

O-3C, O-2C & R-2A  
to B-3C  
18.581 Ac

O-2C to R-2AC  
1.018 Ac.

# C-16C-11

## Zoning

Commercial / Residential

Fairfield District

400 Feet

PS July 2011 Ref: 784-767-4440



COMMONWEALTH OF VIRGINIA  
COUNTY OF HENRICO

Virgil R. Hazelett, R.E.  
County Manager

November 15, 2011

Sauer Properties, Inc.  
2000 W. Broad Street  
Richmond, VA 23220

Re: Conditional Rezoning Case C-16C-11

Dear Sirs:

The Board of Supervisors at its meeting on November 9, 2011, approved your request to rezone from O-2C Office District (Conditional) to R-2AC One-Family Residence District (Conditional) part of Parcel 784-766-6082 containing 1.018 acres located at the northwest intersection of Francis Road and Battlefield Road and on the north line of Francis Road approximately 500 feet west of its intersection with Battlefield Road and from R-2A One-Family Residence District, O-2C Office District (Conditional), and O-3C Office District (Conditional) to B-3C Business District (Conditional) part of Parcels 784-766-6082, 784-766-7982, 784-766-6565, 784-766-7467, and 784-767-4440 containing approximately 18.58 acres located at the southeast intersection of Brook Road (U.S. Route 1) and Virginia Center Parkway, described as follows:

Parcel A

Legal Description 11.716 Acres O-3C to be Rezoned to B-3

Beginning at a point said point being the intersection of the eastern line of Brook Road, U.S. Route 1, and the southern line of Virginia Center Parkway; thence from said point of beginning along the southern line of Virginia Center Parkway the following five courses: 1) N 76°10'13" E a distance of 33.30' to a point; 2) N 86°02'57" E a distance of 252.46' to a point; 3) along a curve to the right having a radius of 904.93' and a length of 517.78', to a point; 4) S 61°10'03" E a distance of 453.76' to a point; 5) S 23°34'34" E a distance of 56.09' to a point being the intersection of the southern line of Virginia Center Parkway and the western line of Battlefield Road; thence along the western line of Battlefield Road the following two courses: 1) S 25°19'41" W a distance of 71.80' to a point; 2) along a curve to the left having a radius of 597.97' and a length of 66.14' to a point; thence from the western line of Battlefield Road N 04°35'32" W a distance of 64.11' to a point; thence S 81°14'35" W a distance of 515.45' to a point; thence S 12°38'59" E a distance of 196.97' to a point; thence S 66°00'27" W a distance of 107.09' to a point; thence S 81°13'45" W a distance of 284.21' to a point in the eastern line of Bundle Joy Lane; thence along the northern line of Bundle of Joy Lane S 81°13'45" W a distance of 37.85' to a point; thence N 05°47'19" W a distance of 427.78' to a point; thence S 84°12'41" W a distance of 7.88' to a point; thence N 05°47'19" W a distance of 294.55' to a point; thence S 86°02'57" W a distance of 250.00' to a point on the eastern

line of Brook Road, U.S. Route 1; thence N 05°47'19" W a distance of 26.03' to a point; thence along a curve to the right having a radius of 87.06' and a length of 95.68' to the intersection of the eastern line of Brook Road and the southern line of Virginia Center Parkway, being the point and place of beginning, containing 11.716 Acres.

#### Parcel B

Legal Description 5.606 Acres 0-2C to be Rezoned to B-3C

Commencing at the intersection of the western line of Battlefield Road and the northern line of Old Francis Road; thence along the western line of Battlefield Road N 04°35'27" W a distance of 124.24' to the point of beginning; thence leaving the western line of Battlefield Road S 78°14'30" W a distance of 189.50' to a point; thence N 10°19'10" W a distance of 241.10' to a point; thence S 78°28'33" W a distance of 200.00' to a point; thence S 10°34'02" E a distance of 175.45' to a point; thence S 78°14'37" W a distance of 100.10' to a point; thence S 10°08'59" E a distance of 66.46' to a point; thence S 78°14'30" W a distance of 10.84' to a point; thence N 89°30'23" W a distance of 82.22' to a point; thence N 04°26'43" E a distance of 67.43' to a point; thence S 84°12'42" W a distance of 250.91' to a point on the eastern line of Bundle of Joy Lane; thence along the eastern line N 05°33'57" W a distance of 173.19' to a point; thence leaving the eastern line N 81°13'45" E a distance of 284.21' to a point; thence N 66°00'27" E a distance of 107.09' to a point; thence N 12°38'59" W a distance of 196.97' to a point; thence N 81°14'35" E a distance of 515.45' to a point; thence S 04°35'32" E a distance of 64.11' to a point on the western line of Battlefield Road; thence along the western line of Battlefield Road being a curve to the left having a radius of 597.97' and a length of 246.20' to a point; thence S 04°35'27" E a distance of 164.90' back to the point of beginning. Said parcel contains 5.606 acres.

#### Parcel C

Legal Description 1.259 Acres R-2A to be Rezoned to B-3C

Commencing at a point; said point being the intersection of the western line of Battlefield Road and the northern line of Old Francis Road; thence along the western line of Battlefield Road N 04°35'27" W a distance of 124.24' to a point; thence from western line of Battlefield Road S 78°14'30" W a distance of 189.50' to the Point of Beginning; thence S 78°14'30" W a distance of 299.56' to a point; thence N 10°08'59" W a distance of 66.46' to a point; thence N 78°14'37" E a distance of 100.10' to a point; thence N 10°34'02" W a distance of 175.45' to a point; thence N 78°28'33" E a distance of 200.00' to a point; thence S 10°19'10" E a distance of 241.10' to the place and point of beginning, containing 1.259 Acres.

#### Parcel D

Legal Description 0.399 Acres 0-2C to be Rezoned to R-2A

Commencing at the intersection of the western line of Battlefield Road and the northern line of Old Francis Road; thence along the northern line of Old Francis Road S 78°14'30" W a distance of 448.96' to the point of beginning; thence continuing along the northern line of Old Francis Road the following two courses; 1) S 78°14'30" W a distance of 3.82' to a point; 2) thence along a curve to the right having a radius of 477.81' and a length of 128.36' to a point; thence leaving said northern line N 04°26'43" E a distance of 156.52' to a point; thence S 89°30'23" E a distance of 82.22' to a point; thence N 78°14'30" E a distance of 10.84' to a point; thence S 10°08'59" E a distance of 150.05' to the northern line of Old Francis Road being the place and point of beginning, containing 0.399 Acres.

#### Parcel E

Legal Description 0.619 Acres 0-2C to be Rezoned to R-2A

Beginning at a point; said point being the intersection of the western line of Battlefield Road and the northern line of Old Francis Road; thence along the northern line of Old Francis Road S 78°14'30" W a distance of 148.96' to a point; thence from the northern line of Old Francis Road N 10°19'10" W a distance of 150.05' to a point; thence N 78°14'10" E a distance of 189.50' to a point in the western line of Battlefield Road; thence along the western line of Battlefield Road S 04°35'27" E a distance of 124.24' to a point; thence S 35°72'49" W a distance of 39.30' to the intersection of the western line of Battlefield Road and the northern line of Old Francis Road being the point and place of beginning, containing 0.619 Acres.

The Board of Supervisors accepted the following proffered conditions, dated November 9, 2011, which further regulate the above described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

#### Applicable to the Proposed B-3C Parcels (the "B-3C Property")

##### Building Type and Design

##### 1. Architectural Treatment.

(a) The exposed portions of the exterior wall surfaces (front, rear and sides) of any buildings constructed on the B-3C Property shall be similar in high quality of construction and shall have compatible architectural design (incorporating compatible, but not necessarily the same, design elements, colors and architectural styles). Attention shall be given, especially to the sides and rears facing adjacent properties, to provide a variety of materials, textures and colors within the B-3C Property and to soften the visual impact on adjacent properties. Fenestrations and entrance/exit doors shall be detailed with horizontal relief (a

change in wall plane) and overhead canopies. The façades shall utilize one or more of cornice profiles, textured or flush banding, watertable shapes, colors, textures or other such similar features to be approved by the Planning Commission at the time of Plan of Development.

(b) All buildings on the B-3C Property shall have exposed exterior walls (above finished grade and exclusive of architectural features, windows and doors) constructed of masonry, brick, stone, pre-cast concrete, exteior insulating finishing systems (E.I.F.S.) and/or glass and may have varying amounts of these exteior materials or an equivalent permanent architecturally finished material, unless different architectural treatment and/or materials are requested and specifically permitted at the time of Plan of Development review. Wood or composite siding, natural or cultured stone, marble, pre-cast or cast-in-place architectural concrete, exposed aggregate concrete, exteior insulating finish systems, and/or glass, or an equivalent, permanent, architecturally finished material may be utilized as accent materials on such buildings.

(c) No building on the B-3C Property shall be covered with or have exposed to view any painted or unfinished concrete block, sheet or corrugated aluminum unless requested and approved at the time of Plan of Development review.

2. **Building Heights.** The height of any building on the B-3C Property shall not exceed two (2) stories or forty-five (45) feet.

#### **Site Design and Road Improvements**

3. **Conceptual Plan.** The B-3C Property shall be developed generally consistent with the plan dated September 22, 2011, prepared by Gorrell Designs LLC, entitled "Conceptual Illustrative Retail Site Development Plan, Stuart's Crossing at Virginia Center", (see case file) a copy of which is on file with the application for the rezoning of the B-3C Property (the "Conceptual Plan") subject to revisions for engineering purposes, to reflect changes in the building footprints, as required by any governmental entity or as otherwise requested and approved at the time of Plan of Development review.
4. **Building Setbacks.** All buildings on the B-3C Property shall be set back at least one hundred (100) feet from the right of way of Battlefield Road.
5. **Road Improvements.** The following road improvements shall be required prior to issuance of a Certificate of Occupancy for the first building constructed on the B-3C Property after approval of this rezoning:
  - (a) Subject to VDOT approval, reconfigure existing pavement for westbound lanes of Virginia Center Parkway approaching Route 1 (Brook Road) (currently configured for one left turn lane, one left/through lane and one right/through lane)

to result in two left turn lanes, one through lane and one right turn lane.

(b) Subject to VDOT approval, reconfigure existing pavement for eastbound lanes of Virginia Center Parkway approaching Route 1 (Brook Road) (currently configured for one right turn lane, one left/through lane and one left turn lane) to result in one right turn lane, one through lane and one left turn lane.

(c) Design and construct a traffic signal at the intersection of Virginia Center Parkway and the easternmost entrance to the B-3C Property from Virginia Center Parkway as shown on the Conceptual Plan (the "Primary Entrance"), (see case file).

(d) Design and construct a traffic signal at the intersection of Virginia Center Parkway and Battlefield Road.

(e) Construct a right turn lane with approximately 150 feet of stacking and 100 feet of taper from eastbound Virginia Center Parkway onto Battlefield Road.

(f) Reconstruct the median on Virginia Center Parkway between Route 1 (Brook Road) and the Primary Entrance to (1) extend the westbound, left-side (inner) left turn lane onto Route 1 (Brook Road) to approximately 325 feet of storage and 125 feet of taper, (2) eliminate the existing eastbound turn lane for U-turns currently located on Virginia Center Parkway at its intersection with the Primary Entrance, and (3) provide a transition taper on the median side of westbound Virginia Center Parkway to accommodate double left turns from the Primary Entrance onto westbound Virginia Center Parkway.

(g) Pay full cost to adjust the signalization of the traffic signal at the intersection of Virginia Center Parkway and Route 1 (Brook Road) to allow overlap phases for simultaneous left turns from both eastbound and westbound Virginia Center Parkway onto Route 1 (Brook Road).

(h) Install curb and gutter along and widen the western side of the pavement of Battlefield Road, between Virginia Center Parkway and Francis Road, within the existing right-of-way to the County's standard pavement width.

(i) Design and construct a taper, approximately 100 feet in length, at the westernmost point of access to and from Virginia Center Parkway shown on the Conceptual Plan (see case file) for eastbound vehicular traffic entering the B-3C Property, unless otherwise determined by the County traffic engineer in connection with Plan of Development review.

(j) Dedicate rights-of-way required for all improvements described in this Section 5.

6. **Stormwater Management.** The stormwater facility designated on the Conceptual Plan as "Proposed BMP Pond" (see case file) shall be a wet pond with one or more fountains and shall be landscaped in accordance with a plan to be approved in connection with Plan of Development review.
7. **Utility Lines.** Except for junction and access boxes, meters and existing above ground utilities, all utility lines installed within the B-3C Property including, without limitation, electric, telephone, water and sewer lines shall be installed underground. All junction and access boxes and meters shall be screened from view at the perimeter of the Property to the greatest extent practical.
8. **Sidewalks.** Subject to obtaining all required governmental approvals and permits, a pedestrian sidewalk shall, concurrent with the development of any portion of the B-3C Property, be installed in accordance with County standards in the County's right-of-way or within dedicated easements along the southern line of Virginia Center Parkway from Route 1 (Brook Road) to Battlefield Road, and along the western line of Battlefield Road from Virginia Center Parkway to Francis Road.
9. **Site Lighting.** Parking lot lights shall be limited in height to twenty (20) feet where located within fifty (50) feet of any R district and thirty (30) feet in other locations within the B-3C Property. Other than pedestrian-scale, decorative or accent lighting sources, parking lot light fixtures shall use concealed light sources designed to reduce or eliminate side glare. Lighting on the B-3C Property shall be designed such that the intensity of the lighting at ground level at any property line adjoining an R district shall not exceed one half (1/2) foot-candle. The one half (1/2) foot-candle restriction shall not apply where the R district which adjoins the B-3C Property is located across Virginia Center Parkway or across Route 1 from the B-3C Property. Lighting poles and standards shall be mounted on permanent footings and foundations. Direct embedded light poles and standards shall be prohibited.
10. **Signage.**
  - (a) Comprehensive tenant sign criteria addressing the coordination of the design, construction, size, color, placement and types of illumination for building-mounted signs on the B-3C Property shall be provided to the County prior to the issuance of sign permits for building-mounted signs.
  - (b) All free-standing project identification signs for the initial development of the B-3C Property shall substantially conform to the design shown on the sign elevations labeled Drawing #2172.01 and last revised August 24, 2011, Drawing #2172.02 dated August 24, 2011, and Drawing #2172.03 dated August 25, 2011, (see case file) all of which drawings were prepared by ad vice, inc., and copies of

which are on file with the application for the rezoning of the B-3C Property, (see case file) subject to (i) zoning compliance review in connection with the issuance of sign permits and (ii) changes requested by the owner and approved in connection with Plan of Development review.

(c) No building-mounted signs facing Battlefield Road or Francis Road and located within 250 feet of an R district shall be internally illuminated.

11. Design Standards. Prior to approval of any Plan of Development for the Property, the portion of the B-3C Property not already subject to the declaration of restrictions and covenants for Virginia Center West (Deed Book 1882, page 1224, Clerk's Office, Circuit Court, Henrico County), as amended, shall be made subject to such declaration.

#### Screening, Buffering and Landscaping

12. Screening.

(a) All HVAC and other mechanical equipment and fixtures, whether at grade or roof mounted on the buildings or other structures located on the B-3C Property, shall be screened from view at ground level from adjacent properties and adjacent public rights-of-way. Roof top screening may be accomplished by a continuous parapet wall, solid equipment room penthouse, continuous metal screening with matching color or other materials approved at the time of Plan of Development review. Ground level screening may be accomplished by landscaping or other materials approved at the time of Plan of Development review and shall include reasonable measures to address suppression of noise from mechanical equipment where necessary to avoid adverse impacts on adjacent properties.

(b) Refuse containers (other than convenience trash receptacles), dumpster pads and compactor equipment located on the B-3C Property at grade shall be screened from view from adjacent property and from public rights-of-way. Unless otherwise approved at the time of Plan of Development review, dumpster enclosures shall be constructed of similar material as the primary material on the exterior of the closest building and shall have a solid (non-transparent) gate. All such containers and/or storage facilities shall be serviced only between the hours of 7:00 a.m. and 7:00 p.m. on weekdays and 9:00 a.m. to 7:00 p.m. on Saturdays.

(c) Loading docks shall be screened from public view at ground level by use of landscaping, walls or other architectural features similar to the primary material on the exterior of the building which they serve, or such other method as may be approved at the time of Plan of Development review.



13. Buffers and Landscaping.

(a) A landscaped buffer with a minimum width of fifteen (15) feet shall be provided along the northern boundary of the B-3C Property adjacent to Virginia Center Parkway (the "VCP Buffer"), a landscaped buffer with a minimum width of seventy five (75) feet shall be provided along the eastern boundary of the B-3C Property adjacent to Battlefield Road (the "Battlefield Road Buffer") and a landscaped buffer with a minimum width of fifty (50) feet shall be provided along the southern boundary of the B-3C Property adjacent to the proposed R-2A zoning (the "Southern Buffer" and, together with the VCP Buffer and the Battlefield Road Buffer, the "Buffers").

(b) The landscaping to be installed within each of the Buffers shall be consistent with the conceptual landscape plan dated September 22, 2011, prepared by Gorrell Designs LLC, entitled "Schematic Buffer Landscape Plan, Stuart's Crossing at Virginia Center", (see case file) a copy of which is on file with the application for the rezoning of the B-3C Property, except as otherwise approved pursuant to a landscaping plan approved in connection with Plan of Development review.

(c) Utility easements, roads, retaining walls, sidewalks, signage, driveways, jogging/fitness trails or other improvements required by the County, or requested by the developer and specifically permitted at the time of Plan of Development review, shall be permitted within the Buffers; provided, however, any roads, driveways and utility easements must cross the buffer in a substantially perpendicular direction.

(d) A vinyl privacy fence shall be installed and maintained on the R-2A Property along the boundary line dividing the R-2A district and the 1.078 acre 0-2 parcel designated as GPIN 784-766-3463, and on the B-3C Property along the boundary lines dividing (i) the R-2A and B-3C zoning districts and (ii) the B-3C district and the 1.078 acre 0-2 parcel designated as GPIN 784-766-3463. Such fence shall be approximately six (6) feet high (i) except to the extent it is located within fifteen (15) feet of the front lot line of a lot in the R-2A district, where it shall transition to a height of no more than 42 inches and (ii) subject to site distance requirements for adjacent public rights of way, all as set forth in Section 24-95(I) of the Code of Henrico (Zoning Ordinance).

Use and Operation

14. Uses.

(a) The uses on the B-3C Property shall be limited to those uses allowed under the B2 classification of Chapter 24 of the Code of Henrico (Zoning Ordinance) with the exception that outdoor dining may be permitted for

restaurant uses, subject to the conditions set forth in subsection 14(c) below.

(b) The following uses shall be prohibited on the B-3C Property:

- (1) Funeral home, mortuary and undertaking establishments;
- (2) Laundromat and self service dry cleaning establishments;
- (3) Automotive filling and service station including towing services and consisting of an attendant sales office and/ or convenience store;
- (4) Flea markets and antique auctions;
- (5) Furniture, television and home appliance repair;
- (6) Lawnmower, yard and garden equipment sales marketing and service as a primary use;
- (7) Radio and television station;
- (8) Billiard-parlors;
- (9) Outside public telephones;
- (10) Adult businesses as defined by Section 24-3 of the Code of Henhco (Zoning Ordinance);
- (11) Check cashing and/or payday loans as defined and regulated by Secfions 6.2-2100 et seq. and 6.2-1800 et seq. of the Code of Virginia, provided the foregoing shall not preclude banks, savings and loans, or similar financial institutions that are not regulated by the foregoing Virginia Code Sections.

(c) Outside dining areas shall be permitted for restaurants on the B-3C property and shall be subject to the following conditions (for the purposes of this section, "outdoor dining areas" shall be limited to those serviced by the restaurant's waitstaff and shall not include outdoor self-service or convenience seating):

- (1) The operator shall not permit food preparation outside the enclosed building.
- (2) Any outside dining area located within 250 feet of an R district shall not be in operation between 10 p.m. and 7 a.m.
- (3) Prior to operation of the outdoor dining area, the applicant shall submit a conceptual plan of the restaurant and outdoor dining area and obtain administrative approval from the Planning Department. The conceptual plan shall show the location of the outdoor dining area, doors, tables and chairs, and landscaping within or along the perimeter of the outdoor dining area.
- (4) A clear, continuous, and unobstructed pedesthan path not less than 4' in width shall be required for pedestrian circulation between the outdoor dining area and the sidewalk curb.
- (5) Outdoor lighting fixtures shall complement the style of building. Lighting fixtures shall be from a concealed source and shall not

produce glare for motorists or pedestrians on the adjacent rights-of-way and parking areas and shall illuminate only the outdoor dining area.

- (6) Appropriate trash receptacles shall be provided and properly serviced to control litter generated by this use.
  - (7) Access to the outdoor dining area shall be available only through the interior of the restaurant, except during an emergency when a patio fence exit gate may be utilized. A fence or other barrier to the sidewalk and/or parking area shall be installed and shall complement the building façade. The railings shall not exceed 42" in height and shall consist of commercial grade material for durability.
  - (8) Prior to operation, the applicant shall consult with the Special Services Unit within the Division of Police to discuss crime prevention recommendations and conduct a security survey of the property and restaurant operations. The applicant shall implement mutually agreed upon security recommendations.
15. **Hours of Operation.** Hours of operation shall be between 6:00 a.m. and 2:00 a.m. with the exception of a health club/fitness center which may remain open at all times without restriction.
16. **Parking Lot Cleaning.** With the exception of snow removal, the cleaning of the parking lots on the B-3C Property shall occur only between the hours of 7:00 a.m. and 7:00 p.m. on weekdays and 9:00 a.m. to 7:00 p.m. on Saturdays.
17. **Outside Speakers.** Outside speaker systems, if any, shall be used only for music to complement the uses of the B-3C Property and shall not be audible within any R districts.

### **Construction**

18. **Construction Hours.** The hours of exterior construction on the B-3C Property, including operation of bulldozers and other earthmoving equipment, shall be between 7:00 a.m. and 7:00 p.m., Monday through Saturday, and 8:00 a.m. and 5:00 p.m. on Sunday, except in emergencies or where circumstances (such as concrete pours or utility connections) or adverse weather conditions require extended hours in order to complete work. Signs, in both English and Spanish, stating the above-referenced limitation, shall be posted and maintained at all construction entrances to the B-3C Property prior to any land disturbance activities thereon. This provision does not restrict hours of interior construction activities.

**Applicable to the Proposed R-2A Parcels (the "R-2A Property")**

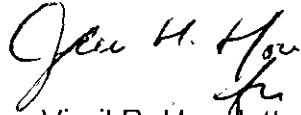
1. **Foundations.** All exposed exterior portions above grade of the foundations of each dwelling constructed on the R-2A Property shall be of brick or stone.
2. **Driveways.** All driveways for each lot within the R-2A Property shall be paved.
3. **Size of Dwellings.** The livable floor area of dwellings constructed on the R-2A Property will not be less than one thousand six hundred (1,600) square feet of finished floor area.
4. **Francis Road Dedication.** If requested by the County, up to ten (10) feet of the R-2A Property adjacent to existing Francis Road shall be dedicated to the County for the purpose of widening Francis Road.

**Applicable to the B-3C Property and the R-2A Property**

**Neighborhood Park.** Subject to the conditions set forth herein, in connection with the initial development of the B-3C Property or the R-2A Property, whichever is first to occur, a neighborhood park facility shall be established on a 0.34 acre, more or less, portion of the R-2A Property located at the intersection of Battlefield Road and Francis Road generally consistent with the plan dated September 22, 2011, prepared by Gorrell Designs, LLC, entitled "Conceptual Illustrative Neighborhood Park Plan, Stuart's Crossing at Virginia Center", a copy of which is on file with the application for the rezoning of the B-3C Property and the R-2A Property (the "Park Plan"), (see case file) including construction of improvements generally consistent with the improvements shown on the Park Plan. The obligation to establish such park facility is subject to (i) the agreement of the Stonewall Glen at Virginia Center Property Owners Association, Inc. ("Stonewall Glen") to (A) accept the conveyance of the park site upon completion of the improvements and to assume all obligations with respect to the ownership, operation and maintenance of the park facility subject to reasonable restrictions regarding use of the park facility and modifications thereto and (B) the obligation to reconvey the park site to the grantor thereof in the event use of the park site as a neighborhood park is discontinued and (ii) being able to obtain approvals from the County for development of the park facility in accordance with the Park Plan and conveyance thereof to Stonewall Glen. If such conditions are not satisfied prior to approval of the initial Plan of Development or subdivision approval for the Property for any reason other than the failure of the developer of the B-3C Property or the R-2A Property to act diligently and in good faith, the obligation to establish the park facility shall terminate.

The Planning Department has been advised of the action of the Board of Supervisors and will revise its records and place a copy of the accepted proffered conditions in the Conditional Zoning Index.

Sincerely,

A handwritten signature in black ink, appearing to read "Virgil R. Hazelett".

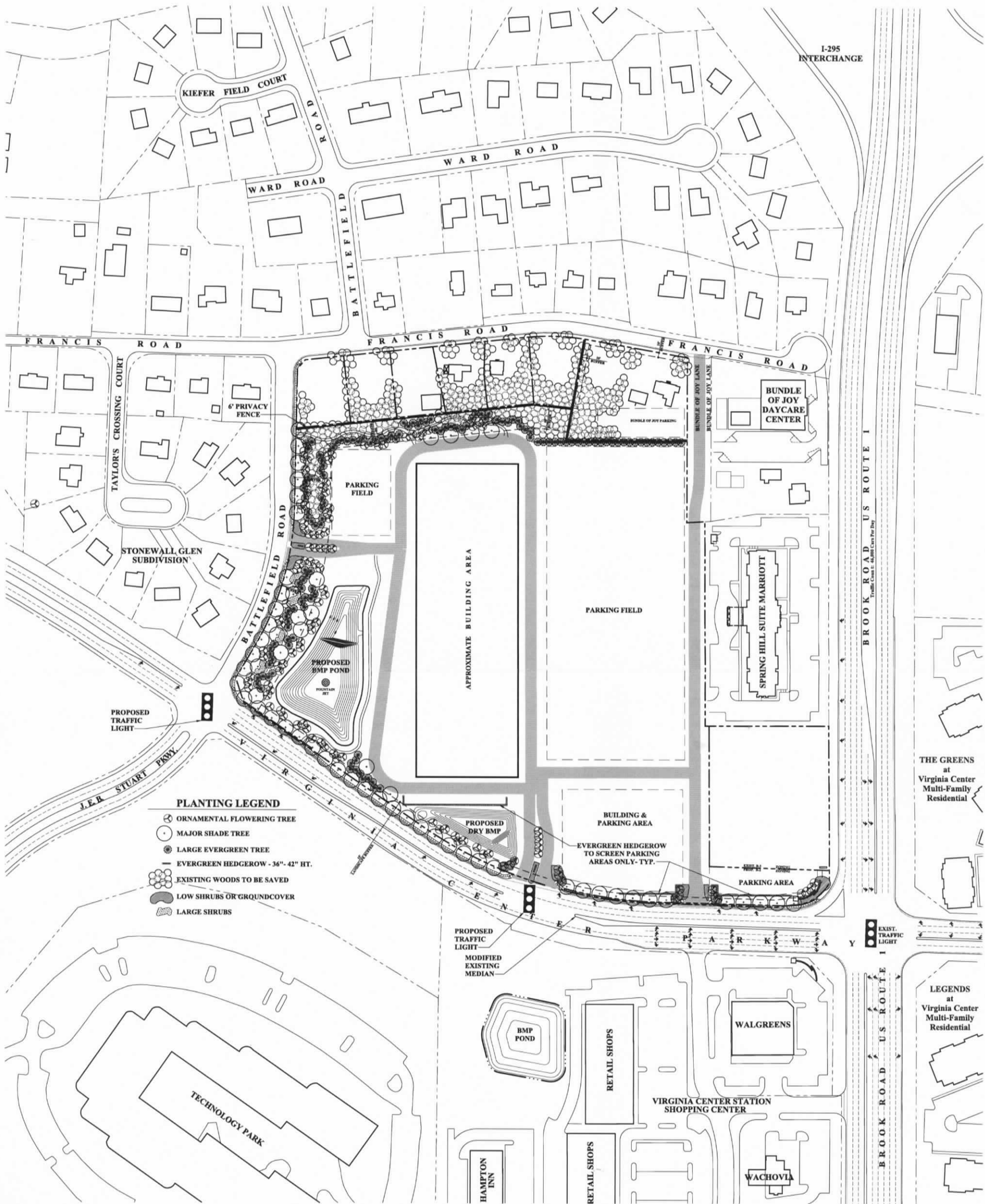
Virgil R. Hazelett, P.E.  
County Manager

pc: Mr. Edward B. Kidd, Attorney at Law  
Dr. Martha G. Blumenthal, Dir., Research & Planning, Henhco County Schools  
Director, Real Estate Assessment  
Conditional Zoning Index













PLAY EQUIPMENT: AGES 2-5



PLAY EQUIPMENT: AGES 5-12

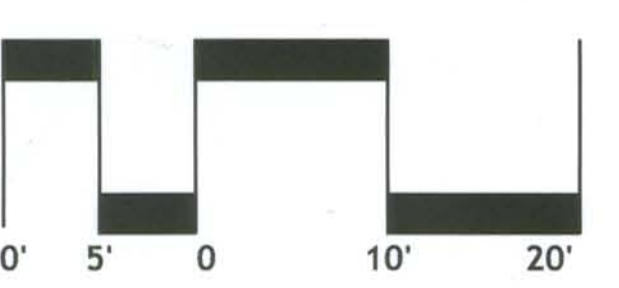


NORTH

Conceptual Illustrative Neighborhood Park Plan  
**STUART'S CROSSING at VIRGINIA CENTER**

Fairfield District, Henrico County, Virginia  
 Sauer Properties, Inc.  
 Richmond, Virginia

DATE: SEPTEMBER 16, 2011

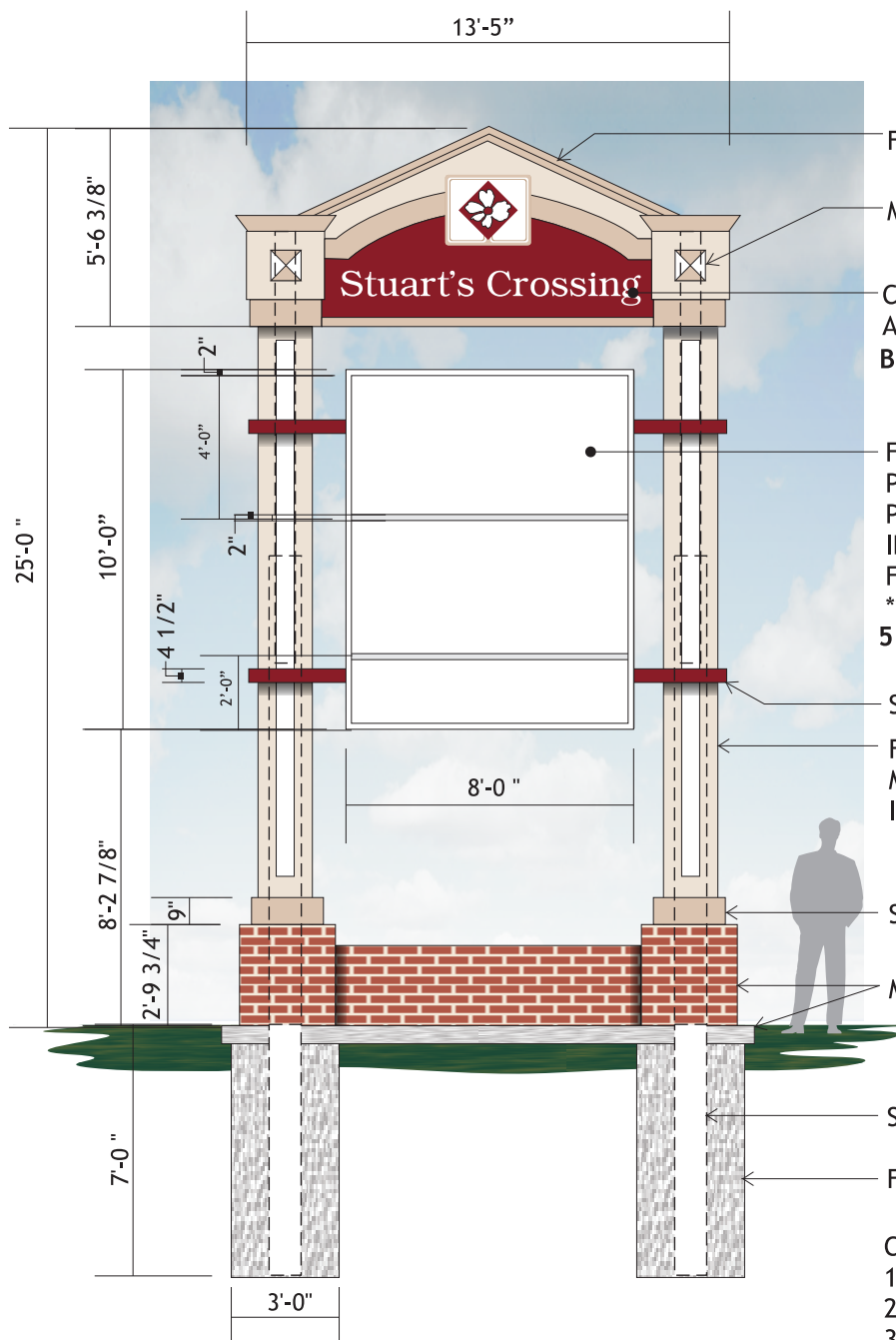


1" = 10'  
 GRAPHIC SCALE

101211

**C-16C-11**





**D/F PYLON SIGN ELEVATION**

FABRICATED ALUM. CAP PAINTED COLOR #1 AND #2

MEDALION PAINTED COLOR #4 AND #2

COLOR #3 .125" ALUM. FACE WITH COPY ROUTED AND BACKED WITH WHITE ACRYLIC.  
**BURGUNDY AREA AND LOGO 18.76' SQUARE FEET**

FABRICATED ALUM. TENANT PANEL WITH COLOR #4 POLYCARB. FACES. CABINET AND 2" DIVIDER BARS PAINTED OFF COLOR #4 CABINET TO BE INTERNALLY ILLUMINATED WITH FLUORESCENT LIGHT FIXTURES AS NECESSARY.  
\*\* ALL TENANT GRAPHICS BY OTHERS.  
**5 TENANT PANELS = 80' SQUARE FEET**

SUPPORT COVERS PAINTED COLOR #4

FABRICATED ALUM. POLE COVERS PAINTED TWO COLORS:  
MAIN STRUCTURE - COLOR #1  
INSET - COLOR #4

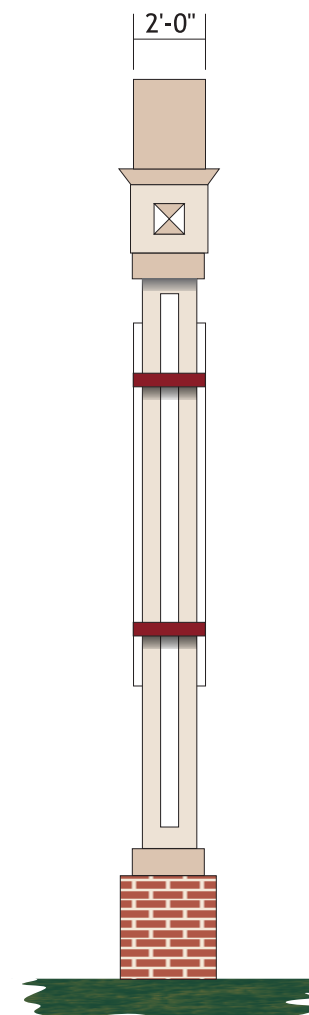
SUPPORT COVERS/ACCENTS PAINTED COLOR #2.

MASONRY BASE AND PAD

STEEL : (2) 10" SCHD 40 x 20' BASE PIPE LENGTH  
(2) 6" SCHD. 40 x 12' STUB PIPE LENGTH  
FOOTINGS: (2) 3'-0" DIA. x 7'-0" DEEP AUGERED.

COLOR SCHEDULE:

1. BEIGE: TO MATCH S/W 6043 UNFUSSY BEIGE
2. DARK BEIGE: TO MATCH S/W 6052 SANDBANK
3. MAROON: TO MATCH S/W 6307 FINE WINE
4. WHITE: TO MATCH S/W 7012 CREAMY



**END VIEW**

**SQUARE FEET CALCULATION:**

LOGO = 1.17'

BURGUNDY = 17.16'

TENANT PANELS = 80'

TOTAL SQ. FT. = 98.33'

**C-16C-11**



ad vice, inc.  
6400 mechanicsville trnkp.  
Suite 200  
mechanicsville, va 23111  
phone: (804) 730-0503  
fax: (804) 746-5210  
www.adviceStudios.com

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This sign must be U.L. Listed and approved with external disconnect switch to match NEC.

**ELECTRICAL REQUIREMENTS UNLESS OTHERWISE SPECIFIED:  
120 VOLT FOR MAX. OF 20-AMP CIRCUIT(S).**

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Customer Approval:

Date:

Client:

SAUER PROPERTIES

Project:

STUART'S CROSSING

Location:

GLEN ALLEN, VIRGINIA

Drawing #: **2172.01**

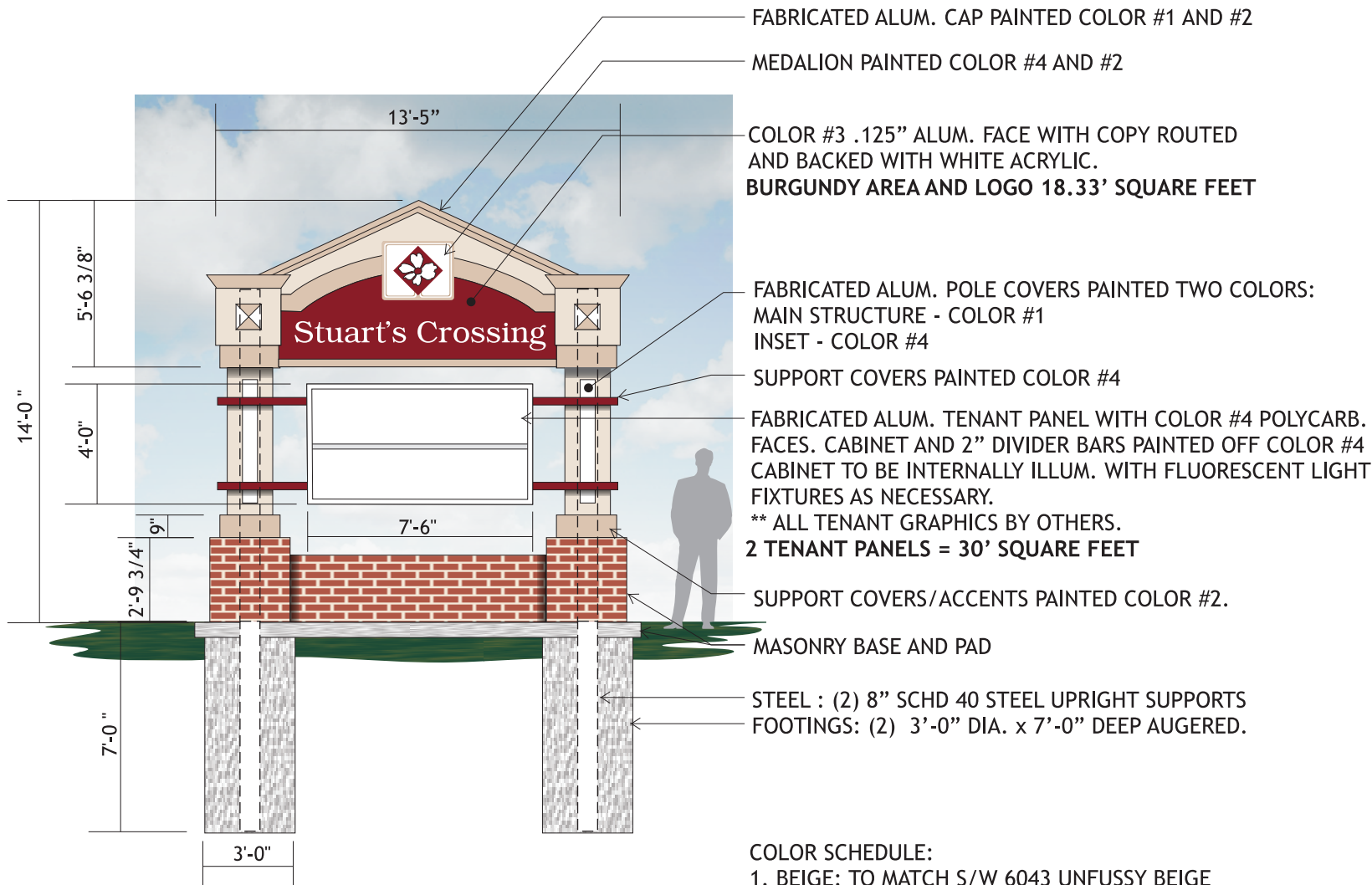
Scale: 3/16" = 1'-0"

Date: MAY 17, 2010

Revision #	Revision Date:
1	JUNE 27, 2011
2	JUNE 28, 2011
3	AUGUST 24, 2011

THIS PRINTED COLOR RENDERING IS INTENDED TO BETTER APPROXIMATE COLOR HUES AND DISTRIBUTION. BEST EFFORTS HAVE BEEN MADE TO SIMULATE THE ACTUAL COLOR(S).HOWEVER, EXACT COLOR(S) CAN ONLY BE SEEN FROM THE SPECIFIED COLOR SYSTEM'S CHIP OR SAMPLE.

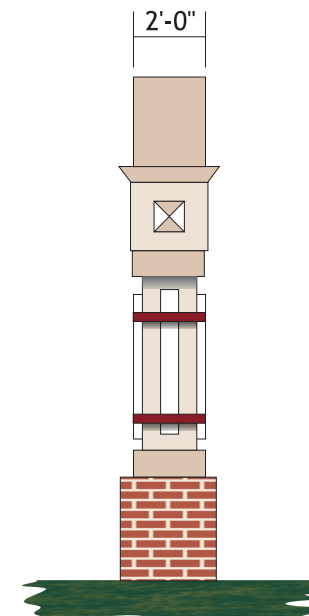
**All permits (including electrical permits, if required) and final electrical connection(s) for this/these sign(s) are by others**



**D/F MONUMENT SIGN ELEVATION**

**COLOR SCHEDULE:**

1. BEIGE: TO MATCH S/W 6043 UNFUSSY BEIGE
2. DARK BEIGE: TO MATCH S/W 6052 SANDBANK
3. MAROON: TO MATCH S/W 6307 FINE WINE
4. WHITE: TO MATCH S/W 7012 CREAMY



**END VIEW**

**SQUARE FEET CALCULATION:**

LOGO = 1.17'

BURGUNDY = 17.16'

TENANT PANELS = 30'

TOTAL SQ. FT. = 48.33'

**C-16C-11**



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Customer Approval:

Date:

Client:

SAUER PROPERTIES

Project:

STUART'S CROSSING

Location:

GLEN ALLEN, VIRGINIA

Drawing #: **2172.02**

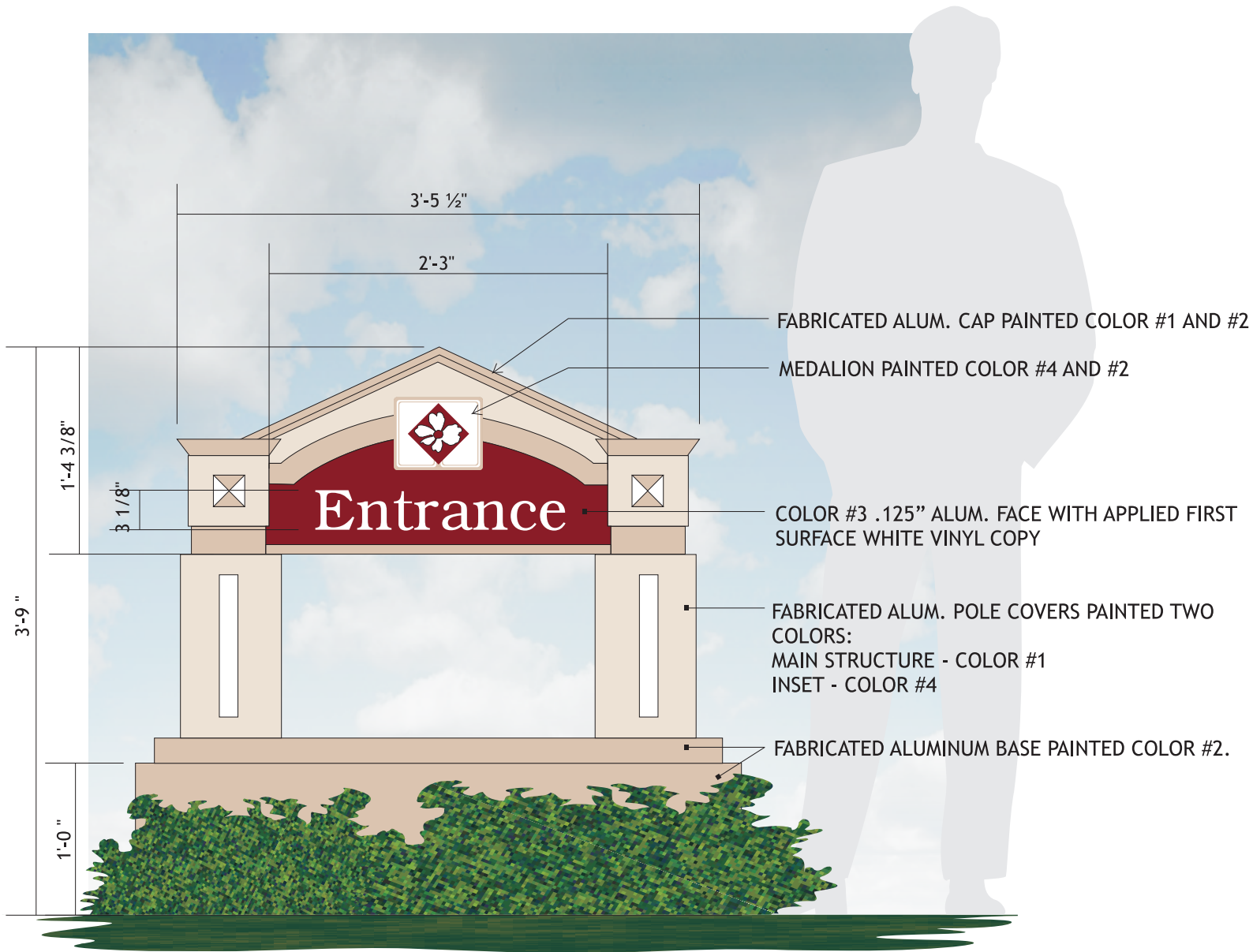
Scale: 3/16" = 1'-0"

Date: AUGUST 24, 2011

Revision # Revision Date:

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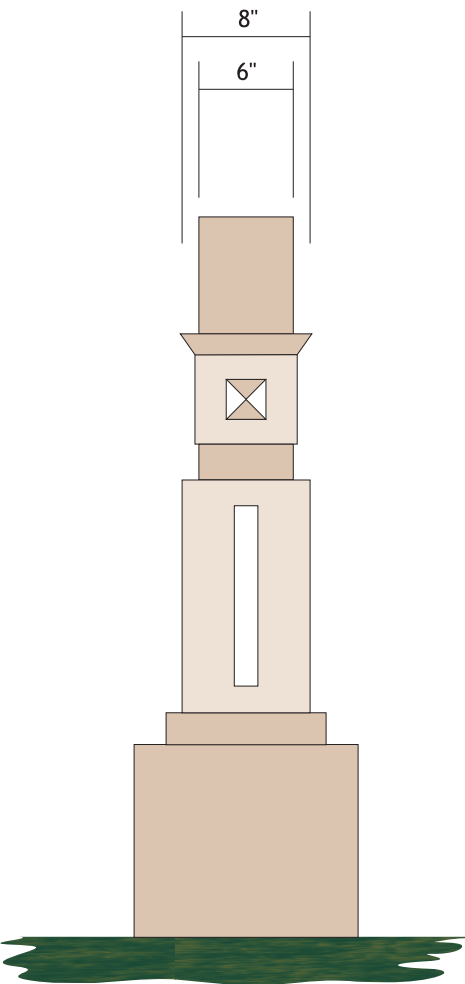


**D/F DIRECTIONAL SIGN ELEVATION**

- FABRICATED ALUM. CAP PAINTED COLOR #1 AND #2
- MEDALION PAINTED COLOR #4 AND #2
- COLOR #3 .125" ALUM. FACE WITH APPLIED FIRST SURFACE WHITE VINYL COPY
- FABRICATED ALUM. POLE COVERS PAINTED TWO COLORS:  
MAIN STRUCTURE - COLOR #1  
INSET - COLOR #4
- FABRICATED ALUMINUM BASE PAINTED COLOR #2.

- COLOR SCHEDULE:**
1. BEIGE: TO MATCH S/W 6043 UNFUSSY BEIGE
  2. DARK BEIGE: TO MATCH S/W 6052 SANDBANK
  3. MAROON: TO MATCH S/W 6307 FINE WINE
  4. WHITE: TO MATCH S/W 7012 CREAMY

**SQUARE FEET CALCULATION:**  
 $1'-4 \frac{3}{8} \times 2'-3" = 3.0' \text{ sq. ft.}$



**END VIEW**

**C-16C-11**



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Customer Approval:

Date:

Client:  
SAUER PROPERTIES

Project:  
STUART'S CROSSING

Location:  
GLEN ALLEN, VIRGINIA

Drawing #: **2172.03**

Scale:  $3/4" = 1'-0"$

Date: AUGUST 25, 2011

Revision #	Revision Date:

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