


SUBJECT PROPERTY

Parcels or Portions thereof identified on this sheet are within the Airport Safety Overlay District and are subject to Special Regulation

C-10C-10
Zoning
 Amend Proffered Conditions
 (C-59C-07)
 Fairfield District
 400


 Feet

PS April 2010 Ref: 790-746-1573



COMMONWEALTH OF VIRGINIA
COUNTY OF HENRICO

Virgil R. Hazelett, P.E.
County Manager

August 17, 2010

Emerald Land Development, LLC
Attn.: Mark Rempe
1720 East Cary Street
Richmond, VA 23223

Re: Conditional Rezoning Case C-10C-10

Dear Mr. Rempe:

The Board of Supervisors at its meeting on August 10, 2010, approved your request to amend proffered conditions accepted with Rezoning Case C-59C-07, on Parcels 790-746-1573 and 790-746-1765 containing 1.56 acres located at the southeast intersection of North Road and Edgefield Street, described as follows:

Beginning at a point located at the southeast corner of North Road and Edgefield Street; thence S 79°58'42" E 200.00' to a point; thence S 07°24'01" W 339.96' to a point; thence N 79°59'42" W 200.00' to a point; thence N 07°24'01" E 340.02' to a point, said point being the point of beginning, containing 1.559 acres.

The Board of Supervisors accepted the following proffered conditions, dated July 15, 2010, which further regulate the above described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

Amending Proffers 1 and 2 accepted with C-59C-07 and adding Proffers 9 and 10.

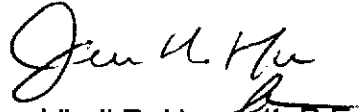
1. **Density:** Density on the site shall not exceed three (3) units, including the existing dwelling on the property.
2. **Minimum Dwelling House Size:** The minimum finished floor area of any new dwelling shall be 1,600 square feet.
9. **Garages:** Each new dwelling shall have a minimum of a one-car attached garage with interior dimensions free of as-built obstructions of at least 10 feet in width and at least 20 feet in depth. The garage shall not protrude beyond the front building line of the house.
10. **Driveways:** Each new dwelling shall have a hard surface driveway consisting of exposed aggregate, stone, or asphalt.

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All other proffers previously accepted with C-59C-07 shall remain in full force and effect.

The Planning Department has been advised of the action of the Board of Supervisors and will revise its records and place a copy of the accepted proffered conditions in the Conditional Zoning Index.

Sincerely,



Virgil R. Hazellett, P.E.
County Manager

pc: N. & G. McCowin and L. & K. Marseille
Director, Real Estate Assessment
Conditional Zoning Index