

C-28C-06
Zoning
Office Warehouse
Varina District
400 Feet
PS April 2006 Ref: 799-709-0564



COMMONWEALTH OF VIRGINIA
COUNTY OF HENRICO

Virgil R. Hazelett, P.E.
County Manager

July 14, 2006

William W. Browning, Jr.
706 McCoul Street
Richmond, VA 23231

Re: Conditional Rezoning Case C-28C-06

Dear Mr. Browning:

The Board of Supervisors at its meeting on July 11, 2006, granted your request to conditionally rezone from R-3 One Family Residence District and M-2 General Industrial District to M-2C General Industrial District (Conditional) and C-1 Conservation District, on part of Parcel 799-709-0564, described as follows:

Part of a 8.680 parcel of land with improvements thereon and appurtenances thereto belonging, lying and being in Henrico County, Virginia, based on a plat entitled "Marion View" dated March, 2006 (see case file) made by Dan Carney & Assocs., C.L.S., containing 7.480 acres, more or less, and described as follows:

PARCEL ONE: M-2C (5.96 Ac.)

Beginning at the intersection of the east line of Old Osborne Turnpike (State Route 5) with the east line of Osborne Road, thence N 01°09'04" E, ±244.09' to a point marking the location of the 100 Year Flood Plain; thence meanders northeast along the 100 Year Flood Plain ±682' to a point; thence S 20°14'09" E, ±558.61' to a point; thence S 89°42'11" W, 263.43' to a point; thence S 0°34'51" W, 48.54' to a point; thence N 89°25'09" W, 300.00' to a point; thence S 71°16'18" W, 88.72' to a point; thence N 01°07'51" E, 29.33' to a point; thence N 57°31'39" W, 23.42' to the point of beginning.

PARCEL TWO: C-1 (1.52 Ac.)

Beginning at a point on the eastern line of Osborne Road ±244.09' Northeast of the intersection of Old Osborne Turnpike (State Route 5) and Osborne Road, the boundary line in common of this property and the right-of-way of Osborne Road, thence along the eastern line of Osborne Road N 01°09'04" E, ±221.95' to a point on Almond Creek;

thence meanders northeast along Almond Creek $\pm 475'$ to a point; thence S $20^{\circ}14'09''$ E, $\pm 125.58'$ to a point marking the location of the 100 Year Flood Plain; thence meanders southwest along the 100 Year Flood Plain $\pm 682'$ to a point on the eastern line of Old Osborne Turnpike to the point of beginning.

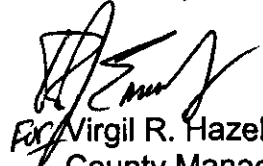
The Board of Supervisors accepted the following proffered conditions, dated July 6, 2006, which further regulate the above described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

1. **Permitted Uses:** The only uses permitted on the property shall be: office warehouse not exceeding 15,000 square feet of floor area; landscape contracting and tree service; farm supply, sales, rental and repair.
2. **Parking and Storage:** Commercial vehicles over five (5) tons shall not be parked outside overnight. All equipment and supplies shall be stored indoors only.
3. **Lighting:** Site lighting shall be decorative in style and shall be installed so as not to emit glare on adjacent properties. The maximum height of light standards shall be twenty-five (25) feet from grade. Light intensity shall be reduced to no more than security level at the close of business each day.
4. **Site Design:** The property shall be developed substantially similar to the site plan entitled "Browning Office Warehouse" by QMT Engineers dated 5/5/06 (see case file), unless otherwise approved by the Planning Commission at the time of the Plan of Development.
5. **Building Design:** The office warehouse shall be built substantially similar to the elevations entitled "Browning Property" by Design Consortium dated 6/14/06 (see case file) unless otherwise approved by the Planning Commission at the time of the Plan of Development.
6. **Access drive:** The access drive off Old Osborne Turnpike (Route 5) shall be constructed no less than 25 feet from the residential property line identified by GPIN 798-709-9131. The buffer between the access drive and the property identified by GPIN 798-709-9131 shall be planted to a Transitional Buffer 50 level.
7. **Landscaping:** Landscaping on the property shall be retained, planted, and maintained in a manner substantially similar to the plan entitled "Browning Property Preliminary Landscape Plan" by QMT Engineers dated 6/26/06 (see case file), unless otherwise approved by the Planning Commission at the time of the Plan of Development.

William W. Browning, Jr.
July 14, 2006
Page 3

The Planning Department has been advised of the action of the Board of Supervisors and will revise its records and place a copy of the accepted proffered conditions in the Conditional Zoning Index.

Sincerely,



For Virgil R. Hazelett, P.E.
County Manager

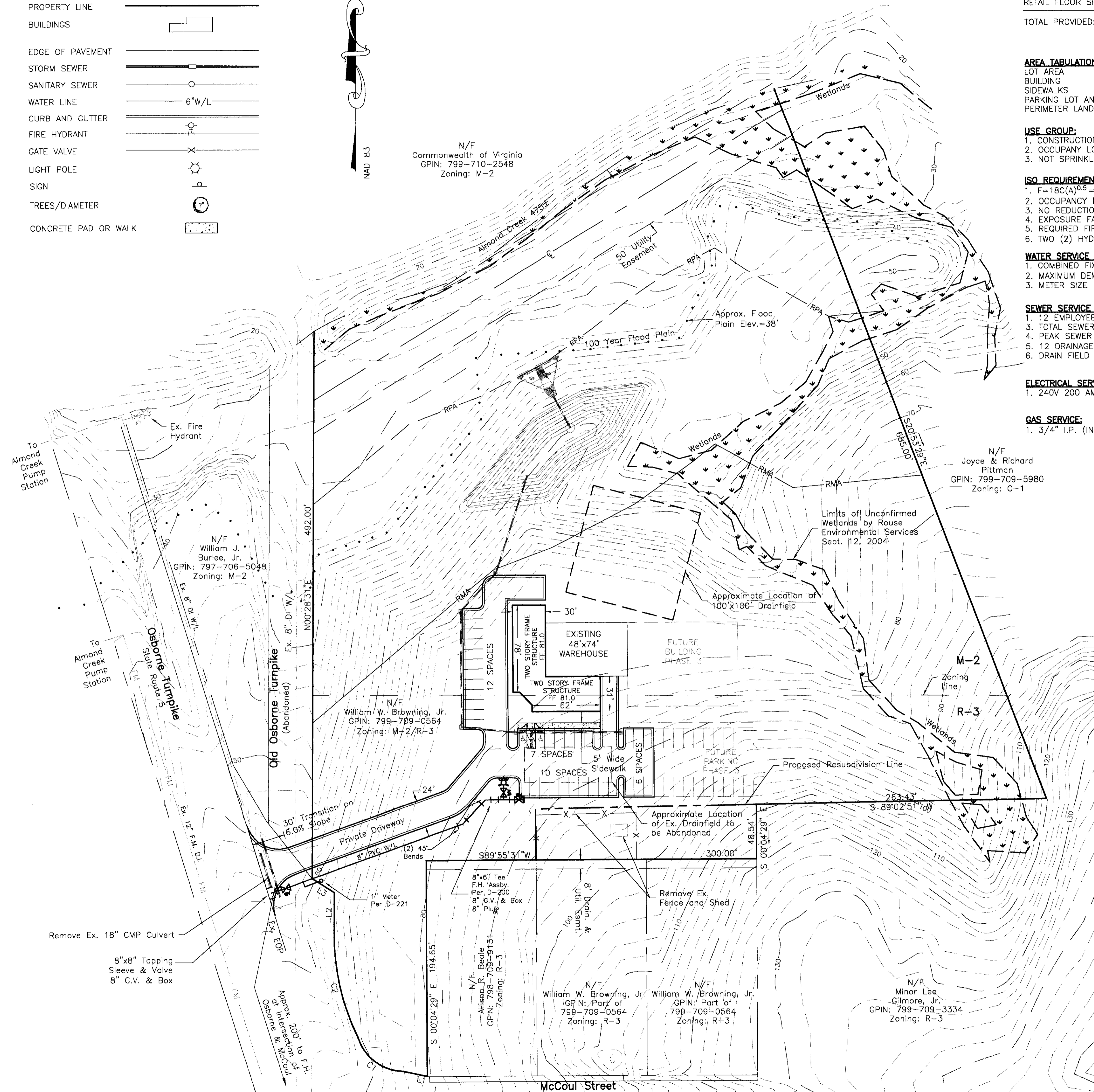
pc: Director, Real Estate Assessment
Conditional Zoning Index

LEGEND

DESCRIPTION	SYMBOL
CONTOUR	201
PROPERTY LINE	---
BUILDINGS	[Symbol]
EDGE OF PAVEMENT	---
STORM SEWER	--- ---
SANITARY SEWER	○
WATER LINE	6" W/L
CURB AND GUTTER	---
FIRE HYDRANT	[Symbol]
GATE VALVE	X
LIGHT POLE	[Symbol]
SIGN	[Symbol]
TREES/DIAMETER	[Symbol]
CONCRETE PAD OR WALK	[Symbol]



N/F
Commonwealth of Virginia
GPIN: 799-710-2548
Zoning: M-2



SUMMARY PLAN OF DEVELOPMENT DATA

PARKING CALCULATIONS:

	BUILDING S.F.	SPACES REQUIRED
RETAIL FLOOR SPACE (1 PER 200 S.F.)	6,946 S.F.	35 SPACES
TOTAL PROVIDED:		34 (9'x18' SPACES) 2 (24'x18' VAN ACCESSIBLE HANDICAP SPACES)

AREA TABULATIONS:

LOT AREA	=	328,087 S.F. AFTER RESUBDIVISION
BUILDING	=	6,946 S.F.
SIDEWALKS	=	375 S.F.
PARKING LOT AND DRIVES	=	20,925 S.F.
PERIMETER LANDSCAPING	=	- S.F.

- USE GROUP:**
- CONSTRUCTION TYPE = 5B
 - OCCUPANCY LOAD = -
 - NOT SPRINKLED

- ISO REQUIREMENTS:**
- $F = 1.8C(A)^{0.5} = 1.8(1.5)(5,935)^{0.5} = 2,000$ GPM.
 - OCCUPANCY FACTOR = 0.85 (C2)
 - NO REDUCTION FOR SPRINKLERS.
 - EXPOSURE FACTOR: 1.0
 - REQUIRED FIRE FLOW = 1,750 GPM.
 - TWO (2) HYDRANTS REQUIRED.

- WATER SERVICE REQUIREMENTS:**
- COMBINED FIXTURE VALUE = 40
 - MAXIMUM DEMAND = 51 GPM (INTERNATIONAL PLUMBING CODE)
 - METER SIZE = 1 INCH

- SEWER SERVICE REQUIREMENTS:**
- 12 EMPLOYEES: 180 GPD
 - TOTAL SEWER FLOW: 180 GPD
 - PEAK SEWER FLOW: 0.0032 MGD
 - 12 DRAINAGE FIXTURE UNITS (INTERNATIONAL PLUMBING CODE)
 - DRAIN FIELD

- ELECTRICAL SERVICE:**
- 240V 200 AMP 1-3ø

- GAS SERVICE:**
- 3/4" I.P. (INTERMEDIATE PRESSURE)

PROPERTY NOTES:
GPIN NO. 799-709-0564
TOTAL AREA = 7.804 ACRES
ZONING M-2 = 4.880 ACRES
ZONING R-3 = 3.124 ACRES
FLOOD PLAIN = 1.54 ACRES

BOUNDARY & SURVEY INFORMATION:
SITE PLAN PREPARED WITH OUT THE BENEFIT OF A TOPOGRAPHIC SURVEY. TOPOGRAPHIC INFORMATION COMPILED FROM HENRICO COUNTY GIS DATA, GRADING & EROSION CONTROL PLAN BY QMT, CORP. DATED MAY 2, 2005, AND OWNER SUPPLIED DATA. BOUNDARY INFORMATION TAKEN FROM UNSIGNED PLAT FOR MARION VIEW, VARINA DISTRICT, HENRICO CO., VA. PREPARED BY WARREN W. SHAW, C.L.S. ENGINEERING DESIGN ASSOCIATES, INC., NOVEMBER 21, 1991, AS PROVIDED BY THE OWNER.

WETLANDS:
THE WETLANDS DELINEATION HAS BEEN PROVIDED BY ROUSE ENVIRONMENTAL SERVICES ON SEPTEMBER 12, 2004, WITHOUT THE BENEFIT OF THE CORPS OF ENGINEERS AND COMMONWEALTH OF VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY CONFIRMATION.

RESOURCE PROTECTION AREA:
THE RPA LIMITS HAVE BEEN PROVIDED BY ROBIN WILDER OF THE COUNTY OF HENRICO DEPARTMENT OF PUBLIC WORKS ON SEPTEMBER 28, 2004.

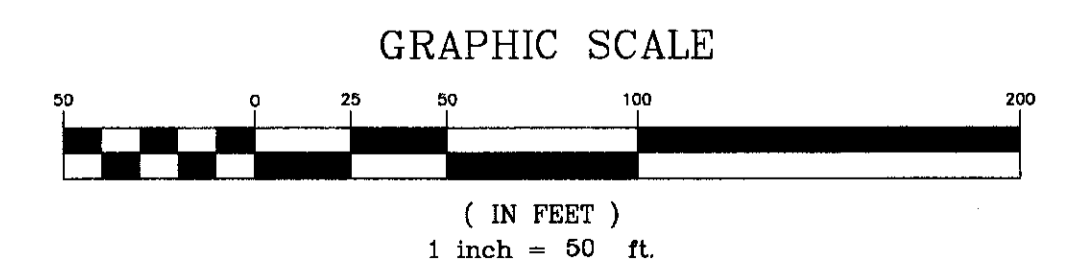
TOPOGRAPHY MAPPING:
SOURCE: COMPREHENSIVE DRAINAGE STUDY MAP OF HENRICO COUNTY, VIRGINIA, PUBLIC WORKS SECTION. SHEETS 279 & 280, NAD83 DATUM.

FLOOD PLAIN:
SOURCE: UNSIGNED PLAT FOR MARION VIEW, VARINA DISTRICT, HENRICO CO., VA. PREPARED BY WARREN W. SHAW, C.L.S. ENGINEERING DESIGN ASSOCIATES, INC., NOVEMBER 21, 1991, AS PROVIDED BY THE OWNER. APPROX. ELEVATION = 38'.

SUPPORTING DOCUMENTS COUNTY OF HENRICO, VIRGINIA

- PRELIMINARY PLAN APPLICATION
- NOTIFICATION OF INTENT TO DISCHARGE TO SANITARY SEWER
- FIRE FLOW ESTIMATE FORM
- DOMESTIC METER SIZING FORM

CWB = 52NE



C-28C-06

QMT ENGINEERS & PROJECT MANAGERS
5901 Lakeside Avenue
Richmond, Virginia 23228
Email: qmtcorp@verizon.net or qmtcorp@aol.com

COMM. HEALTH OF VIRGINIA
T.L. ROHRMOSER
No. 10061
Professional Engineer

REVISIONS

DESIGNED:	AQN
DRAWN:	AQN
CHECKED:	TLR
DATE:	1-27-06
SCALE:	1" = 50'

BROWNING OFFICE WAREHOUSE
VARINA DISTRICT, HENRICO COUNTY, VIRGINIA
SITE DEVELOPMENT PLAN

PROJECT NUMBER
050803
SHEET
2 OF 6



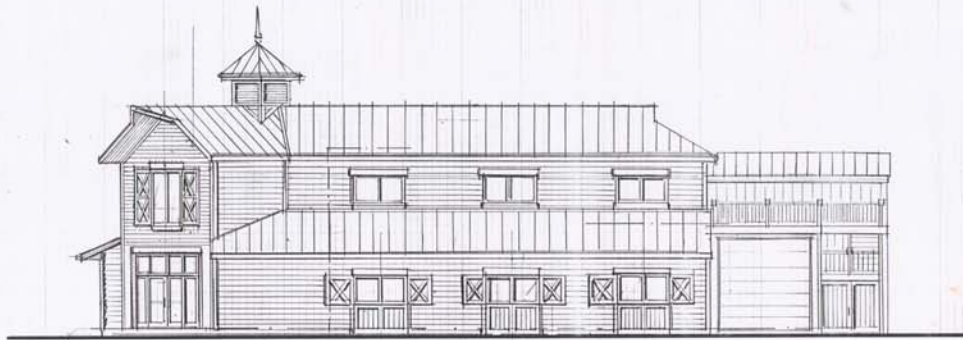
WEST ELEVATION

SCALE: 1/8" = 1'-0"



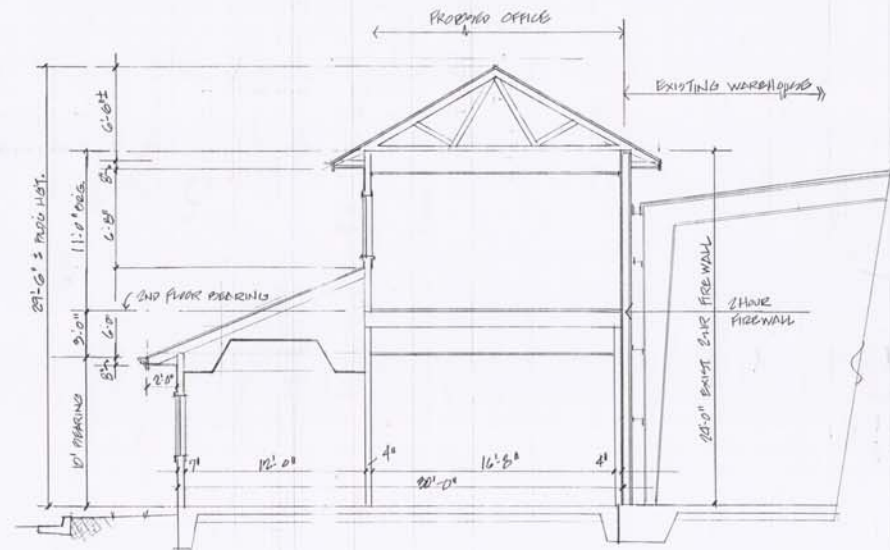
VICINITY MAP

SCALE 1" = 2000'



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



BUILDING SECTION

SCALE: 1/4" = 1'-0"



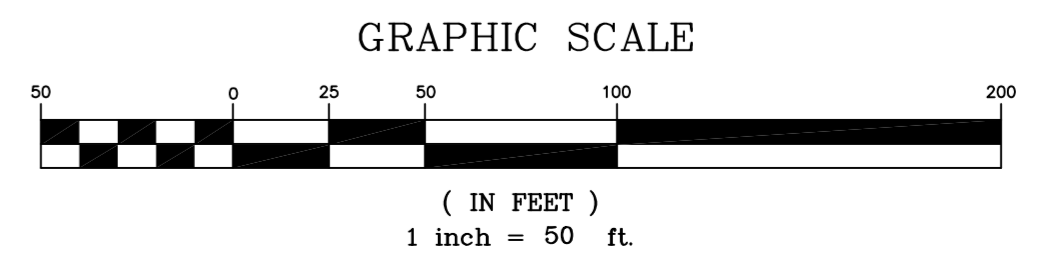
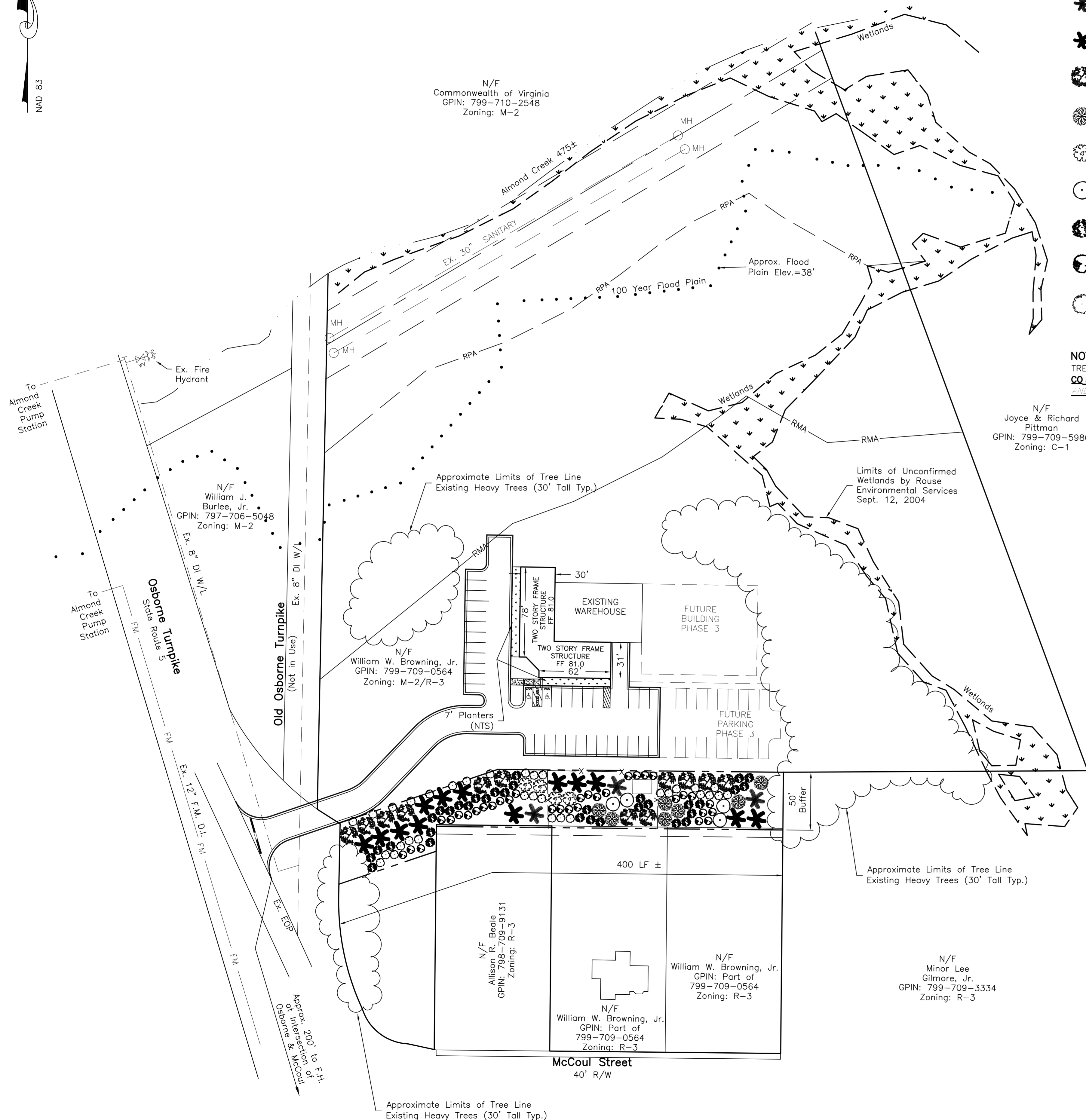
STANDARDIZED TREE SELECTION & ORNAMENTAL SHRUB SCHEDULE

LEGEND	TYPE	BOTANICAL/COMMON NAME	QUANTITY	CANOPY, PROJECTED 10 YEAR COVER AREA, SQ. FT.	CALIPER OR HEIGHT AT PLANTING	MINIMUM PLANTING AREA SQ. FT.
	LE	EXISTING EVERGREEN	3	250	-	-
	LE	PINUS TAEDA/LOBLOLLY PINE	13	150	6" (CALIPER)	130
	LD	ACER RUBRUM/RED MAPLE	12	200	8" (CALIPER)	130
	MD	PRUNUS SEROTINA/BLACK CHEERY	2	150	8" (CALIPER)	90
	MD	SALIX MATSUDANA/CORKSCREW WILLOW	1	150	8" (CALIPER)	90
	MD	BETULA NIGRA/RIVER BIRCH	1	150	8" (CALIPER)	90
	SD	SYRINGE RETICULATA/JAPANESE TREE LILAC	32	40	8" (CALIPER)	30
	SD	COMUS KOUSA/COMELIANCHERRY DOGWOOD (JAPANESE FLOWERING DOGWOOD)	32	40	8" (CALIPER)	30
	SD	PRUNUS CERASIFERA/FLOWERING PLUM	32	40	8" (CALIPER)	30

NOTE:
 TREE AND SHRUB SELECTION TO FOLLOW THE "TREE SELECTION AND COVER GUIDE" OF THE HENRICO COUNTY LANDSCAPE ORDINANCE AND LANDSCAPE MANUAL, EFFECTIVE DATE NOVEMBER 15, 1991.

LANDSCAPE NOTES:

TRANSITIONAL BUFFER MINIMUM 50' WIDE
 PLANTING SHALL BE AS FOLLOWS PER 100 FOOT OF LENGTH:
 SEVEN (7) LARGE DECIDUOUS OR EVERGREEN TREES OF ULTIMATELY 50' OR HIGHER
 FOUR (4) SMALL DECIDUOUS TREES OR EVERGREEN TREES OF ULTIMATELY 20' OR HIGHER
 TWENTY-FOUR (24) SHRUBS OF ULTIMATELY 10' OR HIGHER



C-28C-06

CWB = 52NE

063006

ENGINEERS & PROJECT MANAGERS



REVISIONS

DESIGNED: AON	DESIGNED: AON	CHECKED: TLR	DATE: 6-26-06	SCALE: 1"=50'
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BROWNING OFFICE WAREHOUSE
 VARINA DISTRICT, HENRICO COUNTY, VIRGINIA
PRELIMINARY LANDSCAPE PLAN

PROJECT NUMBER
050803

SHEET
 4 OF 6