



COMMONWEALTH OF VIRGINIA  
**COUNTY OF HENRICO**

Virgil R. Hazelett, P.E.  
County Manager

December 15, 2009

Nobility Investments, LLC  
Attn: Mayur Patel  
1101 Technology Park Drive  
Glen Allen, VA 23059

Re: Conditional Rezoning Case C-23C-09

Dear Mr. Patel:

The Board of Supervisors at its meeting on December 8, 2009, granted your request to amend proffered conditions accepted with Rezoning Case C-11C-07, on Parcel 767-747-9248, located on the north line of Glenside Drive approximately 355 feet west of Bethlehem Road, described as follows:

**Parcel 2 (767-747-9244)**

COMMENCING at a point being the intersection of the south line of Bethlehem Road and the west line of Glenside Drive; thence departing the south line of Bethlehem Road and continuing along the west line of Glenside Drive, S 12°00'44" W 33.16 feet to a point; thence S 54°31'14" W 307.11 feet to a point; thence departing the west line of Glenside Drive, N 35°28'46" W 175.00 feet to a point, said point being the POINT OF BEGINNING; thence S 54°31'14" W 330.00 feet to a point; thence N 31°04'56" W 347.31 feet to a point; thence N 59°57'44" E 406.51 feet to a point; thence S 67°54'03" E 43.42 feet to a point; thence S 26°25'28" E 85.53 feet to a point; thence S 60°14'25" W 107.44 feet to a point; thence S 34°15'13" E 197.37 feet to a point, said point being the POINT OF BEGINNING containing 119,664 square feet or 2.747 acres of land.

**Parcel 3 (PART OF 768-747-2750)**

BEGINNING at a point on the west line of Glenside Drive 314.05 feet from the intersection of the west line of Glenside Drive and the south line of Bethlehem Road; thence S 54°31'14" W 26.22 feet to a point; thence departing the west line of Glenside Drive, N 35°28'46" W 175.00 feet to a point; thence N 34°15'13" W 197.37 feet to a point; thence N 60°14'25" E 107.44 feet to a point; thence N 26°25'28" W 49.01 feet to a point; thence S 30°02'16" E 51.93 feet to a point; thence S 60°14'25" W 22.50 feet to a point; thence S 30°02'28" E 68.27 feet to a point; thence S 53°46'06" W 69.00 feet to a point; thence S 35°12'48" E 109.68 feet to a point; thence S 35°33'20" E 79.34 feet to a point; thence along a curve to the left having a radius of 146.23 feet, an arc length of 25.12 feet and a chord of S 42°03'14" E 25.09 feet to a point; thence S 49°02'52" E 19.88 feet to a point; thence S 47°34'46" E 10.77 feet to a point; thence along a curve to the right having a

radius of 132.00 feet, an arc length of 19.22 feet and a chord of S 40°03'03" E 19.21 feet to a point; thence S 35°32'35" E 20.05 feet to a point; thence along a curve to the right having a radius of 207.97 feet, an arc length of 8.11 feet and a chord of S 30°38'01" E 8.11 feet to a point; thence along a curve to the right having a radius of 23.74 feet, an arc length of 0.63 feet and a chord of S 27°54'01" E 0.63 feet to a point along the northern line of Glenside Drive, said point being the POINT OF BEGINNING, containing 11,797 square feet or 0.271 acre of land.

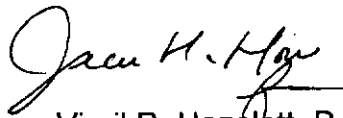
The Board of Supervisors accepted the following proffered conditions, dated September 9, 2009, which further regulate the above use of your property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

Except as amended below, all proffers accepted with C-11C-07 shall remain in full force and effect.

Proffer 15: Landscaping as depicted on the attached landscaping plan prepared by Fox Meadow Landscape Designs and dated April 2009, (see case file) except for such variations as may be approved by the Director of Planning or his designee, shall be installed along the northeast property line adjacent to the areas described as L1, L2 and L3 on the zoning plat.

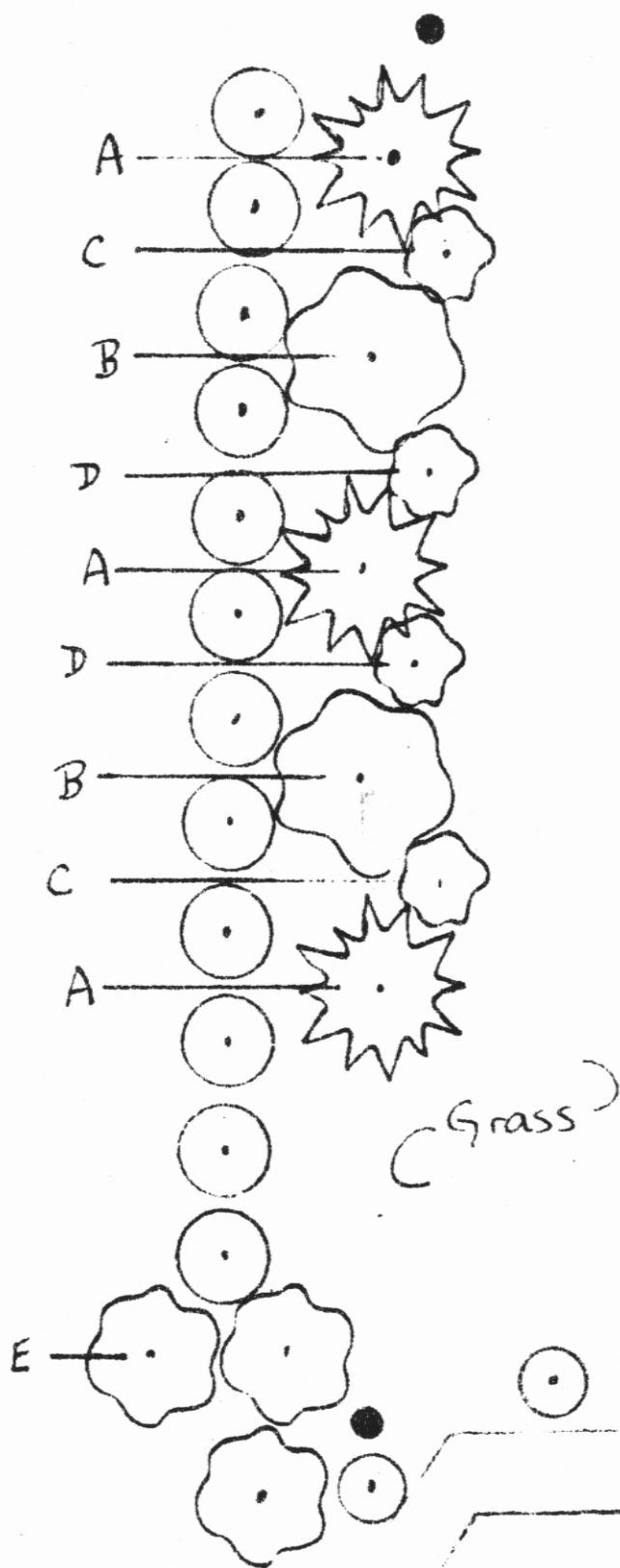
The Planning Department has been advised of the action of the Board of Supervisors and will revise its records and place a copy of the accepted proffered conditions in the Conditional Zoning Index.

Sincerely,

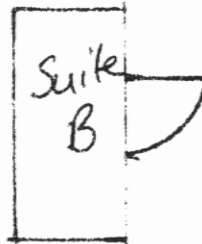


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pc: Director, Real Estate Assessment  
Conditional Zoning Index



Recommended  
landscape in  
place of wall



(Building)  
5412



Suggested plant choices

| Ltr | Qty | Name  |
|-----|-----|---|
| A   | 3   | Magnolia grandiflora 'Little Gem' or<br>Ilex x 'Nellie R. Stevens' or<br>Cryptomeria japonica 'Yoshino'   |
| B   | 2   | Lagerstroemia indica or your choice or<br>Camellia japonica of your choice or<br>Abelia grandiflora       |
| C   | 2   | Hydrangea quercifolia or Rosa 'Knockout'  |
| D   | 2   | Rhododendron 'George L. Taber' or<br>Spirea japonica 'Anthony Waterer' or<br>Callicarpa dichotoma 'Issai' |
| E   | 3   | Rosa 'Knockout' or Pyracantha coccinea  |

Key  
Circles are existing plants

**Norman Business**  
**5412-B Glenside Commons Dr.**  
**Richmond, VA 23228**

**C-23C-09**

**Fox Meadow Landscape Designs**  
**Lorrie Lincoln 804-360-5657**  
**April 2009**      ~1/8" = 1' 0"