



PUP-2024-102211

101 Laburnum LLC.

Staff Report for Board of Supervisors Public Hearing
Prepared July 28, 2025

This report is prepared by the Henrico County Planning Staff to provide information to the Planning Commission and the Board of Supervisors to assist them in making a decision on this application. It may also be useful to others interested in this zoning matter.

I. PUBLIC HEARINGS:

Planning Commission:	February 13, 2025	Deferral at Applicant's Request
	March 13, 2025	Deferral at Applicant's Request
	May 15, 2025	Deferral at Applicant's Request
	July 10, 2025	Recommended for Denial
Board of Supervisors:	August 12, 2025	Pending

II. IDENTIFICATION AND LOCATIONAL INFORMATION

Request:	Automobile fuel sales
Existing Zoning:	B-1 Business District <i>Note: Subject parcel is in the Enterprise Zone</i>
Total Acreage:	0.785 acres
Location:	Southwest intersection of W Laburnum Avenue and Alma Avenue
Magisterial District:	Fairfield
Comprehensive Plan Recommendations:	Commercial Arterial
Parcel No.:	791-738-2113
Zoning of Surrounding Properties:	North: R-4 One-Family Residence District South: R-4 One-Family Residence District and B-1 Business District East: B-3 Business District West: R-4 One-Family Residence District

III. SUMMARY OF STAFF REPORT:

This is a request for a Provisional Use Permit (PUP) to allow fuel sales to a convenience store on a 0.785-acre parcel located at the southwest intersection of W. Laburnum and Alma Avenues. The subject property is zoned B-1 Business District, and the 2026 Comprehensive Plan recommends Commercial Arterial (CA). Convenience stores are allowed by right in the B-1 District; however, fuel pumps and sales require approval of a Provisional Use Permit (PUP).

While this request would be consistent with other commercial uses in the area and the Commercial Arterial designation, staff has concerns related to its compatibility with and impact on adjacent residential properties. Additionally, a previously completed concept plan review (POD-2024-102209) identified challenges related to meeting ordinance and design standards that have not been addressed at this time. Given the site's close proximity to the neighboring residential area, staff believes the proposed use could negatively impact the adjacent single-family residences. In addition, concerns remain regarding the site's access points, buffering, and public safety, among others. For these reasons, staff does not support this request.

No community meeting was held for this request.

At the July 10, 2025, Planning Commission public hearing, the Planning Commission recommended denial of this request because of the proximity to existing homes and the limited area to provide suitable buffering.

IV. LAND USE ANALYSIS AND IMPLICATIONS:

The subject property is located on the south line of W. Laburnum Avenue, between Alma Avenue and Plymouth Drive. The property was previously used as an auto repair business and is currently vacant. The applicant proposes to repurpose the existing building and maintain a majority of the parking lot footprint as part of this request. Residential neighborhoods zoned R-4 One-Family Residence District are located directly to the south and west, and to the north across W. Laburnum Avenue. Across Alma Avenue to the east is property zoned B-3 and B-1, currently used as a convenience store and a laundromat, respectively.

The existing building is planned to be renovated as a convenience store, which is an allowed use in the B-1 District and is not subject to this request. The applicant is requesting a Provisional Use Permit under Sections 24-4324.B and 24-2306 of Chapter 24 of the County Code to allow fuel sales on the subject property. The provided concept plan dated October 11, 2024, depicts a layout of the proposed fuel canopy and four existing access points (one at Plymouth Drive, two at W. Laburnum Avenue and one at Alma Drive.) The fuel canopy is shown to the west of the existing building, adjacent to the westernmost access point at W. Laburnum Ave. Parking is shown abutting the southern property line, adjacent to neighboring residences.

The convenience store space would use the existing 2,140 SF building which is located at the southeast corner of the site and adjacent to the Alma Avenue access point. Façade, paving and lighting improvements are proposed. The exterior appearance and architectural material of the building would be consistent with the provided architectural elevations. This includes brick veneer siding of the convenience store building and industry standard fueling canopies.

The applicant has already submitted a concept plan, POD-2024-102209 for review. Comments provided related to the proposed use, site layout, public safety, and other development standards. Specifically, comments included restricting access to W. Laburnum Avenue, ensuring adequate internal drive aisle width, providing sidewalks along the property's W. Laburnum Avenue and

Plymouth Drive frontages, and providing code-required interior and perimeter landscaping. Additionally, a Transitional Buffer 35 would be required along the southern property line, adjacent to residential properties, whereas the concept plan shows parking in this area. With the fuel station's increased parking requirements, staff does not anticipate the applicant being able to accommodate both the necessary parking spaces and the required setbacks and buffers on the site within the space provided. The applicant has additionally not addressed any of these comments as of the date of this report.

The provided concept plan shows the location of the proposed fuel canopy at less than 100' from adjacent residences, which would be significantly closer than other similar developments. This proximity draws several concerns from staff related to noise, light, and criminal activity, as the Division of Police has noted higher calls for service for convenience stores in the area. Additionally, the site's layout would make it difficult to adequately buffer the proposed use from neighboring residential properties.

As detailed above, staff has concerns related to its compatibility with and impact on nearby residential properties. Therefore, while the request could be considered consistent with the 2026 Comprehensive Plan designation of Commercial Arterial, it would not be consistent with policies regarding the protection of adjacent properties from new development. Approval of this PUP could also set a precedent for locating fuel pumps in close proximity to residential properties. While the surrounding area would benefit from redevelopment of the property, staff notes the limited opportunity for mitigating potential impacts related to fuel sales due to the site's size and configuration. Additionally, concerns identified during both the concept plan review and the PUP process have not been addressed by the applicant. For these reasons, staff does not support this request.

No community meeting was held for this request.

At the July 10, 2025, Planning Commission public hearing, the Planning Commission recommended denial of this request because of the proximity to existing homes and the limited area to provide suitable buffering.

V. COMPREHENSIVE PLAN ANALYSIS:

2026 Comprehensive Plan Recommendation:

The 2026 Comprehensive Plan recommends Commercial Arterial (CA) for the subject site. While some commercial uses of a proper intensity and form could be consistent with the CA designation, the proposed use would not be appropriate at this site due to its potential negative impact on the neighboring residential area.

Vision, Goals, Objectives, and Policies:

This request is not consistent with the following Goals, Objectives and Policies of the 2026 Comprehensive Plan:

- General Development Policy 2: Encourage the design of new development to be compatible with and complementary to existing land uses. Incompatible uses should not be closely located. Site design and buffering should be used to the maximum extent feasible to reduce the impacts on adjacent properties, especially between residential and nonresidential areas.
- Land Use and Community Character Objective 39: Protect existing development and residential areas from encroachment by incompatible or inappropriate land uses.
- Residential Keystone Policy 2: Focus on promoting a high quality of life for residents by providing safety and stability within neighborhoods.

VI. PUBLIC SERVICE AND SITE CONSIDERATIONS:

Major Thoroughfare and Transportation:

Both access points onto Laburnum Avenue should be closed since they do not meet access management requirements. Sidewalk needs to be proffered and installed along the parcel's frontage of Laburnum Avenue and Plymouth Drive. Drive aisles for two-way traffic need to be 24 feet wide. The current layout may not accommodate vehicular movements through the parking lot. The conceptual plan appears to indicate a one-way travel pattern which is not acceptable.

Drainage:

All proposed improvements must comply with all applicable Public Works plan of development requirements. Land disturbance greater than 2,500 sq feet will require an Environmental Compliance Plan. The site must comply with applicable stormwater quality and quantity requirements. Analyze and provide solutions to minimize drainage impacts on downstream properties. Traffic Engineering will determine if any right-of-way dedication or road improvements are required. VDOT will determine if any road improvements are required along Laburnum Avenue.

Public Utilities Services:

Property is served by water and sewer. Developer should confirm inverts of the existing sewer as some of the sewer in this area can be shallow. The condition of the on-site sewer should be confirmed

Schools:

The proposed Provisional Use Permit does not have an impact on residential developments nor educational uses.

Division of Fire:

No comments

Division of Police:

E. Laburnum Avenue area near St. Luke apartments (Delmont Street) is a focus area for Henrico Police due to the number of firearm offenses. To identify crime trends for nearby convenience stores, Henrico Police pulled calls for service and crime data for the following three locations.

1. 7-Eleven at 1 E. Laburnum Avenue
2. Racetrack Convenience Store at 201 E. Laburnum Avenue
3. S & M Convenience Store at 401 E. Laburnum Avenue

Henrico Police responded to these three convenience stores on 541 occasions since January 1, 2020, indicating these locations are high call generators. Crimes from these properties include multiple murders, assault with a gun, aggravated assault (inc. on police), brandishing a firearm, aggravated assault by mob, burglary-forcible, larceny (grand, petit, catalytic converter) auto theft, fraud, vandalism, weapons, narcotic drug violations (heroin, marijuana, synthetic scheduled substances, cocaine, paraphernalia), gambling (skill game operation), drunk in public, fighting, discharge firearm, drug overdoses, highway – firearm highway robbery and commercial robbery. Because of the intensity of crimes and the high volume of calls for service at nearby convenience stores, it is necessary for the Police Division to work with planning staff to develop conditions that enhance safety and security for this project.

Recreation and Parks Department:

No Comments

Libraries:

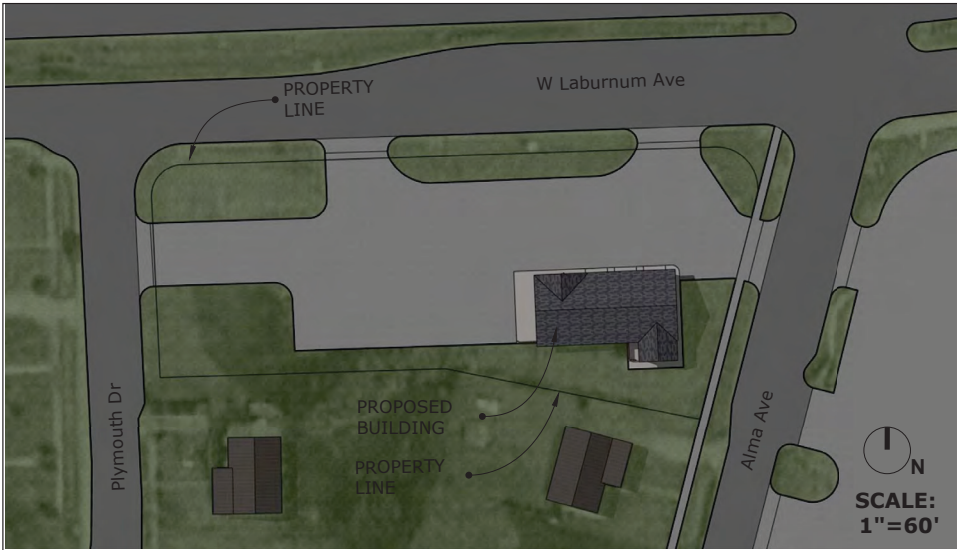
No Comments

Community Revitalization:

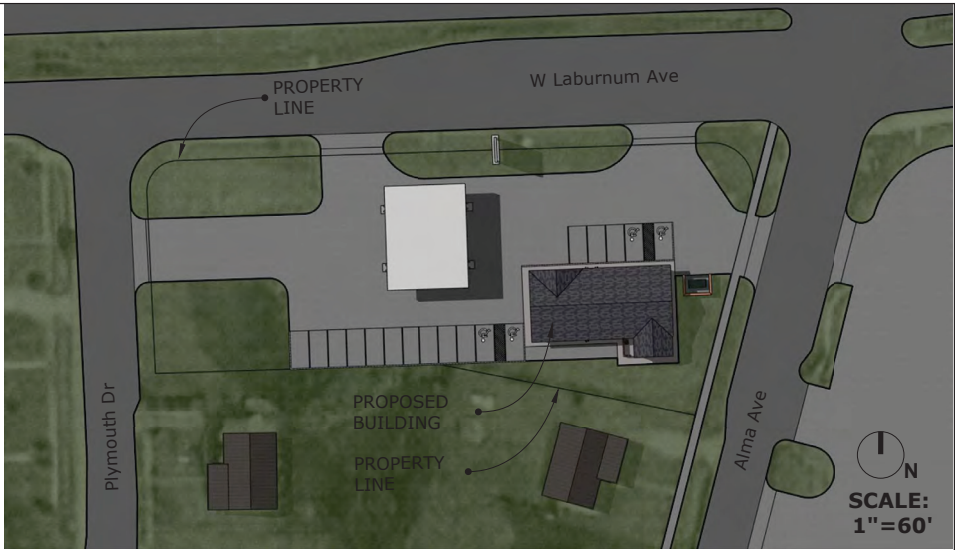
No Comments

Topography and Land Characteristics Adaptability:

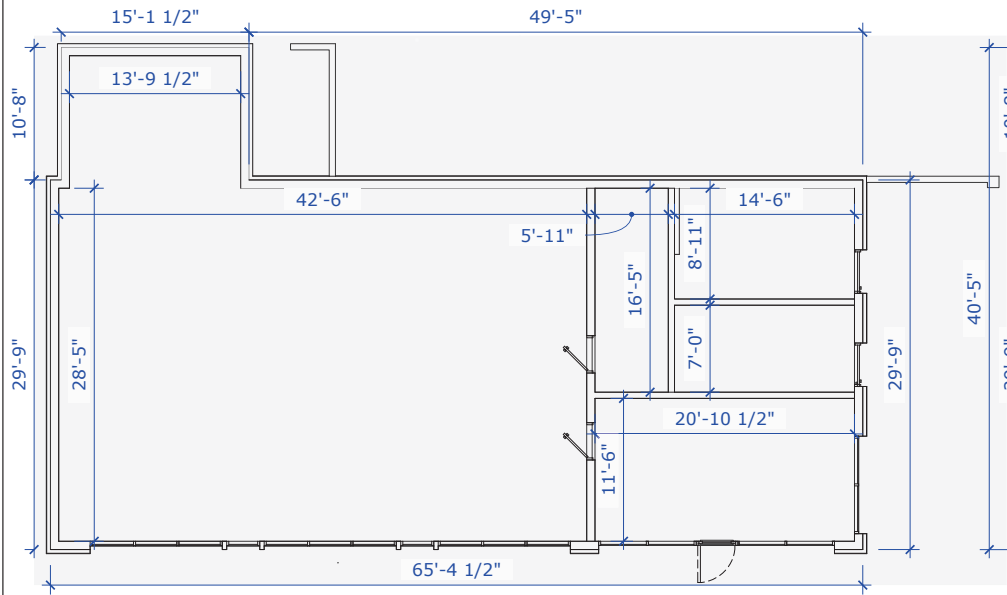
Meeting minimum design standards outlined in the Zoning Ordinance could be challenging based on the location and configuration of the subject property.



SITE PLAN BEFORE RENOVATION

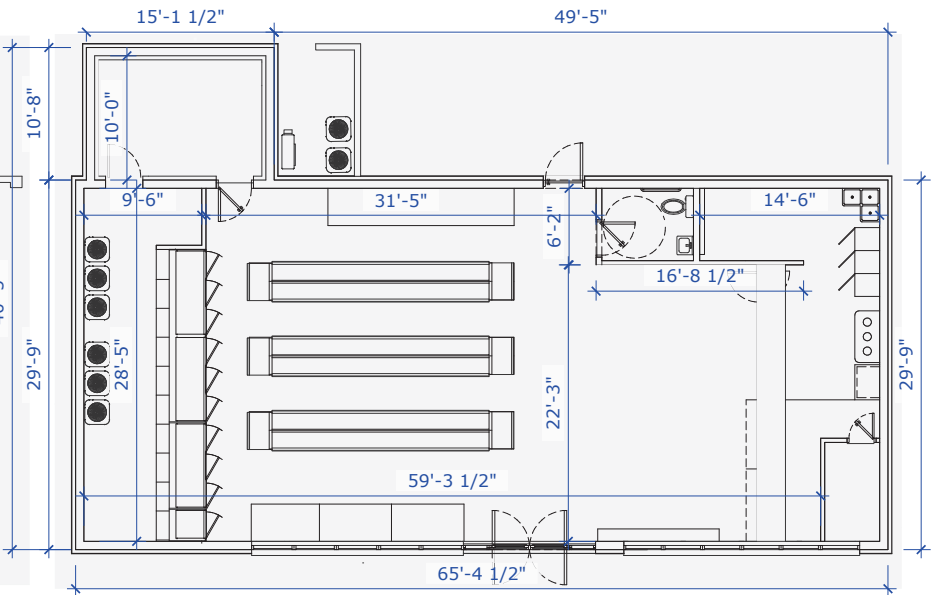


SITE PLAN AFTER RENOVATION



FLOOR PLAN BEFORE RENOVATION

scale: 1" = 10'



FLOOR PLAN AFTER RENOVATION

scale: 1" = 10'



BEFORE/AFTER RENOVATION

REVISIONS	
MM/DD/YY	REMARKS
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DENNIS NIKOLAEV ARCHITECT

GAS STATION MARKET
101 W Laburnum Ave. & Alma Ave, Richmond, VA

BEFORE/AFTER RENOVATION

October 11, 2024



ARTISTIC IMPRESSIONS FOR REFERENCE ONLY
MAY DIFFER WITH DRAWINGS

RENDERING A

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DENNIS NIKOLAEV ARCHITECT
GAS STATION MARKET 101 W Laburnum Ave. & Alma Ave. Richmond, VA

RENDERING A
October 11, 2024

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ARTISTIC IMPRESSIONS FOR REFERENCE ONLY
MAY DIFFER WITH DRAWINGS

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DENNIS NIKOLAEV ARCHITECT

GAS STATION MARKET
101 W Laburnum Ave. & Alma Ave. Richmond, VA

RENDERING B

October 11, 2024

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ARTISTIC IMPRESSIONS FOR REFERENCE ONLY
MAY DIFFER WITH DRAWINGS

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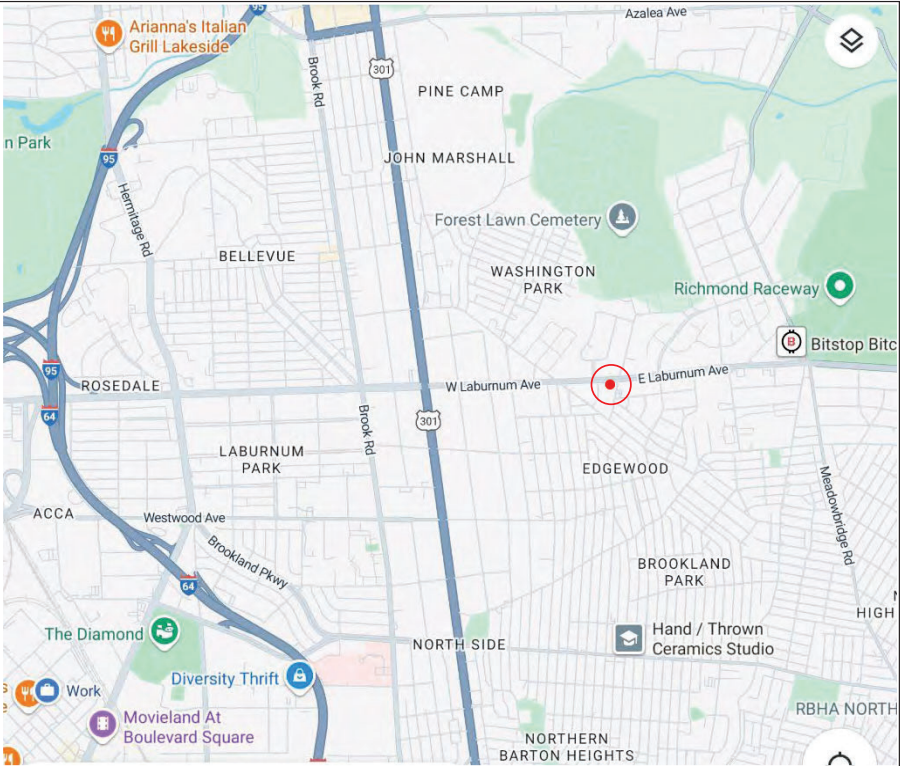
DENNIS NIKOLAEV ARCHITECT
GAS STATION MARKET 101 W Laburnum Ave. & Alma Ave. Richmond, VA

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October 11, 2024

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SITE PLAN



VICINITY MAP



REVISIONS		REMARKS
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DENNIS NIKOLAEV ARCHITECT
GAS STATION MARKET
101 W Laburnum Ave. & Alma Ave, Richmond, VA

SITE PLAN
October 11, 2024

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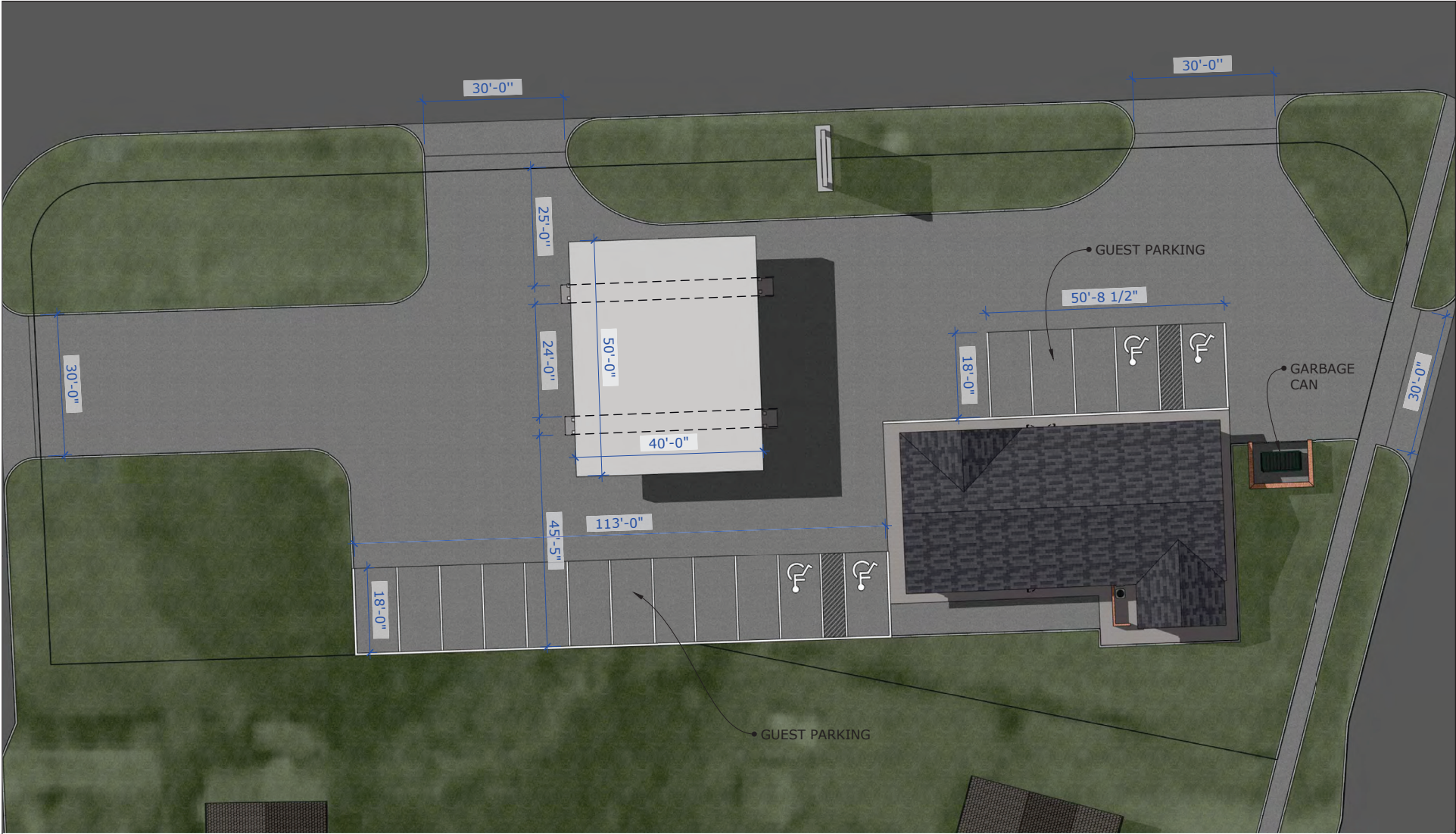


A	EXISTING CONDITION		DENNIS NIKOLAEV ARCHITECT		REVISIONS	
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GAS STATION MARKET

101 W Laburnum Ave. & Alma Ave. Richmond, VA

October 11, 2024



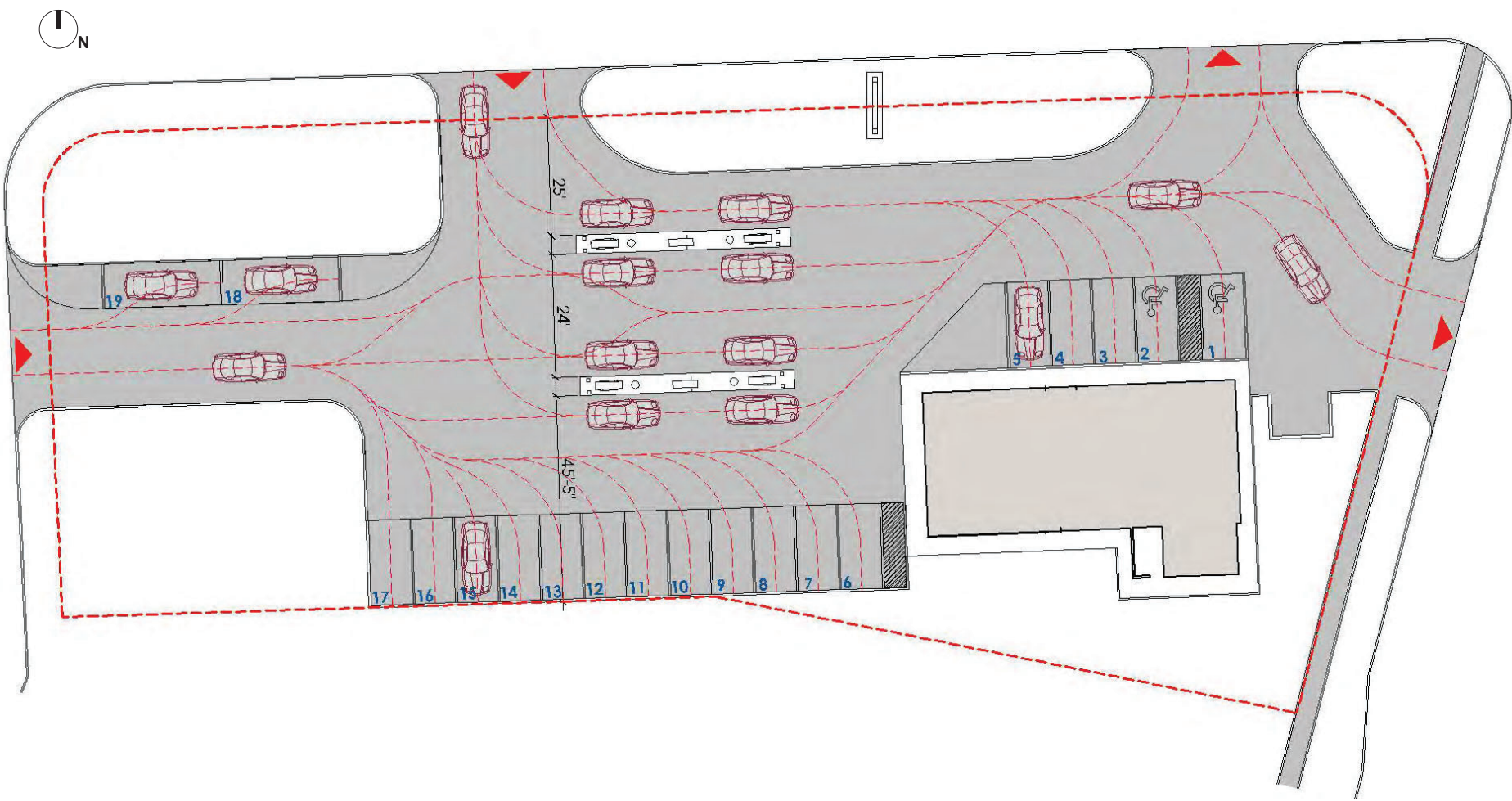
SCALE:
1"=20'
LANDSCAPE PLAN

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DENNIS NIKOLAEV ARCHITECT	
GAS STATION MARKET	
101 W Laburnum Ave. & Alma Ave. Richmond, VA	

LANDSCAPE PLAN	
October 11, 2024	

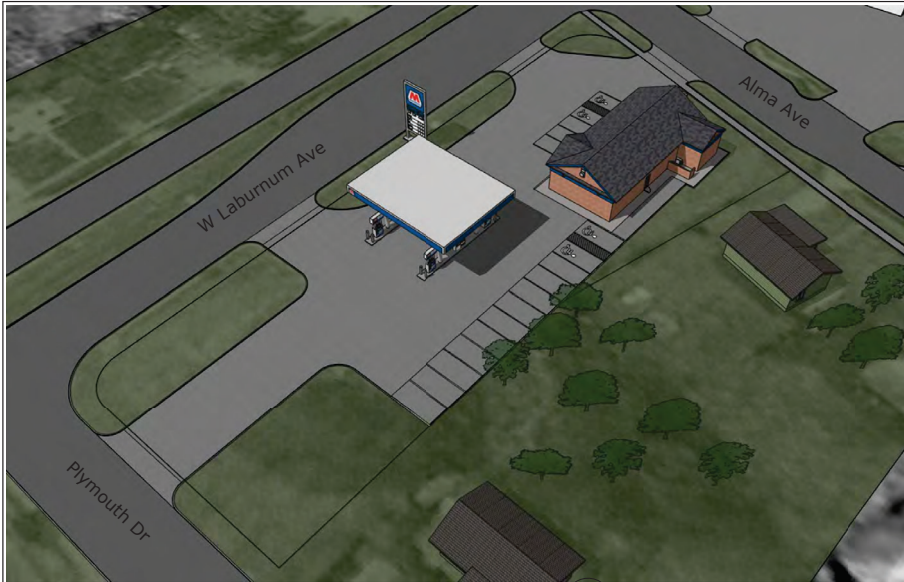
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TRAFFIC AND PARKING SCHEME

TRAFFIC AND PARKING SCHEME		DENNIS NIKOLAEV ARCHITECT		REVISIONS	
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October 11, 2024



SW AERIAL VIEW



SE AERIAL VIEW



NE AERIAL VIEW



N AERIAL VIEW

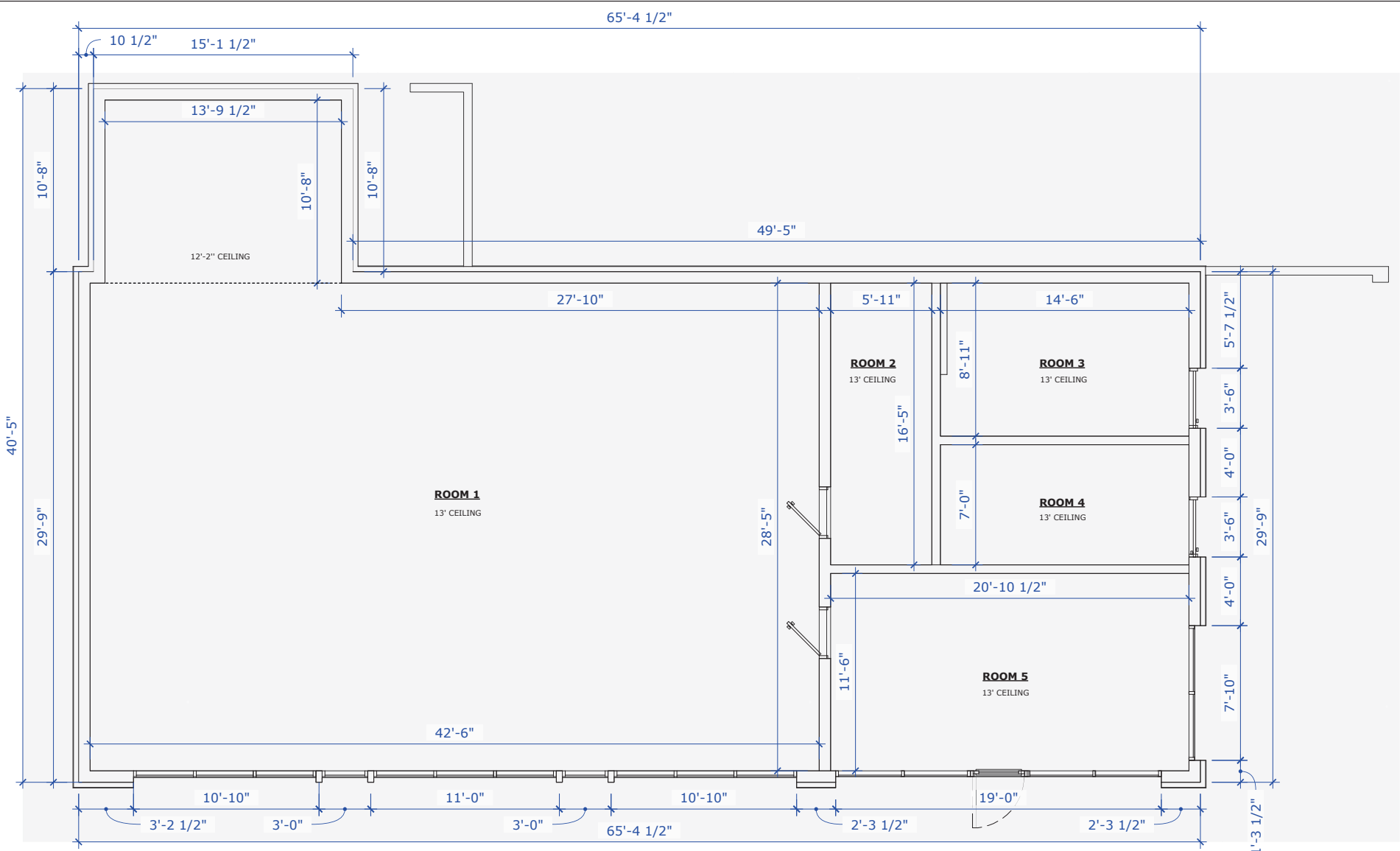
AERIAL VIEWS

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DENNIS NIKOLAEV ARCHITECT	
GAS STATION MARKET	
101 W Laburnum Ave. & Alma Ave, Richmond, VA	

AERIAL VIEWS	
October 11, 2024	

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NOTE:
-ALL INTERIOR DIMENSIONS ARE TO THE FACE OF STUD
-ALL EXTERIOR DIMENSIONS ARE TO THE FACE OF CMU WALL
-VERIFY DIMENSIONS IN FIELD

HEADER SCHEDULE

SPAN	SIZE
LESS THAN 3'-0"	(2) 2X4
3'-1" TO 4'-0"	(2) 2X6
4'-1" TO 5'-0"	(2) 2X8
5'-1" TO 8'-0"	(2) 2X10

** UNLESS NOTED OTHERWISE

scale: 3/16" = 1
FLOOR PLAN BEFORE RENOVATION



AREA CALCULATIONS:

ROOM 1:	1355 S.F.
ROOM 2:	97 S.F.
ROOM 3:	129 S.F.
ROOM 4:	101 S.F.
ROOM 5:	240 S.F.
TOTAL:	1922 S.F.

REVISIONS

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DENNIS NIKOLAEV ARCHITECT

GAS STATION MARKET
101 W Laburnum Ave. & Alma Ave. Richmond, VA

FLOOR PLAN BEFORE RENOVATION

October 11, 2024

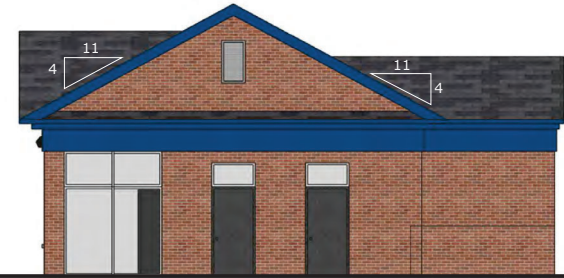
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+21'-9" TOP OF ROOF
+13'-0" CEILING
+10'-0" TOP OF WINDOWS
0'-0" FLOOR FINISH

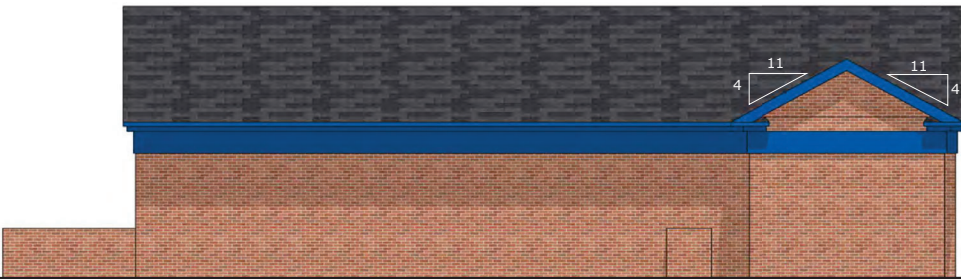


NORTH ELEVATION

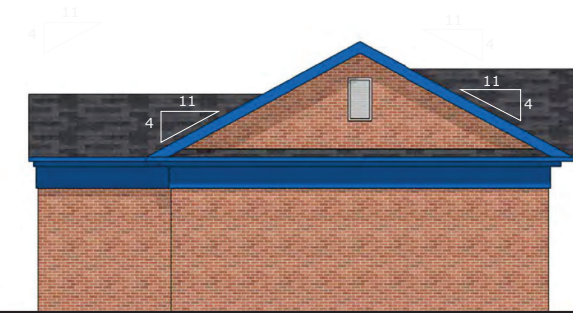


EAST ELEVATION

+21'-9" TOP OF ROOF
+13'-0" CEILING
+10'-0" TOP OF WINDOWS
0'-0" FLOOR FINISH



SOUTH ELEVATION



WEST ELEVATION

scale: 1" = 10'

ELEVATIONS BEFORE RENOVATION

REVISIONS

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DENNIS NIKOLAEV ARCHITECT

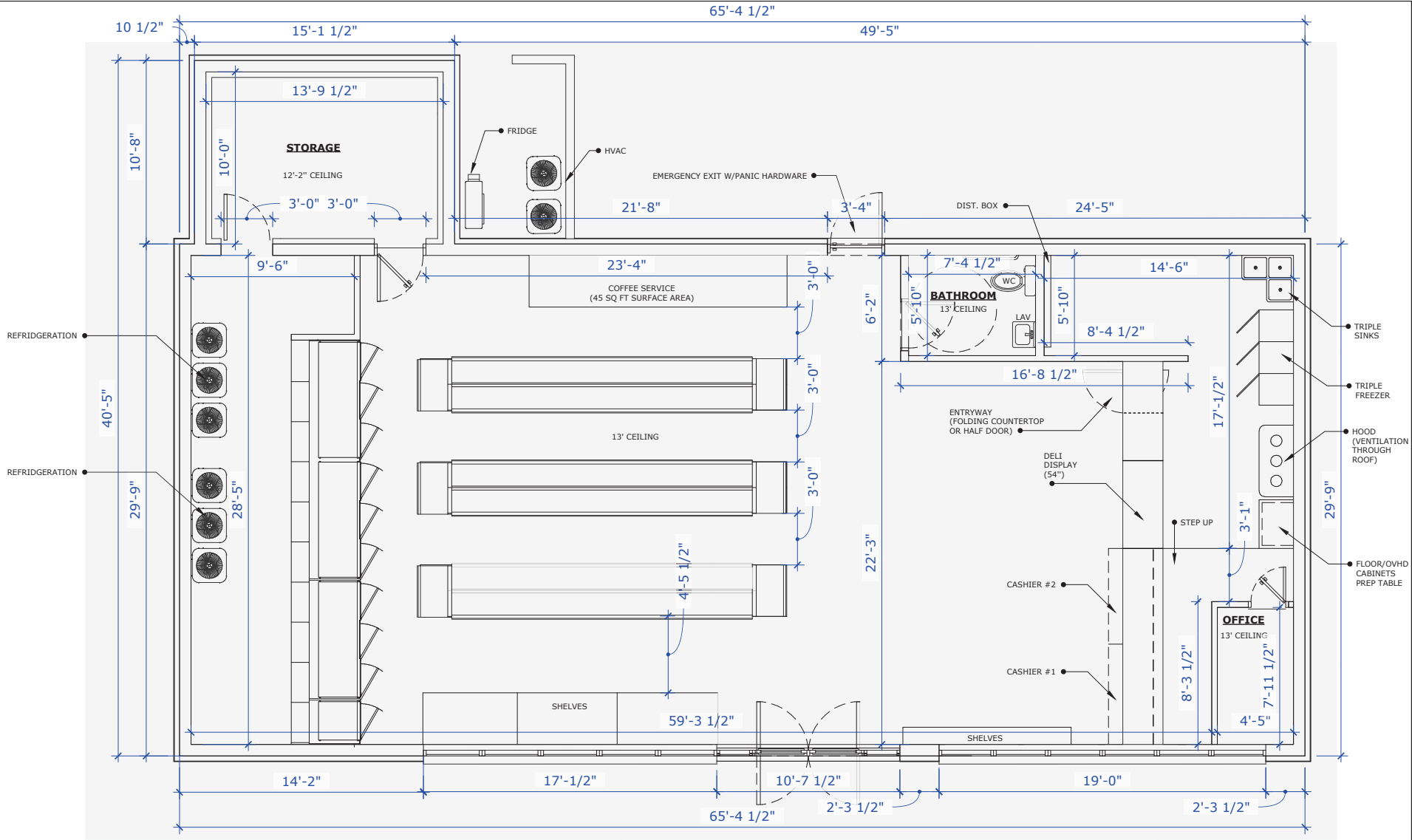
GAS STATION MARKET
101 W Laburnum Ave. & Alma Ave. Richmond, VA

ELEVATIONS BEFORE RENOVATION

October 11, 2024

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NOTE:
-ALL INTERIOR DIMENSIONS ARE TO THE FACE OF STUD
-ALL EXTERIOR DIMENSIONS ARE TO THE FACE OF CMU WALL
-VERIFY DIMENSIONS IN FIELD

HEADER SCHEDULE		
SPAN	SIZE	
LESS THAN 3'-0"	(2) 2X4	
3'-1" TO 4'-0"	(2) 2X6	
4'-1" TO 5'-0"	(2) 2X8	
5'-1" TO 8'-0"	(2) 2X10	
** UNLESS NOTED OTHERWISE		

scale: 3/16" = 1
FLOOR PLAN



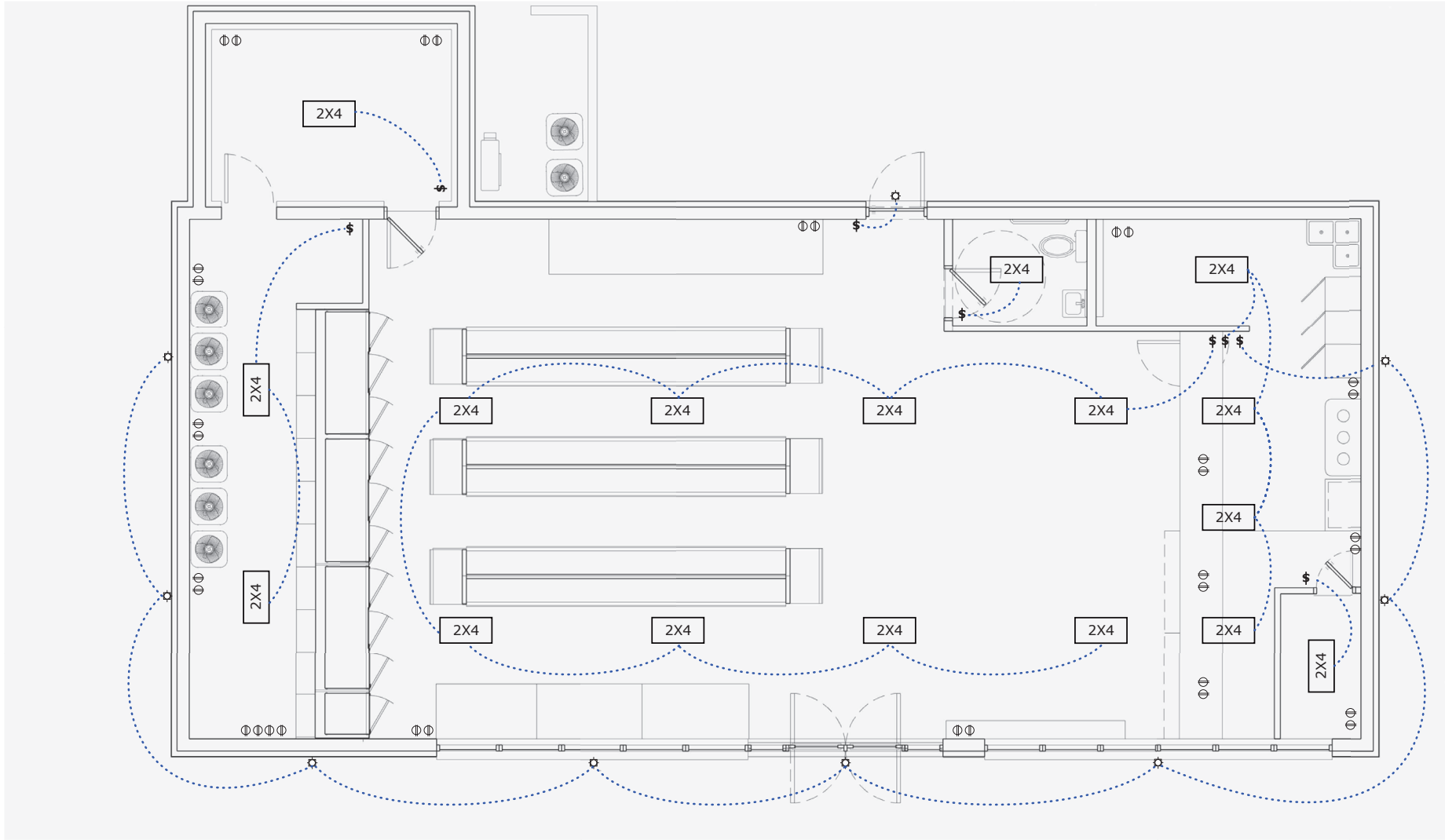
AREA CALCULATIONS:	
MAIN ROOM:	1725 S.F.
BATHROOM:	44 S.F.
UTILITY ROOM:	138 S.F.
OFFICE:	35 S.F.
TOTAL:	1942 S.F.


REVISIONS	
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DENNIS NIKOLAEV ARCHITECT	
GAS STATION MARKET	
101 W Laburnum Ave. & Alma Ave. Richmond, VA	

FLOOR PLAN	
October 11, 2024	

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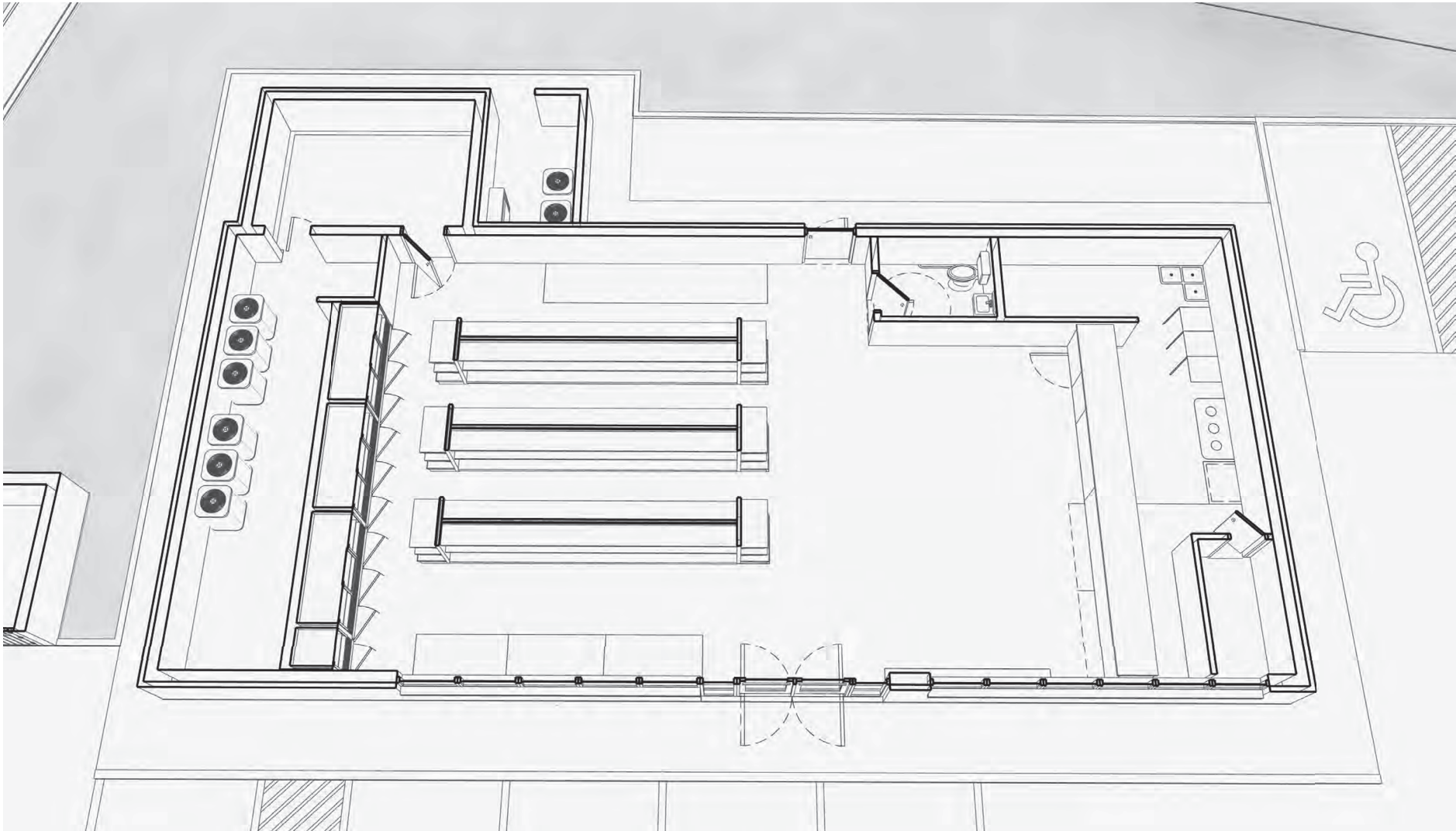
scale: 3/16" = 1'
FLOOR ELECTRICAL PLAN 

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DENNIS NIKOLAEV ARCHITECT	
GAS STATION MARKET	
101 W Laburnum Ave. & Alma Ave. Richmond, VA	

FLOOR ELECTRICAL PLAN	
October 11, 2024	

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FLOOR PERSPECTIVE



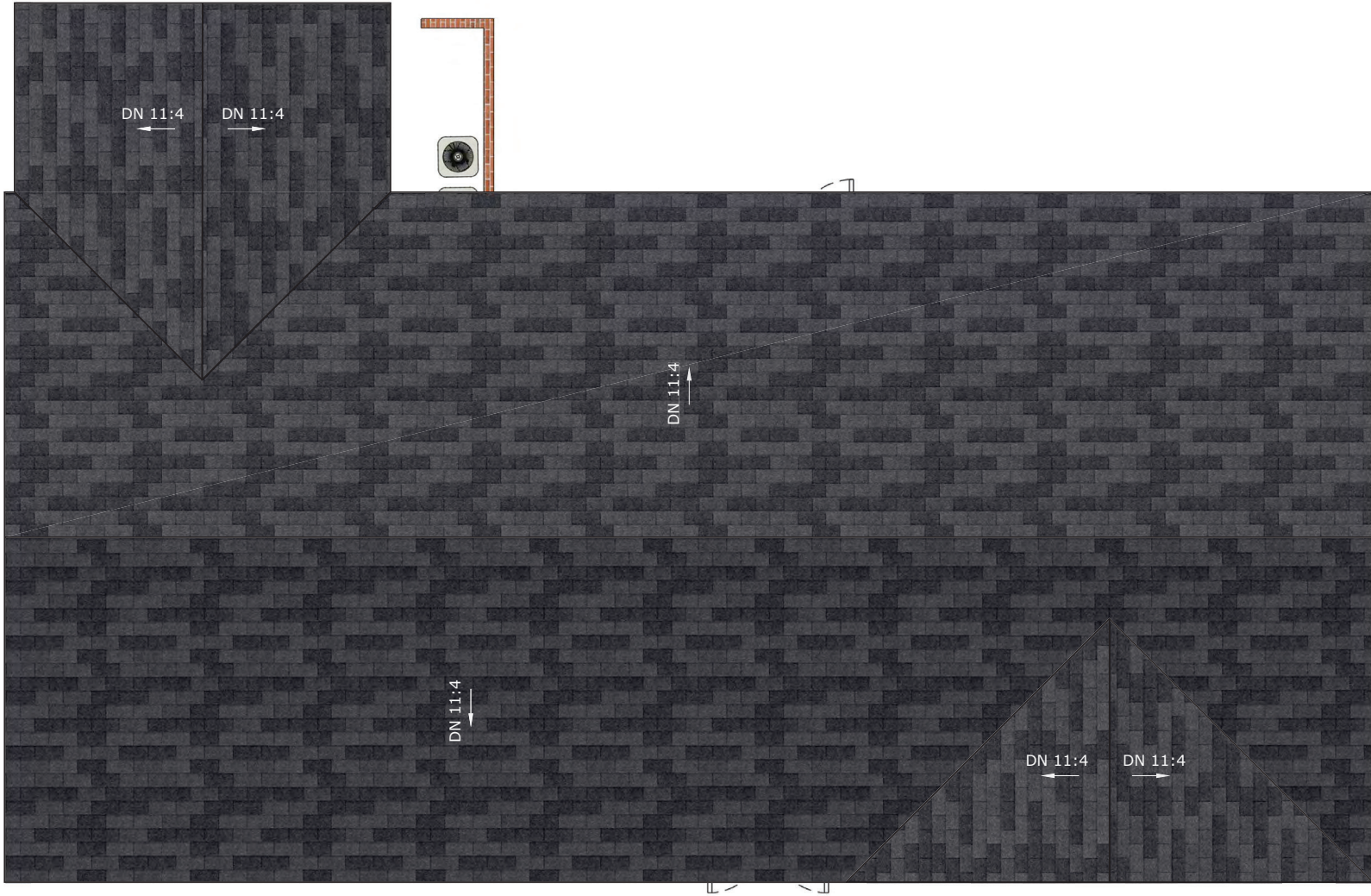
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DENNIS NIKOLAEV ARCHITECT	
GAS STATION MARKET	
101 W Laburnum Ave. & Alma Ave. Richmond, VA	

FLOOR PERSPECTIVE	
October 11, 2024	

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DN 5:12



scale: 3/16" = 1'

ROOF PLAN



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DENNIS NIKOLAEV ARCHITECT	
GAS STATION MARKET	
101 W Laburnum Ave. & Alma Ave. Richmond, VA	

ROOF PLAN	
October 11, 2024	

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PERSPECTIVE 1



PERSPECTIVE 2



scale: 3/16" = 1'
NORTH ELEVATION

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DENNIS NIKOLAEV ARCHITECT	
GAS STATION MARKET	
101 W Laburnum Ave. & Alma Ave. Richmond, VA	

NORTH ELEVATION	
October 11, 2024	

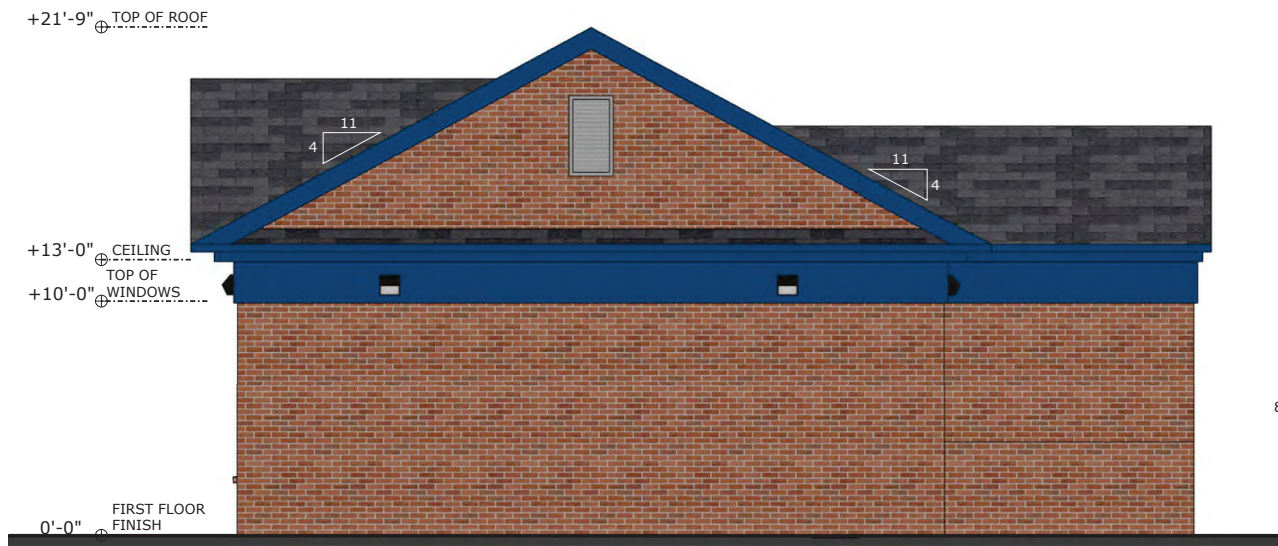
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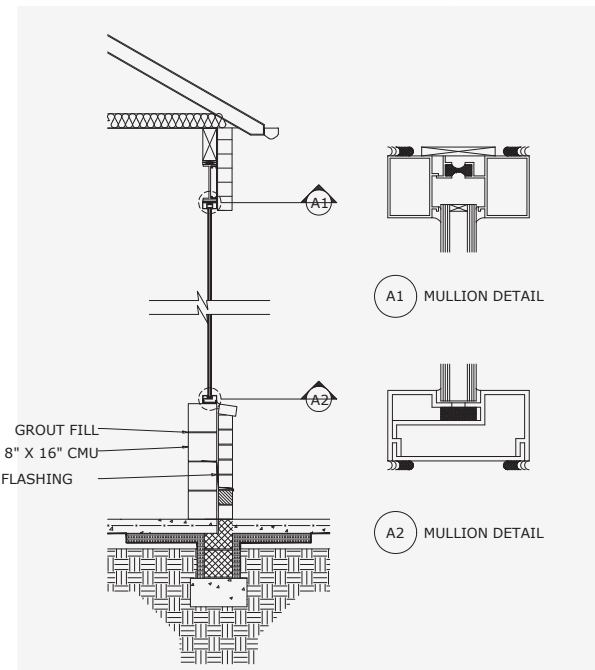
PERSPECTIVE 1



PERSPECTIVE 2



scale: 3/16" = 1'
EAST ELEVATION



WALL SECTION

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DENNIS NIKOLAEV ARCHITECT

GAS STATION MARKET
101 W Laburnum Ave. & Alma Ave. Richmond, VA

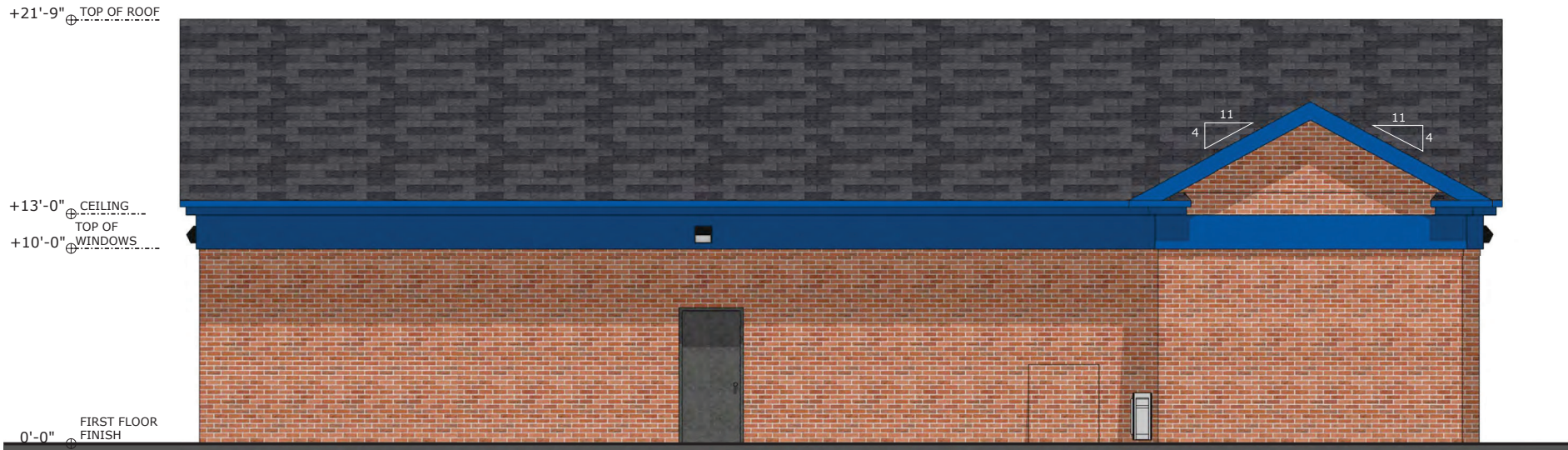
EAST ELEVATION

October 11, 2024



PERSPECTIVE 1

PERSPECTIVE 2



scale: 3/16"=1'
SOUTH ELEVATION

REVISIONS		REMARKS
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DENNIS NIKOLAEV ARCHITECT	
GAS STATION MARKET	
101 W Laburnum Ave. & Alma Ave. Richmond, VA	

SOUTH ELEVATION	
October 11, 2024	



PERSPECTIVE 1

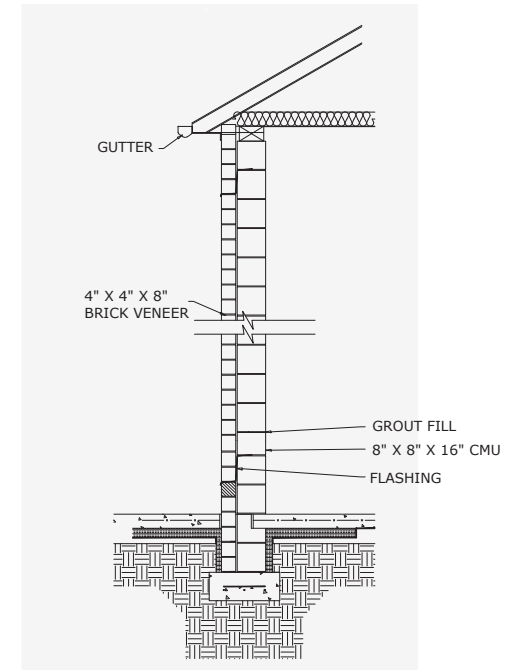


PERSPECTIVE 2



scale: 1/8"=1'

WEST ELEVATION



WALL SECTION

REVISIONS	MM/DD/YY	REMARKS
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DENNIS NIKOLAEV ARCHITECT

GAS STATION MARKET
101 W Laburnum Ave. & Alma Ave. Richmond, VA

WEST ELEVATION

October 11, 2024

SUBJECT PROPERTY

PUP-2024-102211

Zoning

Gas Sales

Fairfield District



SUBJECT PROPERTY

PUP-2024-102211
2026 Land Use Plan
Gas Sales
Fairfield District

