

C-1C-06
Zoning
 Retail Sales
 Fairfield District
 400 Feet
 PS November 2005 Ref: 780-749-9410



COMMONWEALTH OF VIRGINIA
COUNTY OF HENRICO

Virgil R. Hazelett, P.E.
County Manager

February 21, 2006

Peter L. Francisco
7517 N. Pinehill Dr.
Richmond, VA 23228

Re: Conditional Rezoning Case C-1C-06

Dear Sir:

The Board of Supervisors at its meeting on February 14, 2006, granted your request to conditionally rezone property from B-1, Business District to B-2C, Business District (Conditional), Parcels 780-749-9410 and 780-749-9828, described as follows:

That certain lot of land located in Brookland Magisterial District, Henrico County, Virginia, consisting of five parcels designated as Parcels 1,2, 2-B, 3 and 3-B, as shown on a certain plat entitled "Plat of Parcels 1, 2, 2B, 3 & 3B, Situated on the West Line of Lakeside Avenue and being known as No. 6920, in Brookland Dist., Henrico County, Virginia," made by George M. Stephens, Jr., Certified Land Surveyor, Ltd. dated April 20, 1982 and revised April 27, 1982.

Beginning at a point marked by a nail embedded in concrete on the western property line of Lakeside Avenue at the intersection of the northern property line of Colonial Stores, Inc.; thence along such northern property line of Colonial Stores, Inc., N 87°59'15" W, 160.40' to a rod; thence N 4°26'00" W 150.00' to a rod; thence S 87°56'20" E 159.30' to a rod in the western property line of Lakeside Avenue; thence along the western property line of Lakeside Avenue S 4°50'00" E 146.27' to an old rod and S 5°58'40" E, 3.73' to the point and place of beginning.

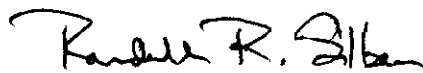
The Board of Supervisors accepted the following proffered conditions, dated January 12, 2006, which further regulates the above described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

1. The following uses shall be prohibited:
 - a. Automotive filling and service stations;
 - b. Gun shop, sales and repair;
 - c. Hotels, motels, and motor lodges;
 - d. Radio and television stations and studios or recording studios;

- e. Indoor recreation facilities; however, theaters shall be permitted;
 - f. Permanent onsite recycling facility;
 - g. Flea markets; however, outdoor/indoor farmers' markets shall be permitted;
 - h. Establishments whose primary business is check cashing and/or the making of payday loans as defined and regulated by Sections 6.1-432 et seq. and 6.1-444 et seq. of the Code of Virginia (1950), in effect as of the date of the approvals of these proffers (the foregoing shall not preclude banks, savings and loans or similar financial institutions that are not regulated by the foregoing Virginia Code sections);
 - i. Child care centers, baby sitting services and adult day care centers; and,
 - j. Private club, lodge, meeting hall and fraternal organization.
2. Façade improvements and signage shall be substantially as shown on the drawing entitled, "6112 Lakeside Avenue, Richmond, Virginia" and dated March 30, 2005 (see case file).
3. Upon completion of streetscape improvements to the adjacent portion of Lakeside Avenue by the Department of Public Works, the applicant shall construct brick planters substantially as shown on the drawing entitled, "6112 Lakeside Avenue, Richmond, Virginia" and dated March 30, 2005 (see case file), and shall plant shrubs within these planters at no wider than eighteen (18) inches on center.
4. The unenforceability, elimination, revision or amendment of any proffer set forth herein, in whole or in part, shall not affect the validity or enforceability of the other proffers or the unaffected part of any such proffer.

The Planning Department has been advised of the action of the Board of Supervisors and will revise its records and place a copy of the accepted proffered conditions in the Conditional Zoning Index.

Sincerely,

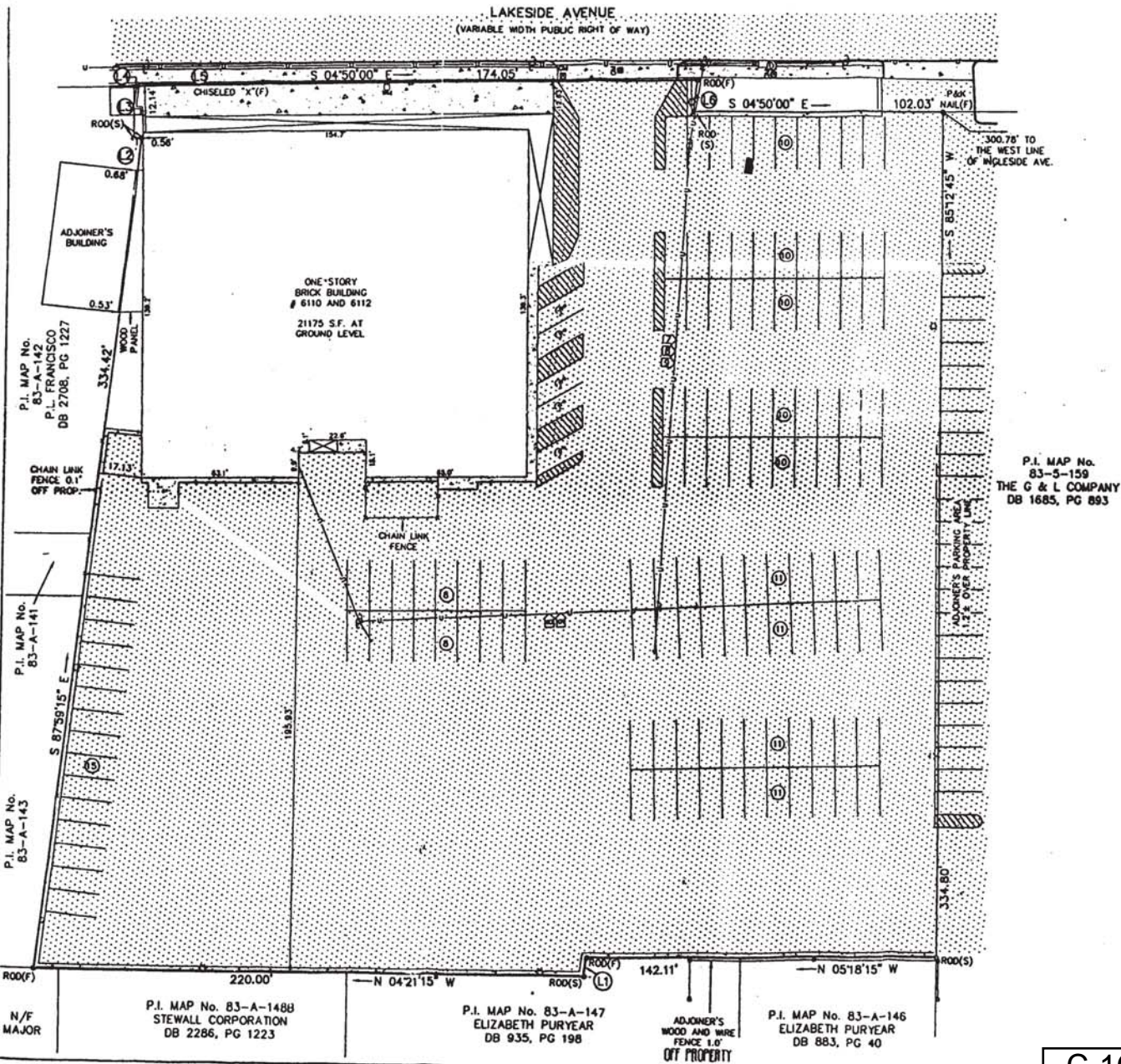


for Virgil R. Hazelett, P.E.
County Manager

pc: Lakeside Town Central LLC
Director, Real Estate Assessment
Conditional Zoning Index

LINE TABLE		
LINE	BEARING	DISTANCE
1	N87°29'15" W	7.30
2	N04°21'15" W	3.00
3	N85°38'45" E	20.32
4	S04°30'00" E	1.56
5	S05°38'30" E	50.01
6	N87°29'15" W	12.09

- LEGEND**
- POWER POLE
 - LIGHT POLE
 - OVERHEAD UTILITY LINE
 - ⊕ GAS METER
 - ⊕ WATER METER
 - ⊕ STORM WATER INLET
 - ① NUMBER OF PARKING SPACES
 - CURB LINE
 - ▨ ASPHALT AREA
 - ▨ CONCRETE AREA



NOTES:

OWNER: GRAND UNION COMPANY
DB 1982, PG 1457

P.L. MAP No. 83-A-144 AND 145

AREA: 2.732 ACRES

THERE ARE 130 PARKING SPACES ON THE SUBJECT PROPERTY INCLUDING 5 HANDICAP SPACES.

ALL MONUMENTATION IS LESS THAN 0.10 FEET FROM ACTUAL CORNER UNLESS OTHERWISE STATED

THE EXISTENCE OF UNDERGROUND UTILITIES NOT VISIBLE FROM GROUND LEVEL BY MEANS OF INSPECTION PORTS, MANHOLES, VALVES, ETC. WILL NEED TO BE DEFINED BY AN UNDERGROUND UTILITY LOCATIONS COMPANY.

THIS PROPERTY LIES IN ZONE "C" (AREA OF MINIMAL FLOODING) AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY MAP No.510077 0050 B, EFFECTIVE DATE FEBRUARY 4, 1981.

SURVEY CERTIFICATION

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WAS MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS" JOINTLY ESTABLISHED AND ADOPTED BY ALTA, ACSM AND NSPS IN 1999, AND INCLUDES ITEMS 1, 3, 4, 7(a)(2), 8, 9, 10, 11(c) AND 13 OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, ACSM AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED CERTIFIES THAT THE POSITIONAL UNCERTAINTIES RESULTING FROM THE SURVEY MEASUREMENTS MADE ON THIS SURVEY DO NOT EXCEED THE ALLOWABLE POSITIONAL TOLERANCES.

Carl A. Watkins, Jr.
CARL A. WATKINS, JR.
DATE: 01-10-02

SURVEY CERTIFICATION

COMMENCING AT A POINT ON THE NORTH LINE OF INGLESIDE AVENUE, SAID POINT BEING THE INTERSECTION OF THE NORTH LINE OF INGLESIDE AVENUE AND THE WEST LINE OF LAKESIDE AVENUE, THENCE ALONG THE WEST LINE OF LAKESIDE AVENUE IN A WESTERLY DIRECTION FOR A DISTANCE OF 300.78 FEET TO A ROD FOUND AT "POINT OF BEGINNING";

THENCE LEAVING THE WEST LINE OF LAKESIDE AVENUE SOUTH 85 DEGREES 12 MINUTES 45 SECONDS WEST FOR A DISTANCE OF 334.80 FEET TO A ROD SET;

THENCE NORTH 05 DEGREES 18 MINUTES 15 SECONDS WEST FOR A DISTANCE OF 142.11 FEET TO A ROD FOUND;

THENCE NORTH 87 DEGREES 58 MINUTES 15 SECONDS WEST FOR A DISTANCE OF 7.30 FEET TO A ROD SET;

THENCE NORTH 04 DEGREES 21 MINUTES 15 SECONDS WEST FOR A DISTANCE OF 220.00 FEET TO A ROD FOUND;

THENCE SOUTH 87 DEGREES 58 MINUTES 15 SECONDS EAST FOR A DISTANCE OF 334.42 FEET TO A ROD SET;

THENCE NORTH 04 DEGREES 21 MINUTES 15 SECONDS WEST FOR A DISTANCE OF 3.00 FEET TO A ROD SET;

THENCE NORTH 85 DEGREES 38 MINUTES 45 SECONDS EAST FOR A DISTANCE OF 20.32 FEET TO A POINT ON THE WEST LINE OF LAKESIDE AVENUE;

THENCE ALONG THE WEST LINE OF LAKESIDE AVENUE SOUTH 04 DEGREES 50 MINUTES 00 SECONDS EAST FOR A DISTANCE OF 1.56 FEET TO A POINT;

THENCE SOUTH 05 DEGREES 58 MINUTES 50 SECONDS EAST FOR A DISTANCE OF 50.01 FEET TO A CHISELED "X" FOUND;

THENCE SOUTH 04 DEGREES 50 MINUTES 00 SECONDS EAST FOR A DISTANCE OF 174.05 FEET TO A ROD FOUND;

THENCE NORTH 87 DEGREES 58 MINUTES 15 SECONDS WEST FOR A DISTANCE OF 12.09 FEET TO A ROD SET;

THENCE SOUTH 04 DEGREES 50 MINUTES 00 SECONDS EAST FOR A DISTANCE OF 102.03 FEET TO THE SAID "POINT OF BEGINNING."

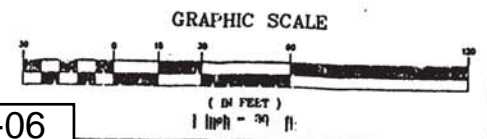
SAID PARCEL CONTAINING 2.732 ACRES AND BEING ALL OF HENRICO COUNTY P.L. MAP No. 83-A 144 AND 145.

TOGETHER WITH AND SUBJECT TO ALL EASEMENTS, COVENANTS AND RESTRICTIONS OF RECORD.

TITLE COMMITMENT

THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A TITLE REPORT AS PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY; CASE No. 011556R, EFFECTIVE DATE OCTOBER 31, 2001. LISTED BELOW ARE THE EXCEPTIONS AS REFERENCED IN SCHEDULE B-SECTION 2 THEREOF AND THERE EFFECT ON THE SUBJECT PROPERTY.

<p>Ⓛ VIRGINIA POWER POLE LINE EASEMENT DB 719, PG 289 AS SHOWN ON PLAT</p> <p>Ⓛ VIRGINIA POWER POLE LINE EASEMENT DB 729, PG 132 AS SHOWN ON PLAT</p>	<p>Ⓛ VIRGINIA POWER POLE LINE EASEMENT DB 974, PG 64 AS SHOWN ON PLAT</p> <p>Ⓛ VIRGINIA POWER POLE LINE EASEMENT DB 474, PG 161 DOES NOT EFFECT SUBJECT PROPERTY</p>	<p>Ⓛ VIRGINIA POWER POLE LINE EASEMENT DB 477, PG 378 DOES NOT EFFECT SUBJECT PROPERTY</p>
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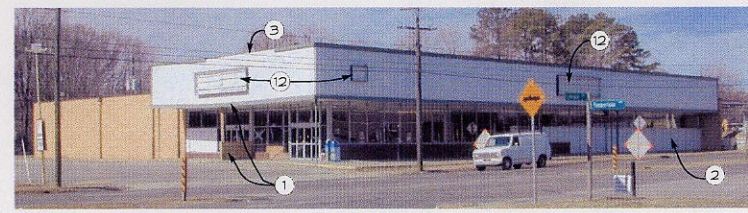
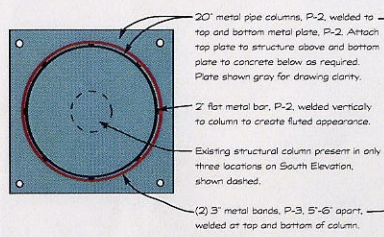
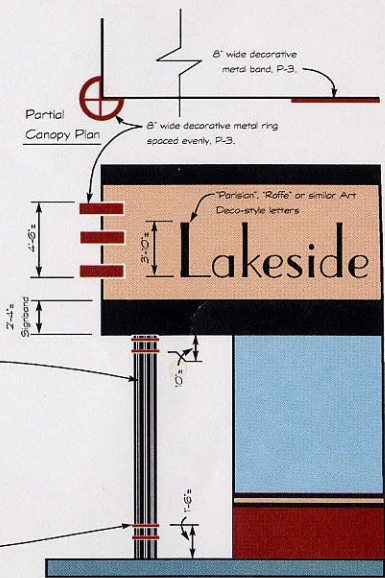
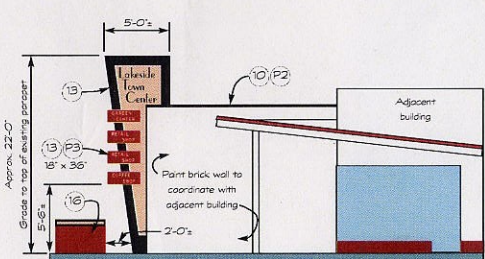
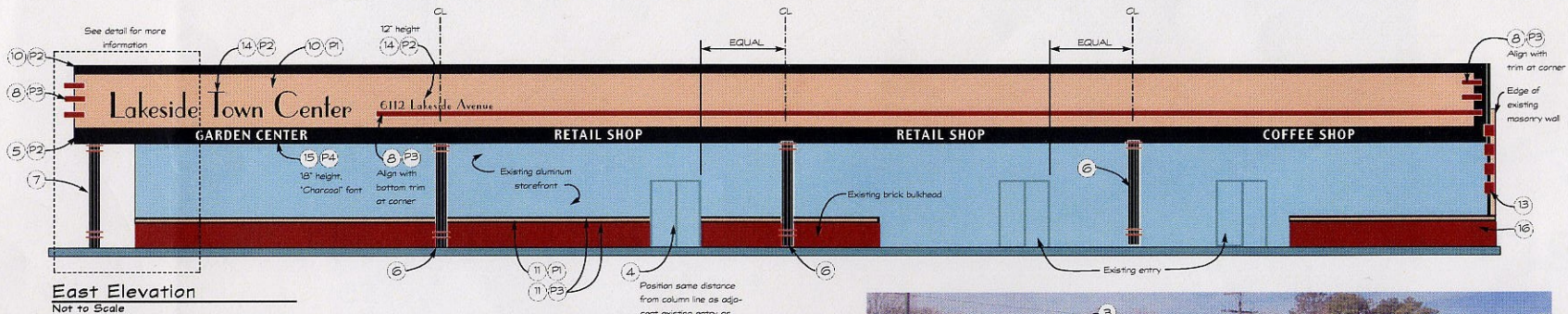
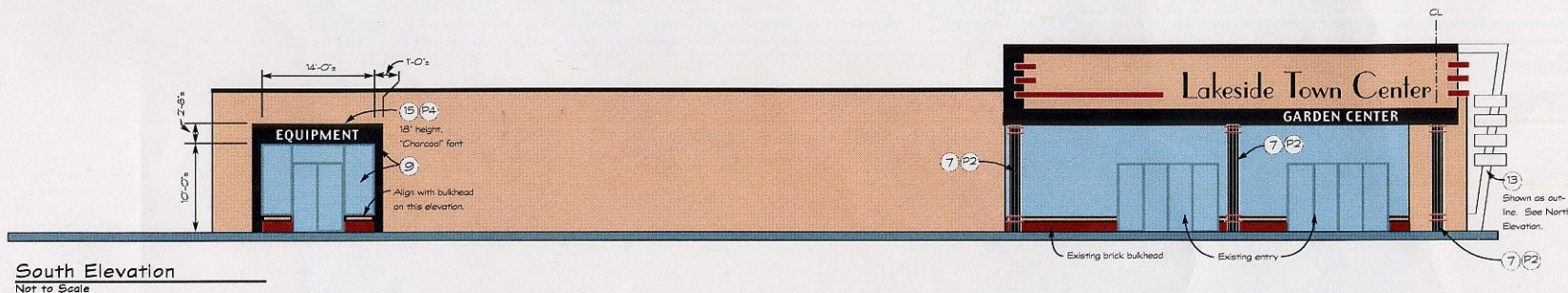
ALTA/ACSM LAND TITLE SURVEY OF 2.732 ACRES
ALONG THE WEST LINE OF LAKESIDE AVENUE,
FAIRFIELD DISTRICT, HENRICO COUNTY, VIRGINIA

DATE	CHECK BY

DATE: 01-10-02
SCALE: 1" = 30'
DRAWN BY: JMK
COMP. BY: JMK
HOL 47007

C-1C-06

SHEET 1 of 1



Existing Conditions
 Not to Scale

SCHEMATIC DESIGN: This drawing is conceptual and not working drawings for construction. The notes are intended as guidelines for rehabilitation. Some aspects of the design may require further drawings prior to construction. Field Check any dimensions shown on this drawing. It is the responsibility of the owner and contractor to acquire additional technical or professional assistance as needed before or during construction.

ADA GUIDELINES: Insure that all entrances meet the ADA Guidelines. It is the owners responsibility to insure that the entire building meets the ADA Guidelines. While change of use will not activate ADA, alterations to the space will. In addition, barriers must be removed when readily achievable. See note 8 for more information.

NOTES

1. Repair damage to column and canopy. Re-align metal siding and trim. Repair or replace metal storefront. Replacement material should match existing materials.
2. Remove wood panels to reveal existing storefront.
3. Repair or replace metal cap to match existing.
4. Cut-in new metal storefront entry. Match existing entry door materials and proportions.
5. Install new metal trim to canopy to create lower sign band. See detail for more information.
6. Install new decorative metal columns and trim. Align with existing interior and exterior columns. See detail for more information.
7. Install new decorative metal columns and trim around existing columns. See detail for more information.
8. Install new decorative metal bands to canopy. See detail for more information.
9. Install new metal storefront with brick bulkhead and entry to match existing. Install metal surround in similar material to existing metal canopy trim, or paint surround on concrete block.
10. Paint metal canopy and trim as shown.
11. Paint top courses of brick bulkhead as shown.
12. Remove existing sign boxes. Patch siding as required.
13. Install new metal sign. Align height with existing parapet wall. Use similar materials to canopy. Inset panel (light color) may be smooth finish and not corrugated like existing siding. Coordinate all metal sign materials, finishes and fonts.
14. Install sign letters to existing canopy. Sign may be a metal panel attached to metal siding and painted to blend into siding color, optional. Metal sign panel to be aluminum with at least the strength and durability properties of alloy 5005-H15, square cut edges and baked-enamel finish.
15. Install sign letters on to new trim. Sign may be a metal panel attached to metal siding and painted to blend into siding color, optional. Metal sign panel to be aluminum with at least the strength and durability properties of alloy 5005-H15, square cut edges and baked-enamel finish.
16. Install brick low-height wall where sidewalk levels differ on the north-east corner. Brick to match existing brick bulkhead color, finish, mortar, and size as closely as possible. Paint top courses of brick to similar to brick bulkhead. Leave gap between new sign and new brick wall as shown.

6112 Lakeside Avenue
 Richmond, Virginia

03/30/05
 2003.100.16

A.1

SHEET 1 OF 1

C-1C-06