

Parcels or Portions thereof identified on this sheet are within the Airport Safety Overlay District and are subject to Special Regulation

C-24C-06
Zoning
 Auto Body & Paint Shop
 with Outside Storage
 Varina District
 400 Feet
 PS March 2006 Ref. 819-726-4641



COMMONWEALTH OF VIRGINIA
COUNTY OF HENRICO

Virgil R. Hazelett, P.E.
County Manager

June 20, 2006

C&N, L.L.C.
c/o Mr. Clint Withrow, President
6102 Nine Mile Road
Richmond, VA 23223

Re: Conditional Rezoning Case C-24C-06

Dear Mr. Withrow:

The Board of Supervisors at its meeting on June 13, 2006, granted your request to conditionally rezone from R-3 One Family Residence District to B-3C Business District (Conditional), Parcel 819-726-4641, described as follows:

All that certain tract or parcel of land containing 0.367 Acres (16,000 Sq. Ft.), in Varina District, Henrico County, Virginia, more particularly described as follows:

Beginning at a 3/8" iron rod set on the eastern line of Knight Road, said rod being point and place of beginning; said rod being 292.95' along the eastern line of Knight Road in a northerly direction from the eastern lines intersection with the northern line of Nine Mile Road; thence staying on the eastern line of Knight Drive N 12°54'27" E, for a distance of 80' to a point; thence leaving the eastern line of Knight Drive, S 77°05'33" E, for a distance of 200.00' to a point on the western line of Grove Avenue, an unimproved 30 foot right of way; thence staying on the western line of Grove Avenue S 12°54'27" W, for a distance of 80' to a 3/8" iron rod; thence leaving the western line of Grove Avenue N 77°05'33" W, for a distance of 200.00' to the point and place of beginning.

Said property is shown as crosshatched area of lots 9, 10, 25, and 26 on a plat by Draper Aden Associates entitled "2 Parcels of Land @ Nine Mile Road and Knight Drive – ALTA/ACSM Land Title Survey" dated February 9, 2006 and attached hereto (see case file).

Said property is GPIN: 819-726-4641 as recorded in D.B. 3476, PG.2417 and is bound on the west by Knight Drive, the north by N/F C&N, LLC parcel, GPIN #819-726-4853,

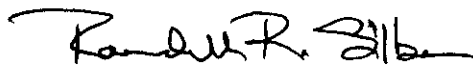
the east by Grove Avenue and the south by the N/F C&N, LLC parcel, GPIN #819-726-4125. Designated as lots 9, 10, 25, and 26, Block B, Beechwood Park, all as shown on plat of subdivision by T. Crawford Redd & Bro. entitled "Map of Beechwood Park on Seven Pines Electric Line, in Henrico County, VA", dated May 20, 1901, recorded October 23, 1901, in Plat Book 8, page 44.

The Board of Supervisors accepted the following proffered conditions, dated June 9, 2006, which further regulate the above described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

1. The Property shall be used exclusively for outside vehicle storage for an automotive body and paint shop.
2. A 6' high white vinyl privacy fence shall be constructed on the Property as a buffer just inside the landscaped transitional buffer referred to in Proffer #3 below along the western, northern and eastern boundaries of the Property.
3. A 35' landscaped transitional buffer pursuant to Section 24-106.2 of Chapter 24 of the Code of the County of Henrico, Virginia will be provided unless a deviation is permitted at the time of Plan of Development approval.
4. There shall be no access to the property from Knight Drive.

The Planning Department has been advised of the action of the Board of Supervisors and will revise its records and place a copy of the accepted proffered conditions in the Conditional Zoning Index.

Sincerely,



for Virgil R. Hazelett, P.E.
County Manager

pc: John G. Mizell, Jr.
Director, Real Estate Assessment
Conditional Zoning Index