

O-1C & R-3  
to O-2C  
2.272 Ac.

**C-6C-09**  
**Zoning**  
 Expand Office Park  
 Three Chopt District

400 Feet

PS December 2008 Ref: 756-750-3871



COMMONWEALTH OF VIRGINIA

COUNTY OF HENRICO

April 21, 2009

Virgil R. Hazelett, P.E.  
County Manager

8516 Fordson, LLC  
C/O J. Stefan Cametas  
2307 North Parham Road  
Richmond, VA 23229

Re: Conditional Rezoning Case C-6C-09

Dear Mr. Cametas:

The Board of Supervisors at its meeting on April 14, 2009, granted your request to conditionally rezone from O-1C Office District (Conditional) and R-3 One-Family Residence District to O-2C Office District (Conditional), Parcels 756-750-3871 and 756-750-5679 and part of Parcel 756-751-2001, described as follows:

Commencing at the intersection of Parham Road and Fordson Road; thence along the northerly right-of-way of Fordson 491' feet east to a point, said point being labeled P.O.B. 1; beginning at said point; thence leaving said right-of-way N 30°08'01" E for 396.95' to a point; thence S 59°51'59" E for 250.00' to a point; thence S 30°08'01" W for 394.80' to a point, said point lying on the northerly right-of-way line of Fordson Road; thence along said right-of-way N 60°21'33" W for 250.01' to a point, said point being the true point and place of Beginning and containing 2.272 acres, more or less.

The Board of Supervisors accepted the following proffered conditions, dated February 18, 2009, which further regulate the above described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

1. **Conceptual Plan.** Development of the Property shall be in general conformance with the Conceptual Plan dated January 27, 2009 entitled "Rezoning Exhibit Pembroke Henrico County, Virginia", prepared by Koontz-Bryant, P.C. attached hereto (the "Concept Plan") (see case file), which Concept Plan is conceptual in nature and may vary in detail, unless otherwise requested and specifically approved at the time of Plan of Development.
2. **Elevations.** Any buildings constructed on the Property shall be in general conformance with the architectural appearance shown on the elevations dated January 24, 2009, entitled "Pembroke Center Richmond, Virginia", prepared by Architectural Design Services, Inc., AIA, attached hereto (see case file), unless otherwise requested and specifically approved at the time of Plan of Development. The exposed portion of each exterior wall surface (front, rear and sides) of any building (excluding rooftop screening materials for mechanical equipment, windows, doors, breezeways, gables, and other architectural design features) shall be predominantly brick with decorative features of alternate

materials such as E.I.F.S., vinyl, wood, or cementitious siding, unless different architectural treatment and/or materials are specifically approved with respect to the exposed portion of any such wall at the time of Plan of Development.

3. **Setbacks.** No portion of any building shall be constructed within ninety (90) feet of the eastern boundary, nor within sixty (60) feet from the northern boundary, exclusive of accessory structures, unless otherwise requested, and specifically approved, at the time of Plan of Development.
4. **Height.** No building constructed on the Property shall exceed thirty-five (35) feet in height, unless otherwise requested and specifically approved at the time of Plan of Development.
5. **Buffers.** A suitable dense evergreen screen of plantings as determined at the time of Landscape Plan shall be maintained in a minimum of a twenty-five (25) foot wide area along the eastern boundary of the Property which shall meet the transitional buffer 25 standards, and thirty-five (35) feet along the northern boundary of the Property which shall meet transitional buffer 35 standards, except to the extent necessary, or allowed, for utility easements, grading, driveways and other purposes requested and specifically approved, or if required, at the time of Plan of Development. The existing plantings in the buffer area will be maintained to the extent reasonably practical and supplemental landscaping will be provided as approved or required at the time of Landscape Plan approval. Underbrush, fallen, diseased or dead plant growth may be removed from the aforesaid buffer area. At least a ten (10) foot wide strip along the Fordson Road frontage shall be landscaped to meet the standards of transitional buffer 10, except to the extent necessary, or allowed, for utility easements, grading, driveways and other purposes requested and specifically approved, or if required, at the time of Plan of Development.
6. **Parking Lot Lighting.** Parking lot lighting standards and fixtures shall not exceed thirteen (13) feet in height, shall be residential in character and of a quality and height generally consistent with the parking lot lighting standards and fixtures on the adjacent property which was the subject of Case No. C-46C-91. Parking lot lighting fixtures shall not produce a lighting intensity in excess of one-half (1/2) foot candle along the boundaries of the Property, except where adjacent to the property which was the subject of Case No. C-46C-91. Parking lot lighting shall be reduced or turned off after business hours (except when the parking lot is being used for church functions) and with the exception of minimum lighting requirements for security purposes.
7. **Other Lighting.** Exterior lighting on the structures shall be positioned in such a manner as to minimize the impact of such lighting on adjacent residential areas and be of such type as approved or required at the time of Plan of


Development, and after business hours will be reduced to a level sufficient for security and safety purposes.

8. **Use Restrictions.** The use of the Property will be restricted to those uses permitted in the O-2 Office District with the exception that the Property shall not be utilized for any of the following:
  - a. banks, savings and loan, or small loan establishments, drive-in or otherwise;
  - b. funeral home or undertaking establishments; and
  - c. child care center.
9. **No Mobile Signs.** No mobile sign shall be placed on the Property.
10. **Underground Utilities.** Except for junction boxes, meters and existing overhead utility lines and technical or environmental reasons, all utility lines shall be underground.
11. **Trash Enclosures.** Enclosure areas for any dumpsters on the Property shall be constructed of brick on three (3) sides that is complementary to that which is utilized in the primary building. The fourth side shall be gated with an opaque material other than wood. The location of any enclosures for dumpsters shall be determined at the time of Plan of Development.
12. **Hours of Construction.** The hours of exterior construction, including operation of bulldozers and other earthmoving equipment, shall only be between 7:00 a.m. and 7:00 p.m., Monday through Saturday, except in emergencies or where *unusual circumstances require extending the specific hours in order to complete work such as concrete pours or utility connections that cannot be interrupted.* Signs, in both English and Spanish, stating the above-referenced provisions shall be posted and maintained at all entrances to the Property prior to any land disturbance activities thereon.
13. **HVAC.** Heating and air conditioning equipment, any recycling receptacles, and any utility meters and/or boxes shall be screened from public view at ground level at the Property line in a manner approved at the time of Plan of Development.
14. **Severance.** The unenforceability, elimination, revision or amendment of any proffer set forth herein, in whole or in part, shall not affect the validity or enforceability of the other proffers or the unaffected part of any such proffer.
15. **Public Address.** No outside public address, loudspeaker, paging or speaker system audible beyond the boundary lines of the Property shall be permitted.

16. **Detached Signage.** Any detached signs shall be ground-mounted, monolithic-type signs and shall not exceed ten (10) feet in height, the base of which shall be landscaped.
17. **Trash Removal; Parking Lot Cleaning/Leaf Blowing.** Trash pickup from the Property shall be limited to the hours between 7:00 a.m. and 8:00 p.m. Monday through Friday and between 9:00 a.m. and 8:00 p.m. on Saturday. There shall be no trash pickup on Sundays. Parking lot cleaning and leaf blowing on the Property shall be limited to the hours between 7:00 a.m. and 8:00 p.m., exclusive of snow removal.
18. **Burning.** During the period of construction on the Property, there shall be no burning of natural materials or construction debris.

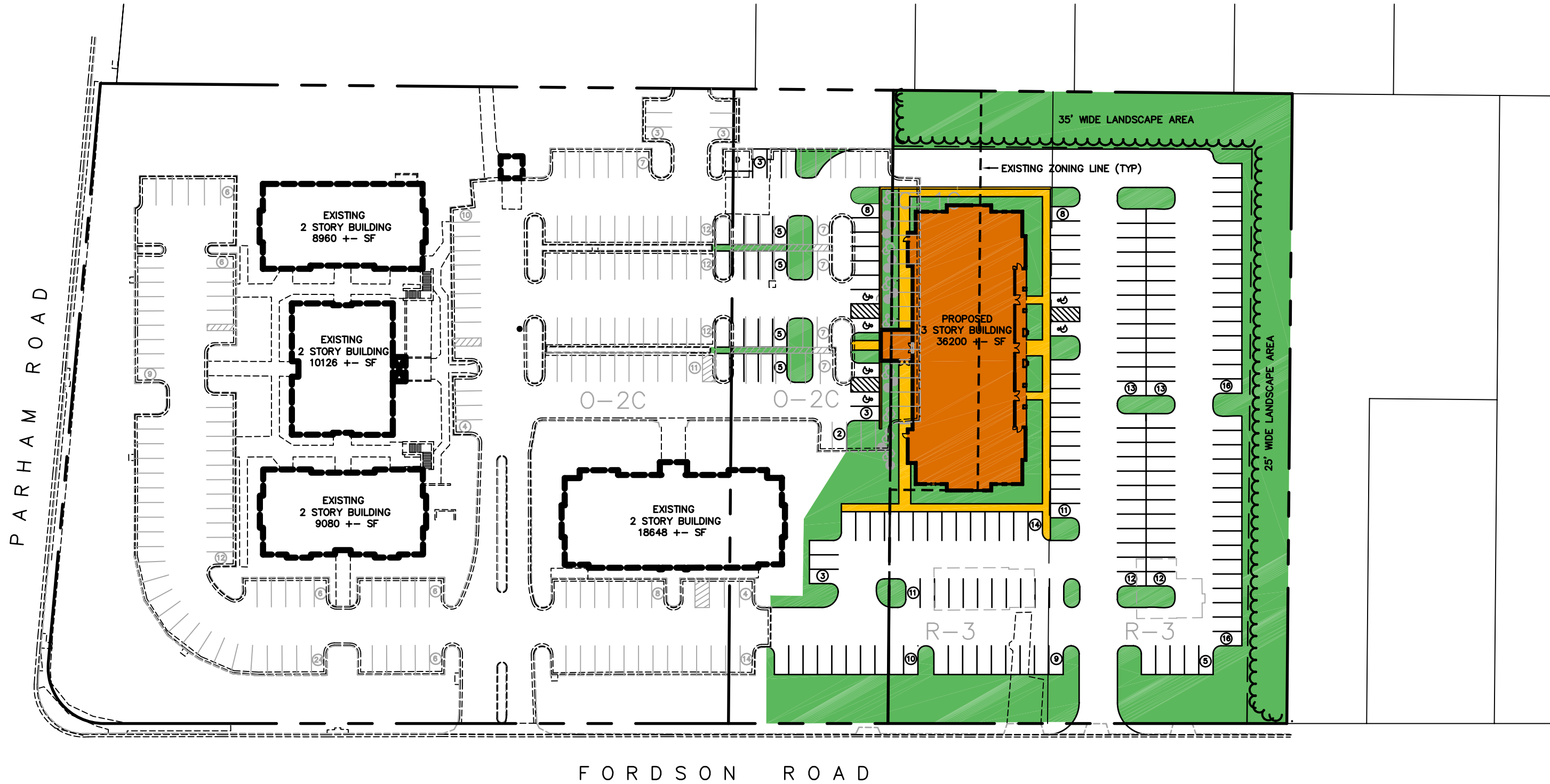
The Planning Department has been advised of the action of the Board of Supervisors and will revise its records and place a copy of the accepted proffered conditions in the Conditional Zoning Index.

Sincerely,



Virgil R. Hazelett, P.E.  
County Manager

pc: John G. Cametas  
Henrico Family Physicians Retirement Plan  
James W. Theobald, Esquire  
Dr. Martha G. Blumenthal, Dir., Research & Planning, Henrico County Schools  
Director, Real Estate Assessment  
Conditional Zoning Index



**SITE DATA**

	EXISTING	PROPOSED	TOTAL
AREA	5.01+- AC	1.96+- AC	6.97+- AC
ZONING	O-2C & O-1C	O-2C	O-2C
BUILDING S.F.	46,814	36,200	83,014

**PARKING CALCULATIONS**

USE		PARKING REQUIRED	PARKING PROV'D
MEDICAL OFFICE	30,000 SF	1 PER 200 SF = 150	
OFFICE	53,014 SF	1 PER 250 SF = 213	
<b>TOTAL</b>	<b>83,014 SF</b>	<b>363</b>	<b>366</b>

**NOTE:**  
 1. THIS CONCEPTUAL PLAN IS SUBJECT TO CHANGE. LAYOUT AND/OR PRODUCT YIELD MAY CHANGE DEPENDING UPON A MORE COMPLETE SITE STUDY, DETAILED ENGINEERING DESIGN AND/OR GOVERNMENTAL AGENCY(S) REVIEWS/APPROVALS.

F O R D S O N   R O A D

# REZONING EXHIBIT

JANUARY 27, 2009

# PEMBROOKE

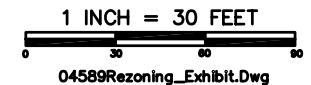
HENRICO COUNTY, VIRGINIA

PREPARED FOR:  
**JOHN G. CAMETAS**

**EXHIBIT A**

**C-6C-09**

020609



04589Rezoning\_Exhibit.Dwg

**KOONTZ-BRYANT, P.C.**  
 Site Development Solutions

1703 North Parham Road, Suite 202 Richmond, VA 23229 804-740-9200

REVISIONS

SEAL

DATE  
01/24/2009

SHEET NUMBER  
A-2



PROPOSED INTERIOR PARKING ELEVATION - WEST  
 SCALE: 1/8" = 1'-0"



PROPOSED NORTH ELEVATION ( OPPOSITE HAND)  
 SCALE: 1/8" = 1'-0"



PROPOSED SOUTH ( FORDSON ROAD ) ELEVATION  
 SCALE: 1/8" = 1'-0"

EXHIBIT B

C-6C-09

021909