



# REZ-2025-100032

## Biju Mattamana

Staff Report for Board of Supervisors Public Hearing  
Prepared August 4, 2025

*This report is prepared by the Henrico County Planning Staff to provide information to the Planning Commission and the Board of Supervisors to assist them in making a decision on this application. It may also be useful to others interested in this zoning matter.*

### **I. PUBLIC HEARINGS:**

<b>Planning Commission:</b>	March 13, 2025 May 15, 2025	Deferred at the Applicant's Request Recommended for Denial
<b>Board of Supervisors:</b>	June 10, 2025 August 12, 2025	Deferred at the Applicant's Request Pending

### **II. IDENTIFICATION AND LOCATIONAL INFORMATION:**

<b>Requested Zoning:</b>	R-3C One-Family Residence District (Conditional) <u>R-2AC One-Family Residence District (Conditional)</u>	
<b>Existing Zoning:</b>	R-2 One-Family Residence District	
<b>Acreage:</b>	1.387 acres	
<b>Proposed Use:</b>	Single-family development	
<b>Location:</b>	Southeast intersection of Staples Mill Road (U.S. Route 33) and Courtney Road	
<b>Magisterial District:</b>	Brookland	
<b>2026 Comprehensive Plan Recommendation:</b>	Suburban Residential 1 (SR1)	
<b>Parcel No:</b>	764-766-6303	
<b>Zoning of Surrounding Properties:</b>	North:	A-1 Agricultural District
	South:	R-2 One-Family Residence District
	East:	R-2 One-Family Residence District
	West:	R-6C General Residence District (Conditional)

### **III. SUMMARY OF STAFF REPORT:**

This is a request to conditionally rezone a 1.387-acre site from R-2 One-Family Residence District to ~~R-3G~~ R-2AC One-Family Residence District (Conditional) to allow for three single-family residential lots. The property is located at the southeast intersection of Staples Mill Road (U.S. Route 33) and Courtney Road.

The applicant has submitted a concept plan and elevations which provides a proposed development layout of three lots with access from Courtney Road. The proffers prohibit access from Staples Mill Road and also address landscaping, sidewalks, minimum dwelling size, building materials, and hours of construction. ~~While the proffers cover many of the topics typically addressed in similar rezoning requests, they remain unclear in language, contain several typographical errors, and restate code requirements as detailed in Section IV.~~

The 2026 Comprehensive Plan designates this site as Suburban Residential 1 (SR1), where density should not exceed 2.4 units per acre. The site's proposed use and density of approximately 2.16 units per acre is consistent with the Plan's recommendation. ~~Should the ongoing concerns related to the submitted proffer language be addressed, staff believes this could be a reasonable request.~~ The applicant has submitted revised proffers that address staff's previous concerns.

The applicant held a community meeting at the Glen Allen Public Library on April 1, 2025. Approximately 15 people were in attendance. Topics discussed at the meeting included traffic along Staples Mill Road and Courtney Road, the proposed layout and access to the subdivision, buffers, and neighborhood character.

Staff notes concerns were voiced by neighbors and the Planning Commission regarding the desire to maintain the existing pattern of R-2 zoning east of Staples Mill Road in this area of the county. They expressed concerns that this rezoning request could begin an undesired shift in the area's zoning, which may negatively affect the existing community's character in the future. The Planning Commission recommended denial of the request at their May 15, 2025, public hearing. The applicant has requested a deferral of this request to August 12, 2025, to allow time to address the concerns voiced during the Planning Commission public hearing.

The applicant has revised their request to R-2AC to address the concerns raised by neighbors and the Planning Commission, and has also responded to and addressed staff concerns related to proffers. Therefore, staff supports this request.

### **IV. LAND USE ANALYSIS AND IMPLICATIONS:**

The R-2-zoned, 1.387-acre is located at the southeast intersection of Staples Mill Road and Courtney Road. The property is currently vacant and partially treed towards the rear. The applicant proposes to conditionally rezone the parcel from R-2 to ~~R-3G~~ R-2AC and subdivide it to create three single-family dwelling lots.

The property is bordered on the east by three single-family homes and to the south by a family daycare home, all zoned R-2. To the west, across from Staples Mill Road, is the Carriage Homes at Crossridge multi-family development. Across from Courtney Road to the north is the Glen Allen Public Library.

Staples Mill Road is a designated Major Arterial roadway on the 2026 Major Thoroughfare Plan. Currently, it is a four-lane divided road with a 55-mile-per-hour speed limit and a right turn lane at Staples Mill Road and Courtney Road. The taper for the right turn lane begins relatively close to

the property's southern boundary and increases for the remainder of the property's western frontage.

The concept plan (Exhibit A) shows three lots oriented towards Staples Mill Road. Access to the subdivision is shown from Courtney Road and is aligned with the entrance to the Glen Allen Public Library. A private road along the rear of the property, with individual vehicular driveways, and a modified hammerhead at its southern end would serve all three lots. A five-foot-wide sidewalk is shown along the property's frontage on Courtney Road. Courtney Road is designated a Minor Collector on the 2026 Major Thoroughfare Plan and serves as access and service to the residential neighborhoods to the east. No access would be allowed directly from Staples Mill Road.

~~The applicant has submitted proffers addressing many typical subjects. It is noted the proffers are unclear in language and include several typographical errors. Additionally, staff notes an opportunity to further clarify proffer language related to setbacks, buffers, and landscaping in order to avoid potential confusion. Staff also recommends avoiding restating existing code requirements, in particular those that relate to setbacks required along major roadways per Section 24-3105.D of the Zoning Ordinance, and sight distance easements as specified in Section 2.14 of the Public Works Design Manual.~~ The applicant has submitted revised proffers that address staff concerns related to setbacks, buffers and landscaping.

~~The submitted landscape plan (Exhibit B) and proffers do not provide details of the intended plantings, and it appears that the proposed plantings would be within the future sight distance easement. While the size of buffers and their general content can be addressed during the process, the exact location of plantings are typically addressed during the subdivision process.~~

Proffered elevations (Exhibit B) illustrate two-story dwellings with brick, brick veneer, cementitious siding, vinyl, stone, synthetic stone, or other similar masonry materials, or a combination of these materials. All dwellings would have a minimum finished floor area of 2,000 square feet. Additional proffers address driveway materials, roofing materials, stoops and porches, square footage, hours of construction, and other commitments generally consistent with those provided with similar recently approved rezoning requests.

The 2026 Comprehensive Plan designates the subject property for Suburban Residential 1 (SR1), with a recommended maximum density of 2.4 units per acre, and the proposed density of 2.16 units/acre is within the range recommended by the Plan. ~~Should the ongoing concerns related to the submitted proffer language be addressed, staff believes this could be a reasonable request. The revised request would also be largely consistent with the surrounding R-2 zoned lots, with a lot size meeting R-2 requirements and lot widths that would exceed those otherwise required in the R-2A District. The applicant has responded and addressed staff concerns related to proffer language.~~

The applicant held a community meeting at the Glen Allen Public Library on April 1, 2025. Approximately 15 people were in attendance. Topics discussed at the meeting included traffic along Staples Mill Road and Courtney Road, proposed layout and access to the subdivision, buffers, and neighborhood character.

Staff notes that concerns were voiced by neighbors and the Planning Commission regarding the desire to maintain the existing pattern of R-2 zoning east of Staples Mill Road in this area of the county. They expressed concerns that this rezoning request could begin an undesired shift in the area's zoning, which may negatively affect the existing community's character in the future. The Planning Commission recommended denial of the request at their May 15, 2025, public hearing.

The applicant has requested a deferral of this request to August 12, 2025, to allow time to address the concerns voiced during the Planning Commission public hearing.

The applicant has revised their request to R-2AC to address the concerns raised by neighbors and the Planning Commission, and has also responded to and addressed staff concerns related to proffers. Therefore, staff supports this request.

## **V. COMPREHENSIVE PLAN ANALYSIS:**

### ***2026 Comprehensive Plan Recommendation:***

The 2026 Comprehensive Plan designates this site for Suburban Residential 1, density should not exceed 2.4 units per acre, and the proposed density of 2.16 units per acre is consistent the Plan's recommendation.

### ***Vision, Goals, Objectives, and Policies:***

This request is least consistent with the following goals, objectives, and policies of the 2026 Comprehensive Plan:

- Land Use and Community Character Objective 14: Promote effective design standards which protect established residential areas through proper land use planning surrounding major transportation facilities and major roadway corridors.
- Residential Keystone Policy 1: Promote high-quality development through compliance with site plan review and the Design Guidelines Manual, particularly related to landscaping; traffic and pedestrian circulation; signage; and building design, placement and orientation.

This request is most consistent with the following goals, objectives, and policies of the 2026 Comprehensive Plan:

- Infrastructure/Service Provision and Growth Coordination Objective 6: Encourage the sensitive infill development of vacant or underutilized parcels in more developed areas of the county to more efficiently utilize existing public facilities.
- Land Use and Community Character Objective 3: Encourage new growth and development that takes into account location and availability of infrastructure and services.

## **VI. PUBLIC SERVICE AND SITE CONSIDERATIONS:**

### ***Major Thoroughfare and Transportation:***

Property/right-of-way lines at roadway intersections shall be a chord/tangent. The beginning and ending points of the right-of-way tangent are determined by measuring back from the right-of-way extended PI (point of intersection). The ends of the tangent line shall be a minimum of 25 feet from the right-of-way extended PI (in each direction) for residential streets and 30 feet for non-residential streets.

The proposed plantings in the Landscape plan appear to be within the future sight distance easement. These plantings would need to be lesser than 30" in height per Design Manual, Section. 2.14. Sight distance easements should be proffered and shown during the POD process.

### ***Drainage:***

All proposed improvements must comply with all applicable Public Works plan of development requirements. Land disturbance greater than 2500 sq feet will require an Environmental Compliance Plan. The site must comply with applicable stormwater quality and quantity requirements. Analyze and provide solutions to minimize drainage impacts on downstream properties. Traffic Engineering will determine if any right-of-way dedication or road improvements are required. VDOT will determine if any road improvements are required along Staples Mill Rd. Based on GIS, Waters of the U.S. and/or hydric soils are present (indicating possible wetlands). Corps of Engineers and DEQ permits may be required.

**Public Utilities Services:**

Water and sewer are available.

**Schools:**

This rezoning case proposes the development of no more than three single family detached residential units.

School Level	School Name	2024 Membership	Functional Capacity	Student Yields
Elementary	Glen Allen	572	656	0.8
Middle	Hungary Creek	831	986	0.5
High	Glen Allen	1,886	1,850	0.8
* At Development Buildout		Total Students:		2.1

Based on September 30, 2024, membership and capacity figures shown above, Glen Allen Elementary is currently at 87.2% capacity. The analysis shown above indicates the proposed development would potentially yield an additional 0.8 elementary students once the development has reached complete build out. Glen Allen Elementary is not currently in danger of being over capacity and is not projected to become over capacity in the next five years.

Hungary Creek Middle is currently at 84.3% capacity. The analysis shown above indicates the proposed development would potentially yield 0.5 additional middle school students. Hungary Creek Middle is not currently in danger of being over capacity and is not projected to become over capacity in the next five years.

Glen Allen High is currently at 100.8% capacity. The analysis shown above indicates the proposed development would potentially yield an additional 0.8 high school student. Glen Allen High has a history of enrollment numbers nearing or going over 100% functional capacity and is continuously monitored for capacity concerns. This development and others in the Brookland magisterial district may cause capacity measures to be implemented, such as redistricting, trailers, and programmatic adjustments, among others.

**Division of Fire:**

The Division of Fire has no comments on this request.

**Division of Police:**

Henrico Police has no comments on this request.

**Libraries:**

The request falls within the service area of the Glen Allend Branch Library that was part of the 2005 bond referendum. The Glen Allen facility was renovated and expanded from 12,500 sq. ft. to 25,000 sq. ft. – October 2010. As these types of developments continue to be built and the population in the area continues to grow, the expanded Glen Allen Branch Library will be able to meet the increased service demands.

**Recreation and Parks:**

No park or recreation facilities, historical, archeological or battlefield impact.

**Community Revitalization:**

No comments received on this request.

**Topography and Land Characteristics Adaptability:**

There are no known topographic reasons the site cannot be used as proposed.



# BLACKLINE PROFFERS

1. ~~4.~~ Conceptual Plan: The property located at 10451 Staples Mill Rd, Glen Allen, VA 23060 will be developed in general conformance with the ~~attached Exhibit A "Conceptual Rezoning Plan"~~ Project Name: "10451 conceptual plan entitled "Staples Mill Road" Revision 1 dated 05/12/2025 Rezoning" prepared by ~~Alisha Mattamana~~ Cite Design and dated July 21, 2025, attached hereto as Exhibit A (the "Conceptual rezoning plan is conceptual in nature Rezoning Plan"). The exact locations, footprints, configuration, size and details of the drives, buildings and other improvements shown on the Conceptual Rezoning Plan are subject to change and may vary during detail planning, specifically be updated from time to time as required for final engineering designs, compliance with governmental regulations or as otherwise approved at the time of subdivision review by the Director of Planning, ~~Henrico County~~.
2. ~~2.~~ Maximum Density: The maximum number of building lots on the property will be three (3).
3. ~~3.~~ Access: No vehicular access to the development will be allowed from Staples Mill Road.
4. ~~4.~~ Clearing Limitations: During construction, tree removal will be limited to the areas required for dwellings, outbuildings, driveways, utilities, ~~and private shared drive, grading, required sight lines,~~ other necessary access structures, ~~except for~~ and trees that are naturally dead or diseased.
5. Landscaping and
  5. ~~5.~~ Setbacks: A 12-~~feet~~ feet setback will be provided along the southern boundary of the property. On the eastern side, ~~a~~ of the property, a minimum 45-foot rear setback will be provided. The 45-foot rear setback includes a minimum 22-foot-wide private access road and a 4-foot setback will be provided, along with a 20-foot wide between the adjacent property line and the proposed private access road. The Along the western side of the property an 80-foot setback will be provided with 75-foot setback, which includes an additional 35-foot buffer from the boundary line due to traffic conditions on Staples Mill Road. Along the northern boundary, adjacent 80-foot setback includes any major roads front yard setback. Adjacent to Courtney Road, a 25-foot setback will be provided in accordance with the attached Exhibit A, "All of the foregoing setbacks are shown on the Conceptual Rezoning Plan." Plantings along the northern boundary, as well as on other designated areas shown on Exhibit B, "Conceptual Landscape Plan,"
  6. Landscaping: Prior to or concurrent with any subdivision plat recordation, the Applicant will ~~not exceed~~ provide a sight distance easement entitled as shown on the Conceptual Rezoning Plan and in final location as approved by the Director of Planning prior to recordation. Any proposed planting or existing planting within the sight distance easement will be removed or replanted with plants of less than 30-inches" in height, in accordance with Section 2.14 of the Public Works Design Manual, unless a greater height is specifically requested and approved by Henrico County's Planning Department, and thereafter maintained by the applicable property owner pursuant to the provisions of the sight distance easement.
6. ~~6.~~ Sidewalk: A 5-~~feet~~ feet wide sidewalk will be constructed on the side of the ~~Cortney~~ Courtney Road as shown on the ~~Exhibit A "Conceptual Rezoning Plan"~~ Project Name: "10451 Staples Mill Road" Revision 1 dated 05/12/2025.
7. ~~7.~~ Private Road and Driveways: Shared access private road and driveways will be constructed of concrete, asphalt, pavers, cobblestones, or other durable surface materials in accordance with Henrico County standards ~~and specifications (except as to pavement width and turning radii).~~ The design of shared access private road will be certified by a licensed professional engineer to confirm compliance with these standards. The maintenance of this road will be shared among the residents and will be enforced using a shared maintenance provisions of the covenants to be recorded pursuant to Proffer 19 below.

~~8.~~

9. Utilities: All utilities, except for junction boxes, meters, and existing overhead power lines, will be installed underground.

~~9.~~

10. Elevations: The architectural design of the buildings will generally be consistent with the ~~attached~~ renderings attached as Exhibit B, unless otherwise requested by the owner and specifically approved by Henrico County's the Director of Planning Department. Cantilevered features will not be permitted.

~~10.~~

11. Roofs will be covered with 30-year dimensional shingles, standing seam metal, cedar shakes, or materials of equal or greater quality and durability as determined by ~~the Henrico~~ Henrico County's Planning Department.

~~11.~~

12. Exterior Walls for Dwelling and Garage: Exterior walls of the dwelling and garage will be made of brick, brick veneer, cementitious siding, vinyl with a minimum thickness of 0.042 inches, stone, synthetic stone, or other similar masonry materials, or a combination of these, unless otherwise requested and approved by Henrico County's Planning Department.

~~12.~~

13. Stoops and Porches: All dwellings will require a covered front stoop or porch, which must have brick or stone foundation, materials that are identical to those of the dwelling.

~~13.~~

14. Foundations: No dwelling will be constructed on a slab-on-grade foundation. Foundations will be constructed using brick, stone, or other comparable durable materials to ensure a level of quality consistent with the standards of the Henrico County Planning Department.

~~14.~~

15. Minimum House Size: (i) The dwelling will have a minimum of 2,000 square feet of finished floor area; and (ii) will include a minimum of one garage space.

~~15.~~

16. Hours of Construction: Exterior construction, including the use of heavy equipment, will be limited to the hours of 7:00 a.m. to 7:00 p.m. or dusk (whichever occurs first) Monday through Friday, and 8:00 a.m. to 5:00 p.m. or dusk (whichever occurs first) on Saturdays. No construction will take place on Sundays except in emergencies or under circumstances requiring extended hours to complete work, such as concrete pours or utility connections. Any exceptions will be based on approval from Henrico County's Planning Department. Construction signs will be posted in both English and Spanish, indicating the hours of operation and dates of construction.

~~16.~~

17. Drainage: All proposed improvements will be in compliance with applicable Henrico County's Public Works plan development requirements, storm water quality and quantity requirements, and by minimizing drainage impacts on downstream properties.

~~17.~~

18. Severance: The un-enforceability, elimination, revision or amendment of any proffer set forth herein, in whole or part, must not affect the validity or enforceability of the other proffers or the unaffected part of such proffer.

~~18.~~

19. Protective ~~covenants~~ Covenants: Prior to ~~or concurrent with~~ any subdivision plat recordation, a document setting forth restrictive covenants describing development controls and maintenance responsibilities of the property will be recorded in Clerk's

Office of the Circuit Court of Henrico County.

REZ-2025-100032





# Proffers for Conditional Rezoning

County of Henrico, Virginia

4301 E. Parham Road, Henrico, Virginia 23228

Henrico Planning Web Site: <http://www.henrico.us/planning>


**Mailing Address:** Planning Department, P.O. Box 90775, Henrico, VA 23273-0775

Phone (804) 501-4602

Facsimile (804) 501-4379

☐ Original ☒ Amended Rezoning Case No. 2025-100032 Magisterial District Brookland

**Pursuant to Section 24-2304 of the County Code, the owner or duly authorized agent\* hereby voluntarily proffers the following conditions which shall be applicable to the property, if rezoned:**

 / Biju Mattamana July 25, 2025  
Signature of Owner or Applicant / Print Name Date

*\*If applicant is other than Owner, the Special Limited Power of Attorney must be submitted with this application*

1. Conceptual Plan: The property located at 10451 Staples Mill Rd, Glen Allen, VA 23060 will be developed in general conformance with the conceptual plan entitled "Staples Mill Rezoning" prepared by Cite Design and dated July 21, 2025, attached hereto as Exhibit A (the "Conceptual Rezoning Plan"). The exact locations, footprints, configuration, size and details of the drives, buildings and other improvements shown on the Conceptual Rezoning Plan are subject to change and may be updated from time to time as required for final engineering designs, compliance with governmental regulations or as otherwise approved at the time of subdivision review by the Director of Planning.
2. Maximum Density: The maximum number of building lots on the property will be three (3).
3. Access: No vehicular access to the development will be allowed from Staples Mill Road.
4. Clearing Limitations: During construction, tree removal will be limited to the areas required for dwellings, outbuildings, driveways, utilities, private shared drive, grading, required sight lines, other necessary access structures, and trees that are naturally dead or diseased.
5. Setbacks: A 12-foot setback will be provided along the southern boundary of the property. On the eastern side of the property, a minimum 45-foot rear setback will be provided. The 45-foot rear setback includes a minimum 22-foot-wide private access road and a 4-foot setback between the adjacent property line and the proposed private access road. Along the western side of the property an 80-foot setback will be provided, which 80-foot setback includes any major roads front yard setback. Adjacent to Courtney Road, a 25-foot setback will be provided. All of the foregoing setbacks are shown on the Conceptual Rezoning Plan.
6. Landscaping: Prior to or concurrent with any subdivision plat recordation, the Applicant will provide a sight distance easement entitled as shown on the Conceptual Rezoning Plan and in final location as approved by the Director of Planning prior to recordation. Any proposed planting or existing planting within the sight distance easement will be removed or replanted with plants of less than 30" in height, and thereafter maintained by the applicable property owner pursuant to the provisions of the sight distance easement.
7. Sidewalk: A 5-foot wide sidewalk will be constructed on the side of the Courtney Road as shown on the Conceptual Rezoning Plan.



## Proffers for Conditional Rezoning (Supplemental)

County of Henrico, Virginia

4301 E. Parham Road, Henrico, Virginia 23228

Henrico Planning Web Site: <http://www.co.henrico.va.us/planning>

**Mailing Address:** Planning Department, P.O. Box 90775, Henrico, VA 23273-0775

Phone (804) 501-4602

Facsimile (804) 501-4379

8. Private Road and Driveways: Shared access private road and driveways will be constructed of concrete, asphalt, pavers, cobblestones, or other durable surface materials in accordance with Henrico County standards and specifications (except as to pavement width and turning radii). The design of shared access private road will be certified by a licensed professional engineer to confirm compliance with these standards. The maintenance of this road will be shared among the residents and will be enforced using a shared maintenance provisions of the covenants to be recorded pursuant to Proffer 19 below.

9. Utilities: All utilities, except for junction boxes, meters, and existing overhead power lines, will be installed underground.

10. Elevations: The architectural design of the buildings will generally be consistent with the renderings attached as Exhibit B, unless otherwise requested by the owner and specifically approved by the Director of Planning. Cantilevered features will not be permitted.

11. Roofs will be covered with 30-year dimensional shingles, standing seam metal, cedar shakes, or materials of equal or greater quality and durability as determined by Henrico County's Planning Department.

12. Exterior Walls for Dwelling and Garage: Exterior walls of the dwelling and garage will be made of brick, brick veneer, cementitious siding, vinyl with a minimum thickness of 0.042 inches, stone, synthetic stone, or other similar masonry materials, or a combination of these, unless otherwise requested and approved by Henrico County's Planning Department.

13. Stoops and Porches: All dwellings will require a covered front stoop or porch, which must have brick or stone foundation, materials that are identical to those of the dwelling.

14. Foundations: No dwelling will be constructed on a slab-on-grade foundation. Foundations will be constructed using brick, stone, or other comparable durable materials to ensure a level of quality consistent with the standards of the Henrico County Planning Department.

15. Minimum House Size: (i) The dwelling will have a minimum of 2,000 square feet of finished floor area; and (ii) will include a minimum of one garage space.

16. Hours of Construction: Exterior construction, including the use of heavy equipment, will be limited to the hours of 7:00 a.m. to 7:00 p.m. or dusk (whichever occurs first) Monday through Friday, and 8:00 a.m. to 5:00 p.m. or dusk (whichever occurs first) on Saturdays. No construction will take place on Sundays except in emergencies or under circumstances requiring extended hours to complete work, such as concrete pours or utility connections. Any exceptions will be based on approval from Henrico County's Planning Department. Construction signs will be posted in both English and Spanish, indicating the hours of operation and dates of construction.

17. Drainage: All proposed improvements will be in compliance with applicable Henrico County's Public Works plan development requirements, storm water quality and quantity requirements, and by minimizing drainage impacts on downstream properties.

18. Severance: The un-enforceability, elimination, revision or amendment of any proffer set forth herein, in whole or part, must not affect the validity or enforceability of the other proffers or the unaffected part of such proffer.



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**Mailing Address:** Planning Department, P.O. Box 90775, Henrico, VA 23273-0775

Phone (804) 501-4602

Facsimile (804) 501-4379

19. Protective Covenants: Prior to any subdivision plat recordation, a document setting forth restrictive covenants describing development controls and maintenance responsibilities of the property will be recorded in Clerk's Office of the Circuit Court of Henrico County.



NOT FOR  
CONSTRUCTION

**CLIENT**  
BUUMATTAMANA  
11808 NORWICH PL.  
GLENN ALLEN, VA 23060

[illegible]PROJECT NAME  
STAPLES MILL  
REZONING

PROJECT ADDRESS  
10451 STAPLES MILL RD  
GLEN ALLEN, VA 23060

PROJECT IDENTIFIER  
REZ-2025-100032

STATUS  
REZONING

ISSUE DATE 07/25/2025

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APR 11 1964

SCALE

SHEET TITLE  
**CONCEPTUAL  
REZONING PLAN**

SHEET NUMBER

**L02**

	BUILDABLE AREA (\$SQFT)	PLOT AREA (\$SQFT)
PLOT 1	5902	22000
PLOT 2	5461	18752
PLOT 3	4789	19752

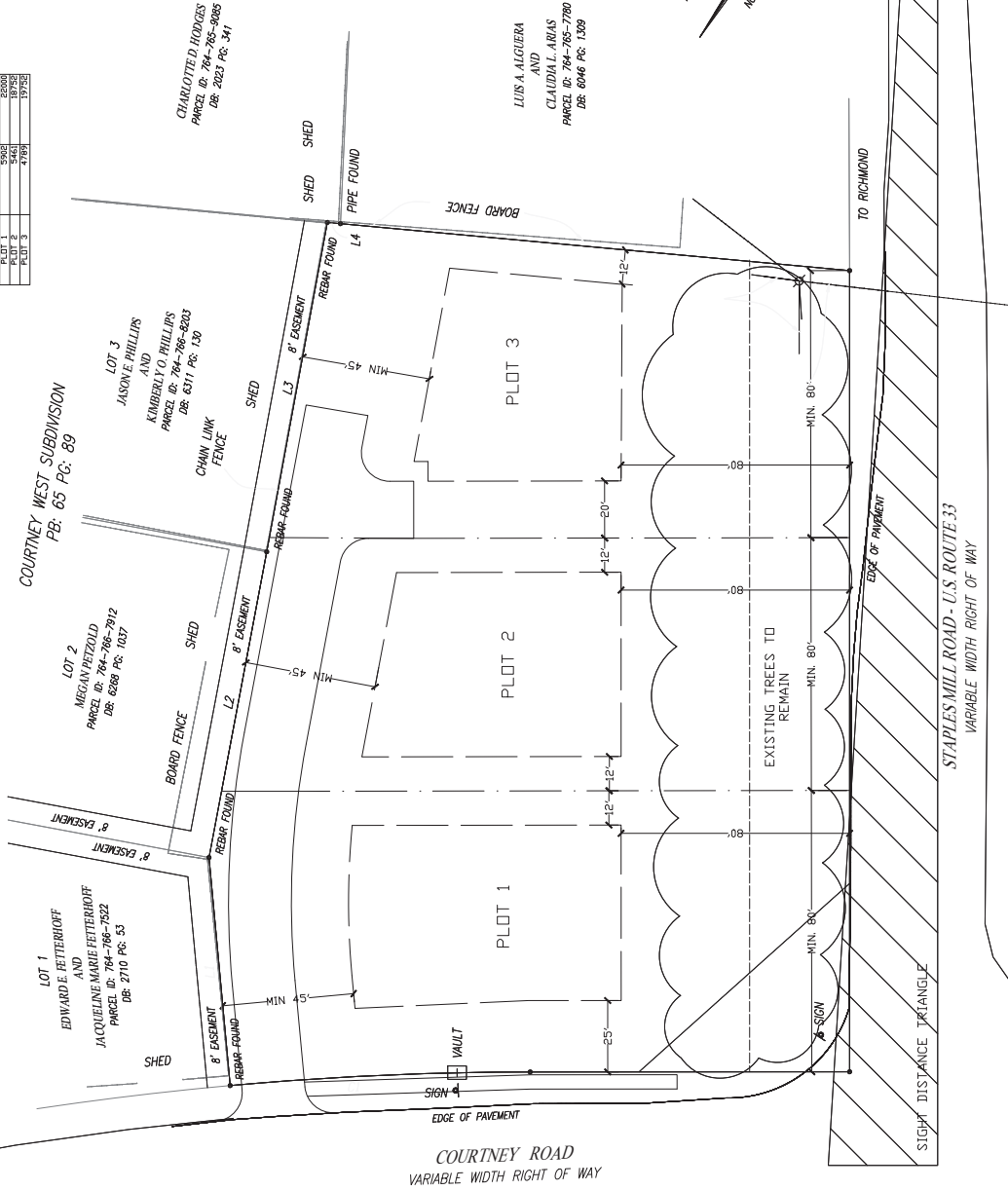


EXHIBIT A

REZ-2025-100032







PLOT 1



PLOT 3



PLOT 2

EXHIBIT B

REZ-2025-100032

NOTE:  
Developer shall change elevations or plan based on buyers requirement

CONCEPTUAL ELEVATIONS

BIJU KURIAKOSE MATTAMANA  
AND  
MATHEWSON KARIMTHURUTHEL

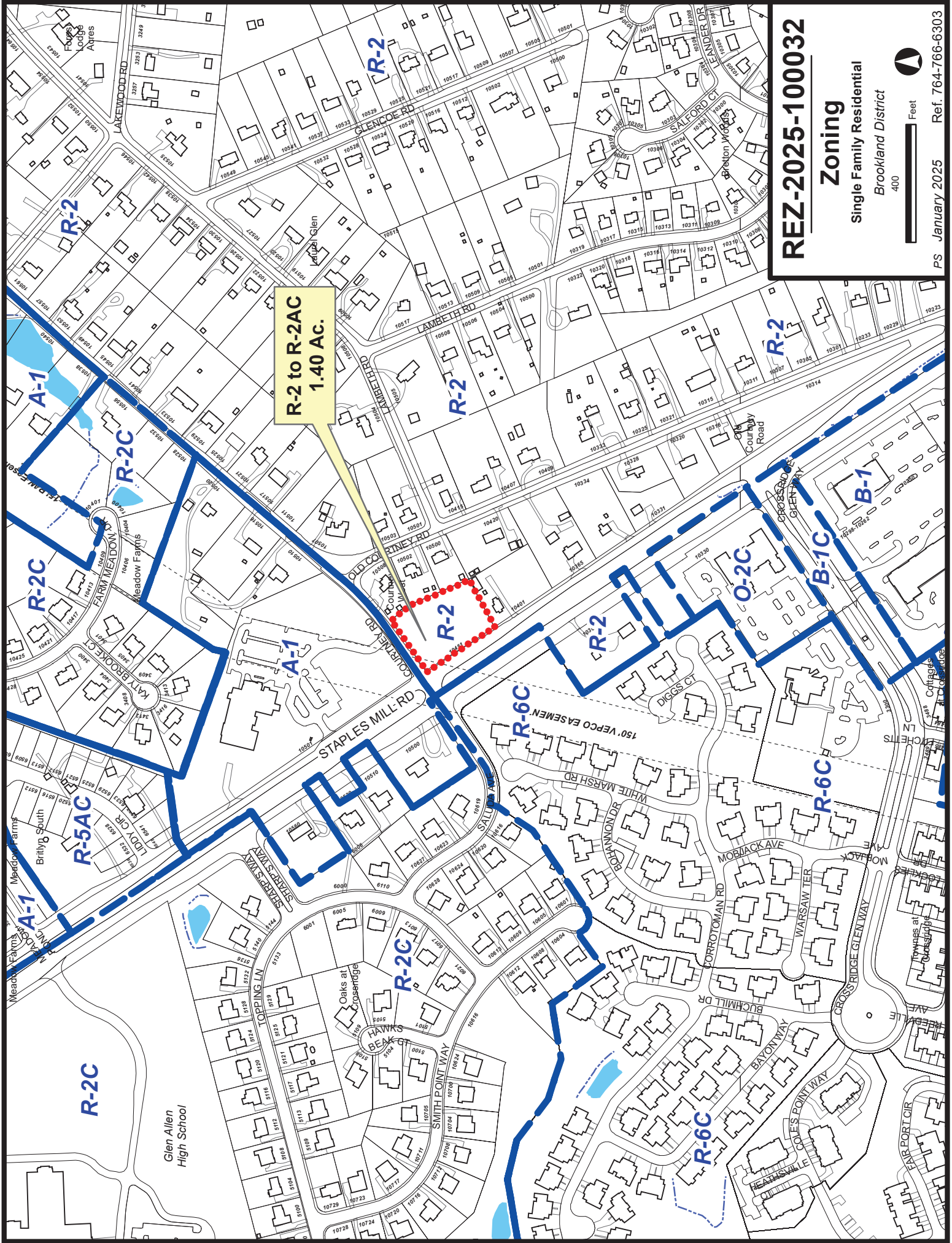
REZONING PLAN FROM R-2 TO R-2AC  
Submitted to Henrico County Planning Department

PROJECT NAME:  
10451 STAPLES MILL ROAD, Glen Allen, VA 23060

Drawn by: ALISHA MATTAMANA

Date: 07/25/2025



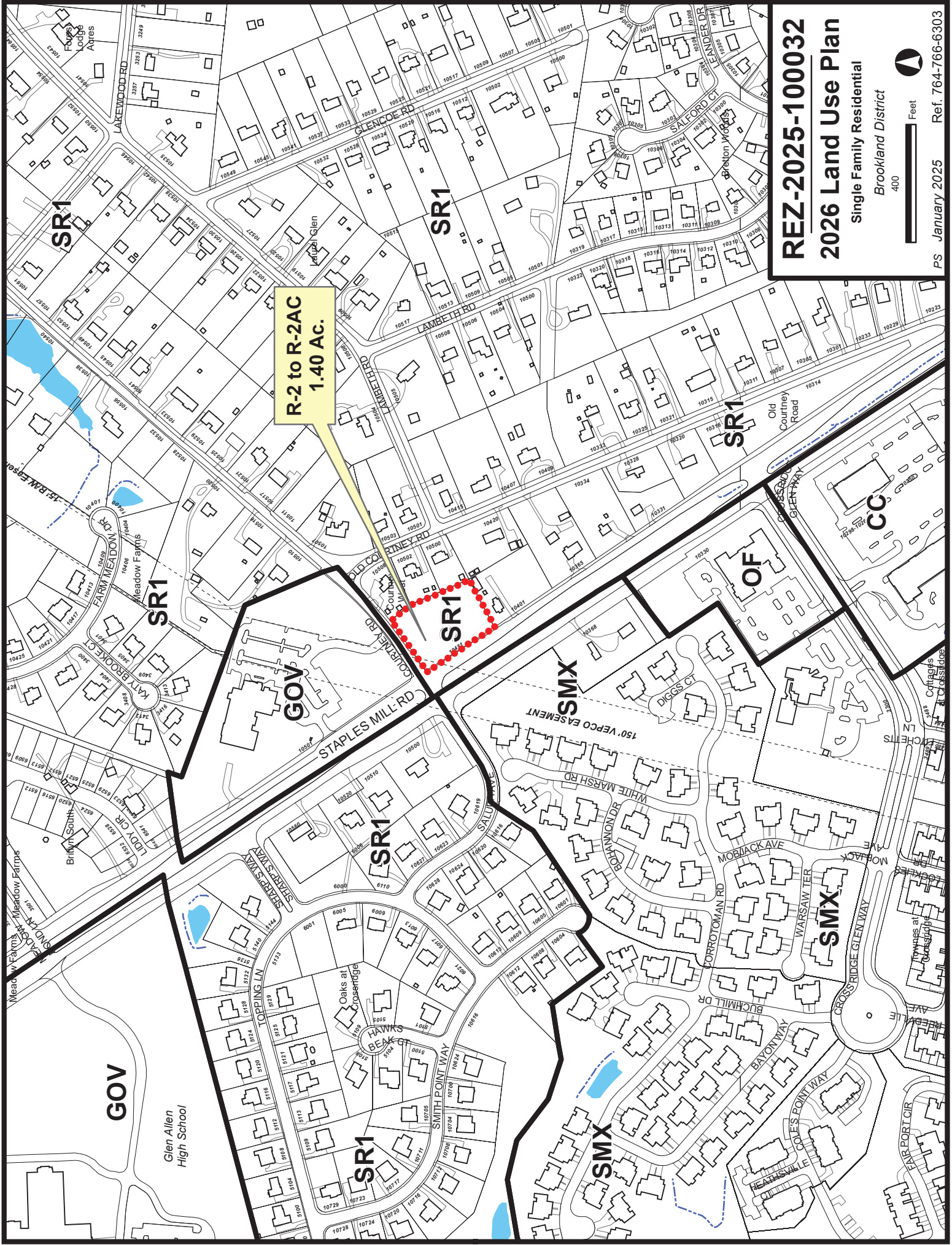


# REZ-2025-100032

**Zoning**  
Single Family Residential  
Brookland District







# REZ-2025-100032

## 2026 Land Use Plan

Single Family Residential  
Brookland District

400 Feet

PS January 2025 Ref. 764-766-6303