped buffers on lots, in addition to the minimum required setbacks along any boundary which lies adjacent to collector or arterial streets.
- Land Use & Community Character Objective 23: The County will encourage residential growth in areas where the physical conditions are conducive to development, (i.e. soils, drainage, topography).
- General Development Policy 6: Encourage compatible infill, redevelopment and development in proximity to existing development and services when appropriate to avoid “leap frog” growth patterns which may result in higher service costs.
- Mixed-Use Keystone Policy 5: Encourage the incorporation of public open spaces in Mixed-Use developments. Promote the design of informal passive spaces and formal or active open spaces, for example plazas, parks, walking/jogging trails, to function as integrated and functional elements of the overall development. Passive open space used to complement the built environment and preserve natural features is also encouraged.

VI. PUBLIC SERVICE AND SITE CONSIDERATIONS:

Major Thoroughfare and Transportation:

The following is the approximate number of new trips expected by the proposed development of ~~291,320~~ single family houses:

Total weekday trips = 2,800 (1,400 in / 1,400 out) ~~3,030 (1,515 in / 1,515 out)~~

Creighton Road will need to be widened to 33.5 feet from centerline with right turn lanes into each access point. Sidewalk will need to be installed on Creighton Road along the parcel. Right-of-way dedication totaling 40 feet from centerline plus additional for right turn lanes will be necessary for the roadway improvements. Adequate sight distances must be met at each access point.

Drainage:

All proposed improvements must comply with all applicable Public Works plan of development requirements. The site must comply with applicable stormwater quality and quantity requirements. A County Capital Project (Creighton Road Improvement Project) has been identified in this area. Development projects on this site must be consistent with the County Capital Project. Based on information in the County’s GIS, there appears to be 100-year floodplain present on the site. It appears there may be an SPA Stream and/or an RPA stream on the property. Based on GIS, Waters of the U.S. and/or hydric soils are present (indicating possible wetlands). Corps of Engineers and DEQ permits may be required.

Public Utilities:

There is a 21-inch sewer line going through the middle of the site and a looped 12-inch water line in Creighton Road. Each has adequate capacity to serve the proposed development.

Department of Community Revitalization:

No comments.

Schools:

The plan allocates 291 single family dwellings. The creek running through the property is currently a boundary for both middle and high school attendance zones, so these zones could be divided. The split would be approximately 65% for Fairfield and Highland Springs and 35% for Wilder and Henrico High School. The residences will be in the following attendance zones:

School Level	Percentage by Zone	School Name	2019 Membership	Functional Capacity	Single Family Student Yield Ratios Per 100 units	Total Student Yields*
Elementary	100%	Ratcliffe	436	494	28.1	81.77
Middle	65%	Fairfield	1,092	1,348	16.9	32.45
High	65%	Highland Springs	1,826	1,788	21.7	41.66
Middle	35%	Wilder	832	982	16.9	16.73
High	35%	Henrico	1,511	1,884	21.7	21.48

Student yield information is created using student yield data for similar developments. Single family developments in the Fairfield District, per 100 units, yield 28.1 elementary students, 16.9 middle school students, and 21.7 high school students.

Based on September 30, 2019 membership and capacity figures shown above, Ratcliffe Elementary is currently at 88.3% of capacity. The analyses shown above indicates the proposed development would potentially yield an additional 81.77 elementary students. This development could potentially put Ratcliffe Elementary over 100% of capacity at buildout. Trailers, redistricting, and/or other capacity relief options may be needed in the future at the elementary school level if this occurs.

Approximately 65% of the proposed project will fall in the Fairfield Middle and Highland Springs High School zones. Fairfield is currently at 81.0% of capacity. The analyses shown above indicates the proposed development would potentially yield 32.45 additional middle school students. Over the next five years, membership/capacity ratios for Fairfield Middle are expected to stay under 90%. Highland Springs High is currently at 102.1% of capacity. The analyses shown above indicates the proposed development would potentially yield an additional 41.66 high school students. Relief will be provided by the opening of the new Highland Springs High School with the addition of approximately 200 seats.

Approximately 35% of the proposed project will fall within the Wilder Middle and Henrico High School zones. Wilder Middle School is at 84.7% of capacity. The analyses shown above would potentially yield 16.73 additional middle school students. Over the next five years, membership/capacity ratios for Wilder Middle are expected to stay below 95%. Wilder Middle can support this development. Henrico High School is currently at 80.2% of capacity. The analyses shown above indicates the proposed development could potentially yield 21.48 additional high school students. Over the next five years, membership/capacity ratios for Henrico High School are expected to stay below 90% capacity. Henrico High School should be able to accommodate students from this development.

The plan allocates 320 single family dwellings. The residences will be in the following attendance zones:

School Level	School Name	2019 Membership	Functional Capacity	Single Family Student Yield Ratios Per 100 units	Total Student Yields*
Elementary	Ratcliffe	436	494	28.1	89.92
Middle	Fairfield	1,092	1,348	16.9	54.08
High	Highland Springs	1,826	1,788	21.7	69.44

Student yield information is created using student yield data for similar developments. Single Family Developments in the Fairfield District, per 100 units, yield 28.1 elementary students, 16.9 middle school students, and 21.7 high school students.

Based on September 30, 2019 membership and capacity figures shown above, Ratcliffe Elementary is currently at 88.3% of capacity. The analysis shown above indicates the proposed development would potentially yield an additional 89.92 elementary students. This development could potentially put Ratcliffe Elementary over 100% of capacity at buildout. Trailers, redistricting, and/or other capacity relief options may be needed in the future at the elementary school level if this occurs. Fairfield Middle is currently at 81.0% of capacity. The analysis shown above indicates the proposed development would potentially yield 54.08 additional middle school students. Over the next five years, membership/capacity ratios for Fairfield Middle are expected to stay under 90%. Highland Springs High is currently at 102.1% of capacity. The analysis shown above indicates the proposed development would potentially yield an additional 69.44 high school students. Over the next five years, membership/capacity ratios for Highland Springs High are expected to stay over 100%. Some relief will be provided by the opening of the new Highland Springs High School, but additional capacity trailers, redistricting, and/or other capacity relief options may be needed in conjunction with other projects in the area.

Division of Fire:

No comments.

Division of Police:

If installed when the site develops, lighting is the most economical and effective form of crime prevention available. We suggest modifying Proffer #16 to include language ensuring streetlights meet the Illuminating Engineering Society's (IES) standards for residential streets. The applicant is encouraged to contact and work with the Community Services Unit of the Police Division in addition to the Planning Department on proffer language.

Recreation and Parks:

No park or recreation facilities, historical, or battlefield impact. Informational comments: The Glenwood Golf course began operation in 1927. A phase I archaeological assessment was conducted in 2017 for a telecom tower. The survey is listed as archaeological site (44HE1196) in the Virginia Department of Historic Resources. The report indicates the site is not eligible for National Register or Virginia Landmark Register listing due to lack of both overall physical integrity and historic significance. The area consists of debris scatter and there is evidence of disturbance caused by development of the course infrastructure. The north west corner of the property is adjacent to the Henrico County Park, Hidden Creek and will have no adverse impact on the park.

Libraries:

This request falls within the service area of the Fairfield Area Library that was part of the 2016 bond referendum. This facility, opened in October 2019, offers expanded meeting, study, and conference room space; digital media lab; enhanced children's and teens' space plus a drive-up pickup/drop off services. As these types of developments continue to be built and the population in the area continues to grow, Fairfield Area Library can meet the increased service demands.

General Services:

No comments.

Topography and Land Characteristics Adaptability:

The development potential is limited in portions of the site where sloping topography leads to a stream and 100-year floodplain bisecting the property.

1. **Concept Plan.** The Property shall be developed in general conformance with the concept plans (3 sheets) entitled “Glenwood, Fairfield District, Henrico County, Virginia, Overall Plan, SHEET NO. C1”, “Glenwood, Fairfield District, Henrico County, Virginia, Layout Plan (West), SHEET NO. ~~C2~~C2”, “Glenwood, Fairfield District, Henrico County, Virginia, Layout Plan (East), SHEET NO. C3”, and “Glenwood, Fairfield District, Henrico County, Virginia, Layout Plan (East), Details, SHEET NO. ~~C3~~” (the “East Layout Plan”), C4”, each attached hereto, prepared by the Bay Companies and dated ~~January 19, 2021, and revised February 16~~ May 6, 2021 (see case file) and attached hereto (collectively, the “Concept Plan”). The exact locations, footprints, configurations, size, and details of the lots, drives, roads, buildings and other improvements shown on the Concept Plan are illustrative and are subject to change and may be updated from time to time as required for final engineering design, compliance with governmental regulations or as otherwise approved at the time of subdivision or plan of development review of the Property.

2. **Buffer Requirements.**
 - a. **Overall.** Any buffer within the Property required herein shall be natural and landscaped, including supplemental plantings, signage, berms and/or fencing and other purposes as approved at the time of landscape plan review. Roads, sidewalks, utility easements (including drainage), common owned fencing/walls adjacent to any roads or drives, and signage shall be permitted within such buffer; provided, any such road or utility easements shall be extended generally perpendicular through such buffer unless otherwise approved at the time of subdivision or plan of development approval. All buffers, whether in common area or a lot, shall be maintained by the association applicable to the Property.

 - b. **Twenty-Five Foot Buffer.** The area shown on the Concept Plan as “25’ BUFFER” shall be a minimum twenty-five (25) foot natural and landscaped buffer and planted at a minimum to the level of a transitional buffer 25. Such buffer shall be permitted to have decorative fencing or walls along Creighton Road.

 - c. **Ten Foot Buffer.** The area shown on the Concept Plan as “10’ BUFFER” shall be a minimum ten (10) foot natural and landscaped buffer and planted at a minimum to the level of a transitional buffer 10. Such buffer shall be located in common area and not within a lot.

3. **Street Trees.** Street trees, a minimum caliper of 2 ½ inches at the time of planting, shall be planted along any street or on a lot adjoining the public right-of-way within the Property, at intervals of not more than 40 feet on center, unless otherwise approved at the time of subdivision or plan of development review. A conceptual landscape plan shall be developed and submitted for review and approval at the time of subdivision or plan of development review. Every lot with a dwelling unit shall have a minimum of one such tree planted in the

front yard.

4. **Underground Utility Lines.** All utility lines on the Property shall be underground, except for existing utilities, junction boxes, meters, utility lines in wetlands areas, and utility lines required to be above ground by the utility company.
5. **Best Management Practices.** Best Management Practice structures shall be located outside of any landscaped buffer within the Property, except as a landscaping amenity or water related feature, or unless approved at the time of subdivision or plan of development review. Any wet pond best management practice structures shall include an aeration feature to move water within such structure.
6. **Protective Covenants.** Prior to or concurrent with the recordation of the initial subdivision plat approved for the Property, a document setting forth covenants (the "Covenants") shall be recorded in the Clerk's Office of the Circuit Court of Henrico County, Virginia (the "County"), setting forth controls on the development and maintenance of the Property and establishing one or more owners' associations (the "Association"). All common amenities and common areas shall be maintained by the Association for the benefit of the owners, residents, tenants and their guests.
7. **Common Amenities.** Common amenities, including pedestrian areas, trails, walks, ~~gazebos or pavilions,~~ benches, pedestrian bridges, ~~tot lot~~ and other amenities shall be provided throughout the development to provide pedestrian connectivity and common areas throughout the entire project, all as generally shown on the Concept Plan ~~and on the plan entitled "Glenwood, Fairfield District, Henrico County, Virginia, Park Detail, SHEET NO. C4", prepared by the Bay Companies and dated December 26, 2018 (see case file) and attached hereto.~~ A pedestrian and amenity phasing plan shall be submitted for review and approval as part of the first subdivision or plan of development request for the Property. This plan shall include the design, material and location of pedestrian elements. Trails/walks within the Property shall be constructed of concrete, exposed aggregate concrete, asphalt, stone, pavers, or brick or soft surfaces such as mulch, pea gravel, boardwalks, crushed gravel, or loose stone. Common amenities shall be designed to include amenities that add high visual interest, such as, but not limited to: decorative paving units; decorative pedestrian-style lighting; benches; landscaped areas; plantings; bike racks; and other pedestrian elements.
8. **C-1 Conservation District.** Prior to filing the final subdivision plan, the Owner/Applicant shall apply to rezone such portions of the Property situated within the 100-year floodplain/special flood hazard area to a C-1 Conservation District. The location and limits of such portions of the Property shall be established by definitive surveys approved by the Department of Public Works.
9. **Hours of Construction.** The hours of exterior construction ~~(such as earth moving, grading or land clearing activities)~~ including operation of bulldozers and other earthmoving equipment, shall be between 7:00 a.m. and 7:00 p.m., ~~(or dusk, whichever occurs first),~~ Monday through Friday, and ~~7:30~~8:00 a.m. and ~~5~~7:00 p.m. ~~(or dusk, whichever occurs first)~~ on Saturday, except in emergencies or where unusual circumstances require extending the specific hours in order to complete work such as concrete pours or utility connections, ~~and on Sundays from 7:30 a.m. to 5:00 p.m., home building construction activities (specifically not including any~~

~~earth moving, grading or land clearing activities).~~ Signs, in both English and Spanish, stating the above referenced provisions shall be posted and maintained at all entrances to the Property prior to any land disturbances activities thereon.

10. **Elevations/Architecture/Conceptual Site Plan.**

- a. Various design elements will be incorporated to provide variety among individual units including, but not limited, to the following:
 - i. varying colors of brick, brick accents, and stone (including, but not limited to, keystones, soldier courses and accent coloring different from any main brick or stone coloring); and
 - ii. varying colors of siding, and varying window designs.
- b. The exterior walls of all dwellings shall be constructed with brick, stone, dryvit, high-grade vinyl (a minimum of ~~.0420.044~~" nominal thickness as evidenced by manufacturer's printed literature), hardiplank or an equivalent, a combination thereof or such other materials approved by the Director of Planning.
- c. All trim shall be of a low maintenance material.
- d. All front steps shall be constructed of brick, concrete or such similar maintenance free material as approved by the County.
- e. Development of dwellings on the Property shall be similar to the architectural appearance shown on the renderings on Exhibit B, dated January 13, 2021 (see case file), unless otherwise requested and specifically approved at the time of subdivision or plan of development review or later by the Director of Planning.
- f. At least sixty-five percent (65%) of the single family dwellings shall have front elevations constructed with a minimum of thirty percent (30%) brick or stone.
- g. At least thirty percent (30%) of the single family dwellings shall have covered front porches.
- h. Any side façade facing a street right of way shall have at least two (2) windows except when the side façade includes a garage.

11. **Density.** There shall be no more than ~~320291~~ single family detached dwelling units developed on the Property. At least 50% of the lots shall have a lot width of 70 feet or greater, 45% of the lots shall have a lot area of at least 9,000 square feet, and 25% of the lots shall be greater than 11,000 square feet. Such percentages shall be measured and achieved at development of 50% of the possible lots submitted for subdivision approval, at 75% of the possible lots submitted for subdivision approval, and 100% of the possible lots submitted for subdivision approval.

12. **Minimum House Size.** Any single family detached dwellings shall have a minimum of 1,400 square feet of finished floor area. Provided, however, no more than 25 dwellings shall be permitted to be a minimum of 1,350 square feet of finished floor area so long as such dwellings are located in the area shown on Sheet C3 of the Concept Plan.

13. **Foundations.** The exposed exterior portions of any exterior residence foundation below the first floor level which is visible above grade, shall be constructed of brick or stone (including veneer). All homes shall be built on a crawl space foundation, other than for garages and basements, provided for basements and tall crawl space foundations the foundation shall be permitted to step

down along the sides and rear of the dwelling (a minimum of 24” of exposed brick or stone along the sides of the dwelling and a minimum of 12” of exposed brick or stone along the rear of the dwelling). There shall be a minimum vertical height of twelve (12) inches of brick, stone or stone veneer above grade utilized on garages to present the appearance of a foundation. Planting beds shall be constructed along the entire front elevation of a home, except for areas used for porches, garages and architectural features. For corner lots, planting beds shall also be constructed along the entire side elevation that faces the street, except for areas used for porches, garages, heating and cooling equipment and architectural features. The planting beds shall contain landscaping consisting primarily of shrubs and ornamental ground coverings and plantings.

14. **Chimneys and Cantilevered Features.** No chimneys or gas vent units shall be cantilevered. The exposed portions of all fireplace chimneys shall be of brick, stone, or siding similar to the exterior treatment of the dwelling. The exposed bases of all chimneys shall be of the same material as the dwelling foundation. Architectural features may extend beyond the facade if supported by decorative corbels.
15. **Driveways.** All driveways shall be constructed of asphalt, concrete, exposed aggregate material or pavers made of brick, stone or concrete.
16. **Lighting.** A lighting fixture shall be provided by the home builder on the front yard of each lot no greater than ten (10) feet from the front boundary line, individually connected to each home, which fixture shall not exceed seven (7) feet in height above grade level. Lighting shall be non-glare, decorative in style, and residential in character.
17. **Yards.** All front yards shall be sodded, exclusive of mulched flowerbeds and landscaping. An irrigation system shall be provided in all front yards and street side yards on corner lots.
18. **Sidewalks.** A four foot wide sidewalk will be installed with a planting strip, a minimum of two (2) feet, between the sidewalk and the curb of any public street. This sidewalk shall be installed along at least one side of all public streets within the subdivision. There shall be a sidewalk connection at each of the entrances into the project to the sidewalk along Creighton Road.
19. **Garages.** All single family detached units will have a minimum of a one (1) car garage either attached or detached. All garages on corner lots shall load from the side or rear of the home. All front and side loaded garages shall have an upgraded garage door, which have a minimum of two (2) of the following enhanced features, windows, raised panels, decorative panels, arches, hinge straps or other architectural features on the exterior that enhance the entry. Flat panel garage doors are prohibited. No two homes adjoining each other side by side shall have identical design elements on their front loading garage doors. The exterior walls of any detached garage shall be constructed with the same material as the dwelling on that lot. Any areas over the garage doors exceeding four (4) feet in height will include either a decorative gable vent or vinyl trim board to break up the visual mass.

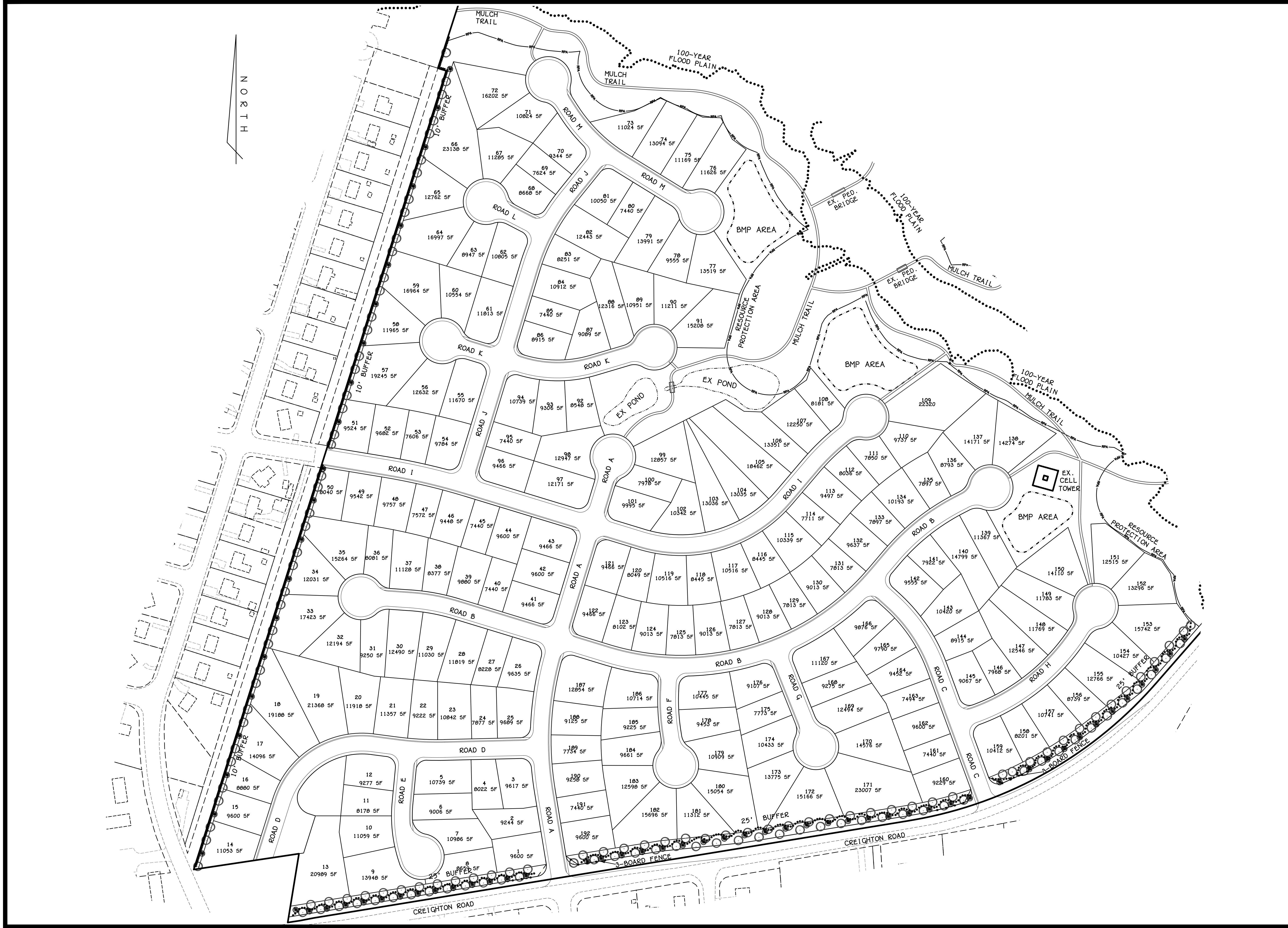
20. **Road Improvements.** The following road improvements and dedications shall be made by the applicant as required by the County at the time of any Plan of Development or subdivision review, unless otherwise approved by the Director of Public Works:

- a. Forty (40) feet of right-of-way on the west side of Creighton Road, measured from the centerline of that part of Creighton Road immediately adjoining the Property, shall be dedicated to the County. Should any of the dedicated right-of-way not be used for a new road within thirty (30) years of the date of the dedication, title to the dedicated property will revert to the applicant or its successors in interest.
- b. Creighton Road shall be widened to the width of twenty (20) feet from the centerline of that part of Creighton Road immediately adjoining the Property.
- c. Right turn lanes shall be provided off of Creighton Road at each entrance into the development.
- d. Subject to obtaining all required governmental approvals and permits, a sidewalk shall be constructed along Creighton Road immediately adjoining the Property pursuant to current County road standards and specifications for sidewalks.

21. **Entrance Features.** At least one of the entrances to the property from Creighton Road shall be ~~a boulevard entrance~~ complemented with landscaping and a monument entrance feature with decorative fencing consistent with the features shown as ~~“”~~“MONUMENT SIGN DETAIL” on Sheet C4 of the East Layout Concept Plan. All other entrances to the Property from Creighton Road shall be complemented with landscaping and a monument entrance feature with decorative fencing consistent with the features shown as either “MONUMENT SIGN DETAIL” or “FENCE SIGN DETAIL” on Sheet C4 of the East Layout Concept Plan.

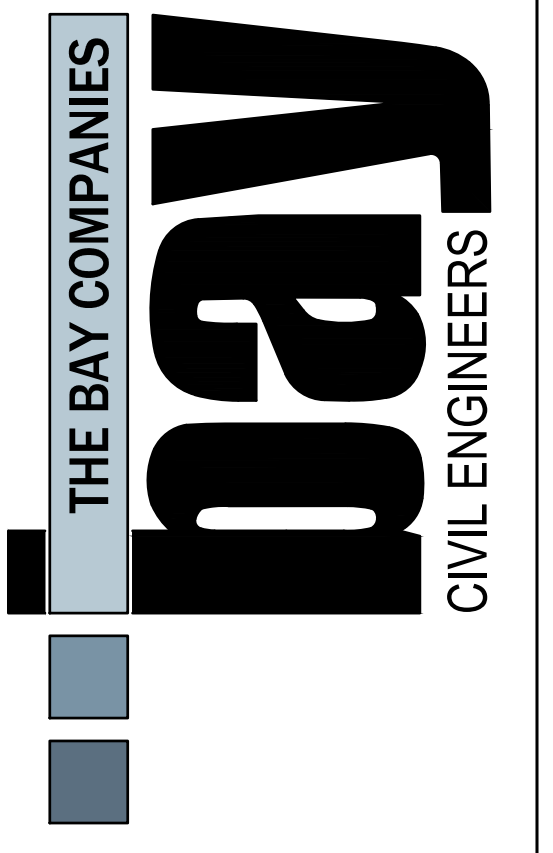
22. **Compliance Certification.** Upon request by the Director of Planning, the Applicant shall provide the County with the necessary calculations that illustrate that the dwellings and lots constructed on the Property are in compliance with all of the allowable and required percentages set forth in these proffers.

23. **Severance.** The unenforceability, elimination, revision or amendment of any proffer set forth herein, in whole or in part, shall not affect the validity or enforceability of the other proffers or the unaffected part of any such proffer.



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FILED: 18068_zoning_plans
 DATE: May 6, 2021
 REVISED:
 REVISED:
 REVISED:



8500 BELL CREEK ROAD
 MECHANICSVILLE, VA 23116
 (804) 569-7060
 FAX: (804) 569-7061

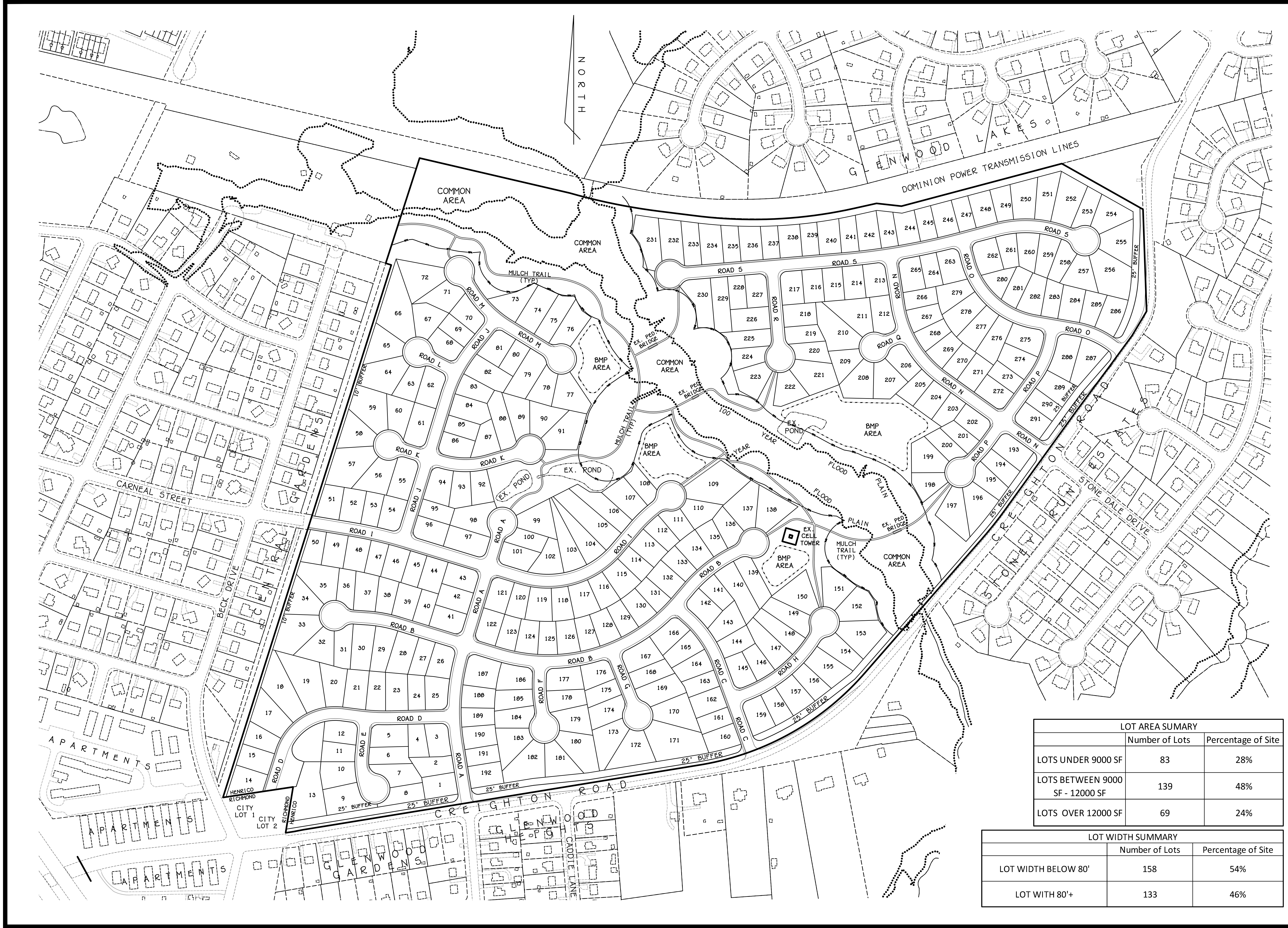
PROJECT:
Glenwood

Fairfield District
 Henrico County, Virginia

SHEET:
 Layout
 Plan
 (West)

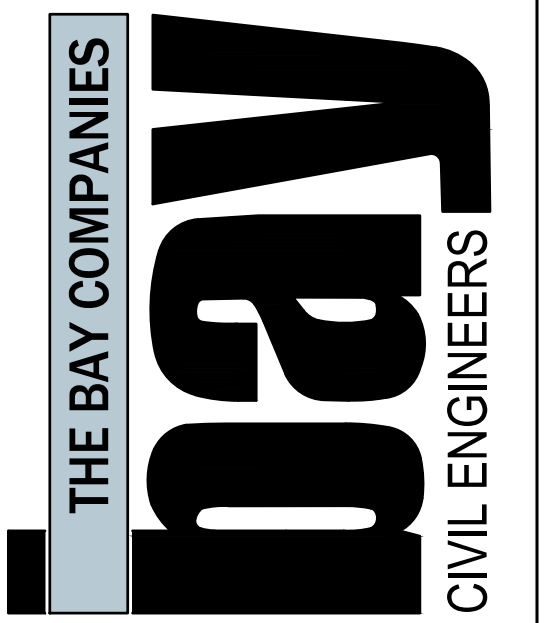
SHEET NO:
C2

JOB NO. 18068



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FILED: 18068_zoning_plans
 DATE: May 6, 2021
 REVISED:
 REVISED:
 REVISED:



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 MECHANICSVILLE, VA 23116
 (804) 569-7060
 FAX: (804) 569-7061

PROJECT:
Glenwood

Fairfield District
 Henrico County, Virginia

SHEET:
 Overall Plan

SHEET NO:
C1

JOB NO. 18068

LOT AREA SUMMARY		
	Number of Lots	Percentage of Site
LOTS UNDER 9000 SF	83	28%
LOTS BETWEEN 9000 SF - 12000 SF	139	48%
LOTS OVER 12000 SF	69	24%

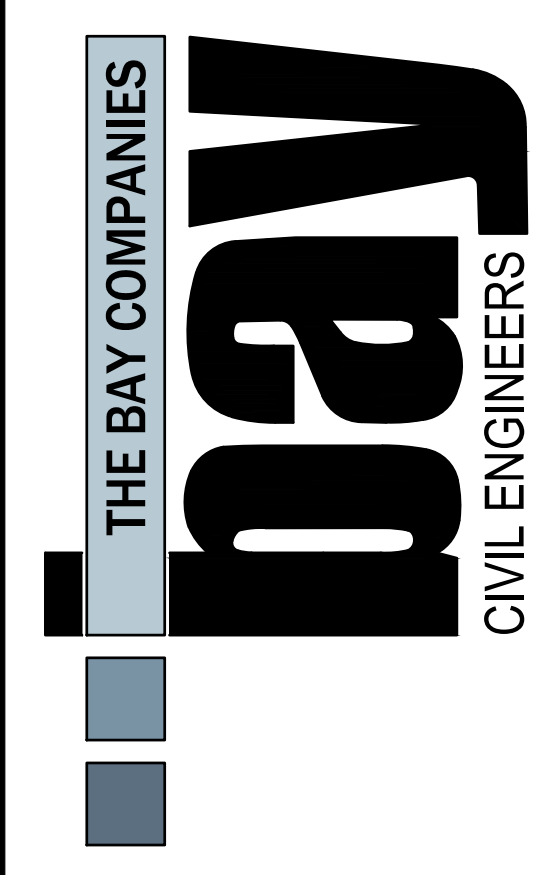
LOT WIDTH SUMMARY		
	Number of Lots	Percentage of Site
LOT WIDTH BELOW 80'	158	54%
LOT WITH 80'+	133	46%

NORTH



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PROJECT:

Glenwood

Fairfield District
 Henrico County, Virginia

SHEET:

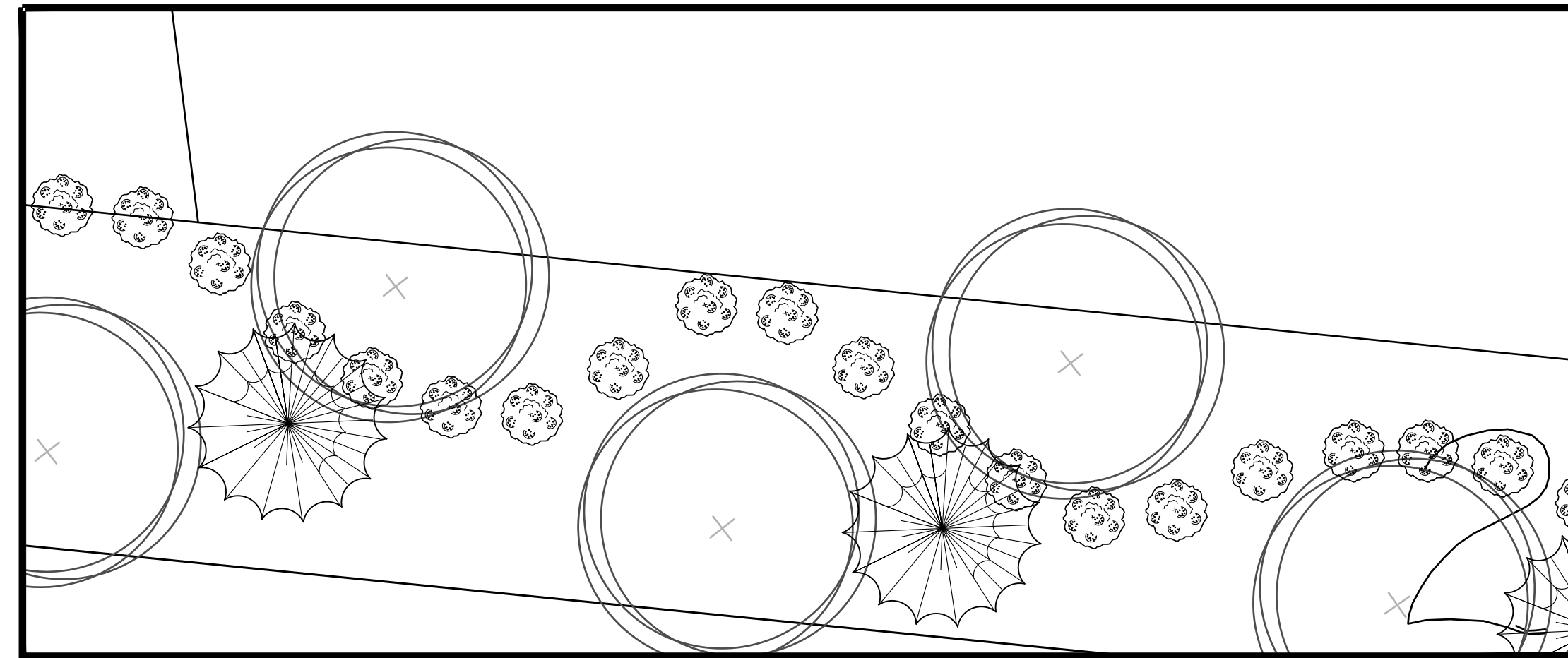
Layout Plan
 (East)

SHEET NO:

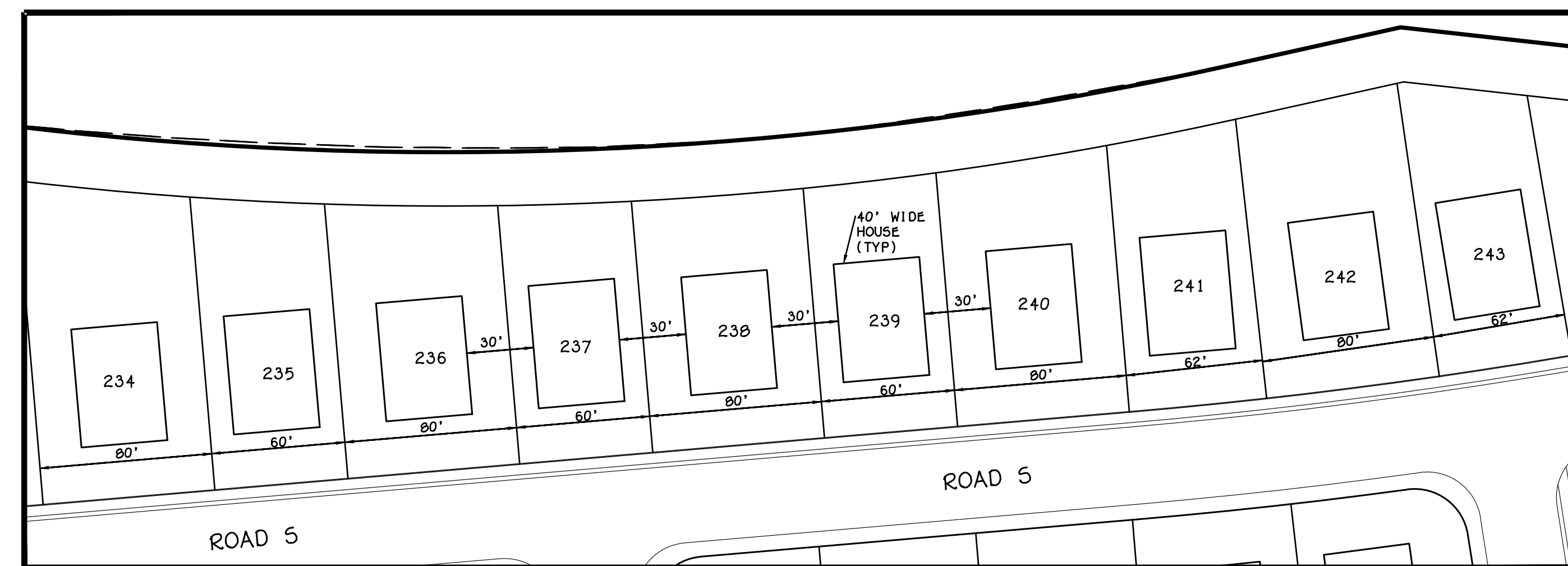
C3

JOB NO. 18068

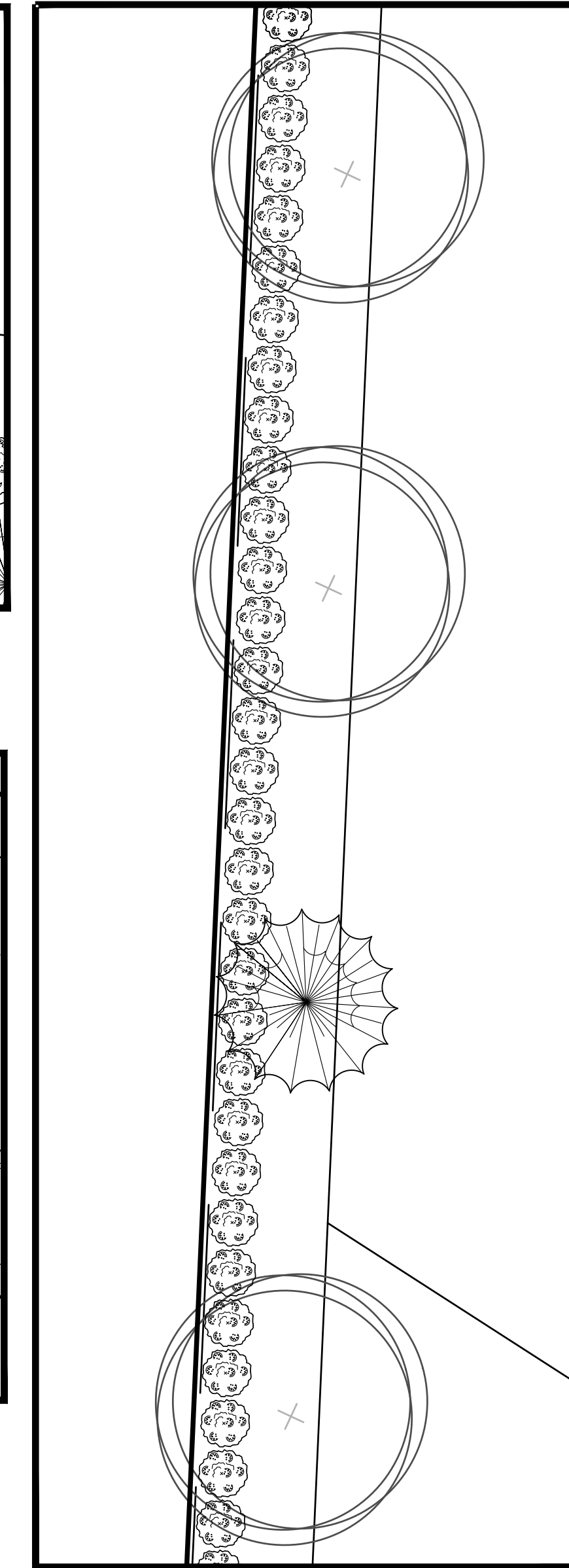
25' BUFFER



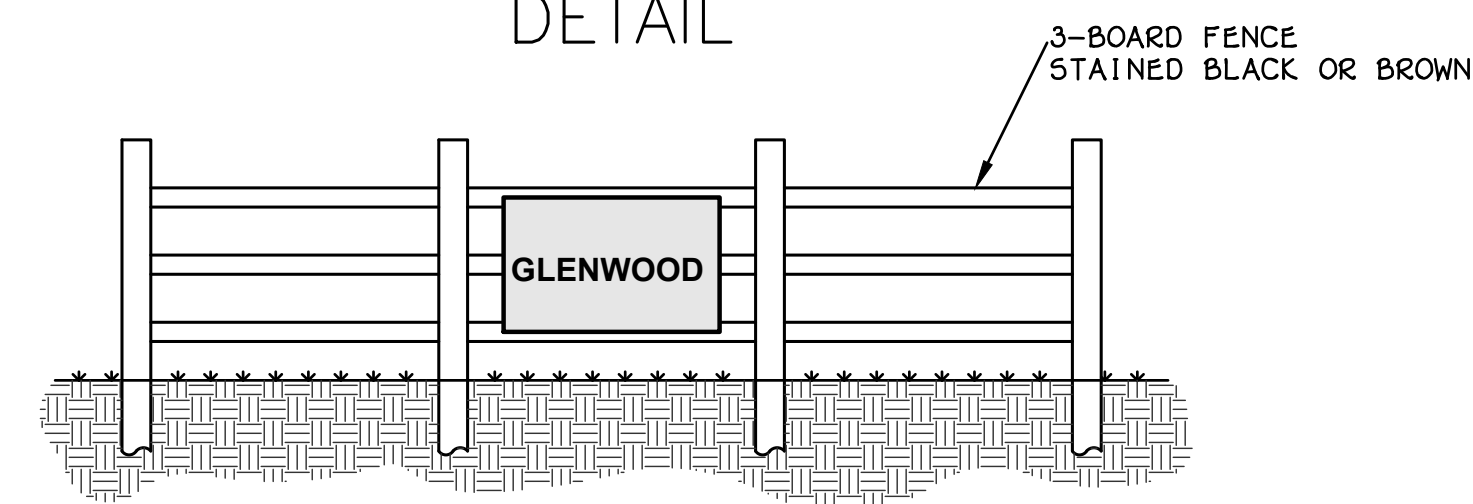
LOT WIDTH
DETAIL



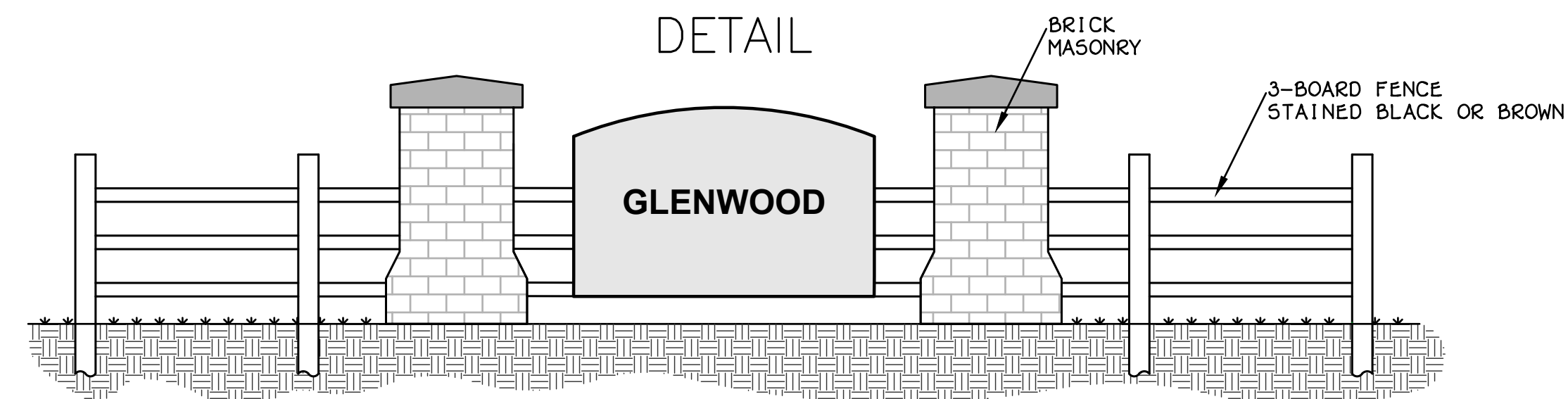
10' BUFFER



FENCE SIGN
DETAIL



MONUMENT SIGN
DETAIL



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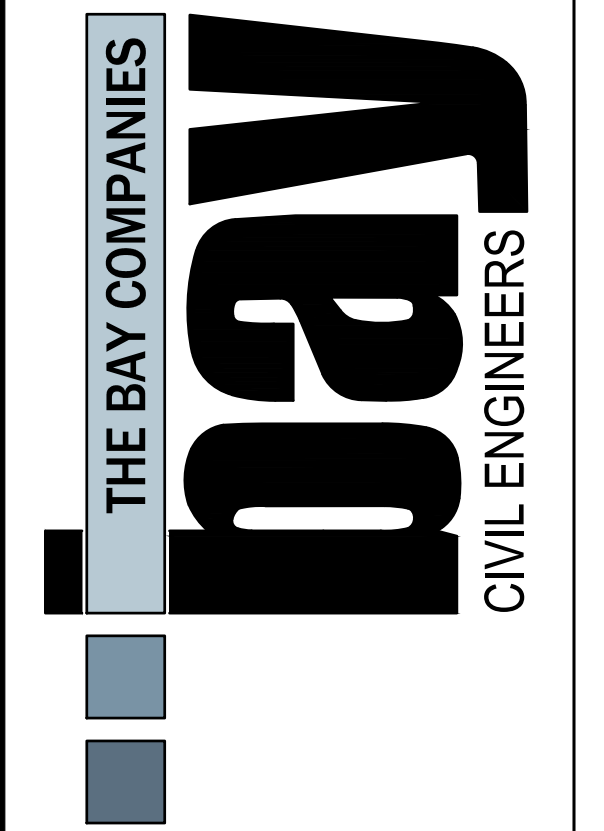
FILED: 18068_zoning_plans

DATE: May 6, 2021

REVISED:

REVISED:

REVISED:



8500 BELL CREEK ROAD
MECHANICSVILLE, VA 23116
(804) 569-7060
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PROJECT:

Glenwood

Fairfield District
Henrico County, Virginia

SHEET:

Details

SHEET NO:

C4

JOB NO.

18068

EXHIBIT B

January 13, 2021

Glenwood Golf Club, Inc.

3100 CREIGHTON ROAD, RICHMOND, VA 23223



Alberti Ranch



Bramante Ranch



Adrian





Allegheny





Columbia



Ballenger





Genoa



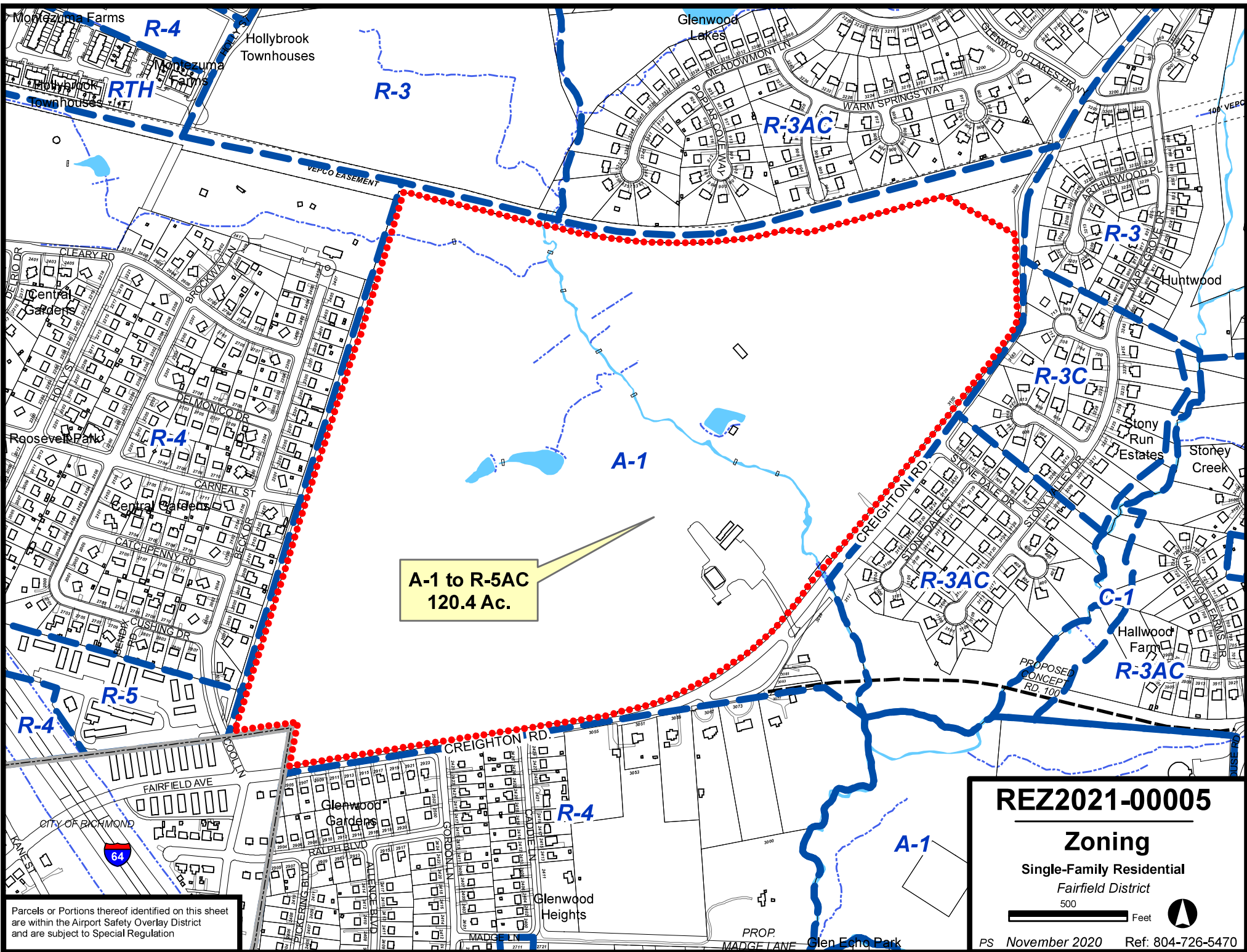


Hudson

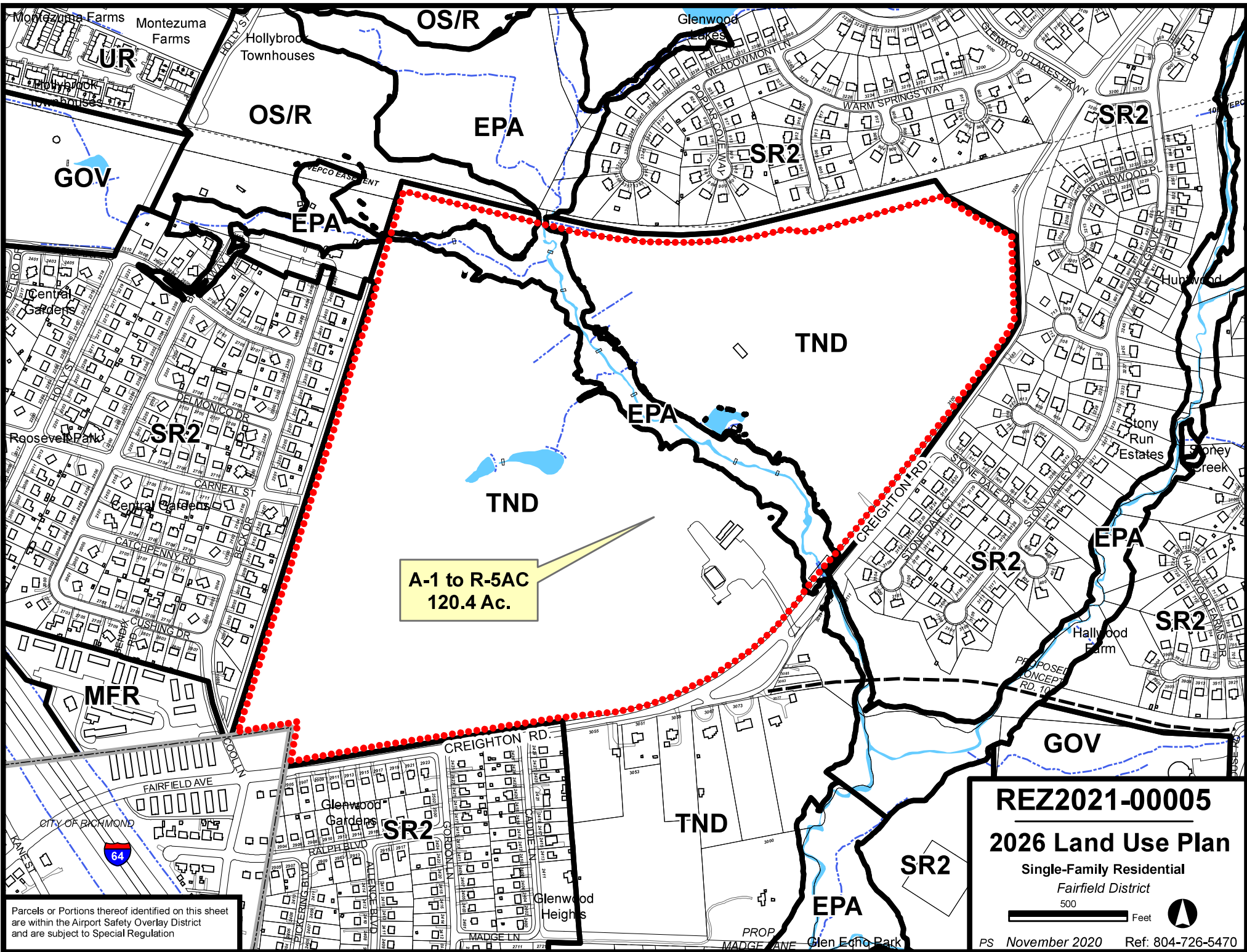








Parcels or Portions thereof identified on this sheet are within the Airport Safety Overlay District and are subject to Special Regulation



A-1 to R-5AC
120.4 Ac.

Parcels or Portions thereof identified on this sheet are within the Airport Safety Overlay District and are subject to Special Regulation

REZ2021-00005
2026 Land Use Plan
 Single-Family Residential
 Fairfield District
 500 Feet
 PS November 2020 Ref: 804-726-5470