



COMMONWEALTH OF VIRGINIA  
**COUNTY OF HENRICO**

Virgil R. Hazelett, P.E.  
County Manager

December 20, 2011

Bacova, LLC  
c/o Robert J. Babcock  
11533 Nuckols Road, Suite C  
Glen Allen, VA 23059

Re: Rezoning Case C-9C-11

Dear Mr. Babcock:

The Board of Supervisors, at its meeting on December 13, 2011, approved your request to conditionally rezone from A-1 Agricultural District to O-2C Office District (Conditional), parts of Parcels 739-766-2504 and 739-765-0785 containing 6.439 acres (Tract A) located at the northwest intersection of Pouncey Tract Road (State Route 271) and Bacova Drive; from A-1 Agricultural District to R-3C One-Family Residence District (Conditional), Parcel 737-766-1902 and parts of Parcels 738-765-2372, 736-766-7163, 739-766-2504, and 739-765-0785 containing 79.234 acres (Tracts B and C) located along the west line of Bacova Drive approximately 675' west of its intersection with Pouncey Tract Road; from A-1 Agricultural District to R-6C General Residence District (Conditional), Parcels 736-765-2998, 736-766-0319, 735-766-7333, 735-766-4550, 735-766-2261 and parts of Parcels 734-766-9974, 734-767-2531, 736-766-7163 and 735-767-9459 containing 30.786 acres (Tracts D and E) located at the eastern corner of the N. Gayton Road Extension and Bacova Drive intersection; and from A-1 Agricultural District to R-5AC General Residence District (Conditional), parts of Parcels 735-767-9459 and 736-768-5323 containing 19.481 acres (Tract F) located along the east line of the N. Gayton Road Extension approximately 530' southwest of its intersection with Kain Road, described as follows:

Parcel A  
Rezone from A-1 to O-2C

Beginning at a point located on the west line of State Route 271 (Pouncey Tract Road), said point having a Henrico County N.A.D. 83 coordinate value of N=3766223.62, E=11739572.49; thence continuing along the west line of State Route 271 (Pouncey Tract Road) along a curve to the left with a Delta of 03°35'41", a Radius of 3854.53', and a length of 241.83' to point; thence continuing along the west line of State Route 271 (Pouncey Tract Road) S 16°10'33" E, a distance of 180.75' to a point; thence along the intersection of State Route 271 (Pouncey Tract Road) and Bacova Drive S 25°13'19" W, a distance of 36.14' to a point; thence continuing along the intersection of State Route 271 (Pouncey Tract Road) and Bacova Drive S 51°41'17" W, a distance of

21.12' to a point on the north line of Bacova Drive; thence continuing along the north line of Bacova Drive N 82°47'24" W, a distance of 385.43' to a point; thence continuing along the north line of Bacova Drive along a curve to the left with a Delta of 28°11'47", a Radius of 477.09', and a length of 234.78' to a point; thence leaving the north line of Bacova Drive along a curve to the right with a Delta of 06°11'05", a Radius of 918.11', and a length of 99.10' to a point; thence N 43°49'15" W, a distance of 322.80' to a point; thence N 79°31'37" E, a distance of 861.51' to the point and Place of Beginning, containing 6.439 acres of land.

Parcel B  
Rezone from A-1 to R-3C

Beginning at a point located on the north line of Bacova Drive, said point having a Henrico County N.A.D. 83 coordinate value of N=3765790.52, E=11739037.79; thence continuing along the north line of Bacova Drive along a curve to the left with a Delta of 28°21'33", a Radius of 477.09', and a length of 236.14' to a point; thence continuing along the north line of Bacova Drive S 41°33'44" W, a distance of 315.64' to a point; thence continuing along the north line of Bacova Drive S 40°39'16" W, a distance of 260.45' to a point; thence continuing along the north line of Bacova Drive along a curve to the right having a Delta of 70°15'37", a Radius of 442.44', and a length of 542.56' to a point; thence continuing along the north line of Bacova Drive N 70°55'59" W, a distance of 155.05' to a point; thence continuing along the north line of Bacova Drive N 69°05'07" W, a distance of 333.39' to a point; thence continuing along the north line of Bacova Drive N 68°24'25" W, a distance of 308.80' to a point; thence leaving the north line of Bacova Drive N 38°52'42" E, a distance of 69.59' to a point; thence N 60°15'18" W, a distance of 75.42' to a point; thence N 37°39'31" E, a distance of 1381.36' to a point; thence along a curve to the right having a Delta of 12°48'44", a Radius of 759.78', and a length of 169.90' to a point; thence N 38°46'43" E, a distance of 74.25' to a point; thence S 43°49'15" E, a distance of 1003.49' to a point; thence along a curve to the left having a Delta of 06°11'05", a Radius of 918.11', and a length of 99.10' to the point and Place of Beginning, containing 35.097 acres of land.

Parcel C  
Rezone from A-1 to R-3C

Beginning at a point, said point having a Henrico County N.A.D. 83 coordinate value of N=3765472.00, E=11737207.12; thence N 60°15'18" W, a distance of 208.48' to a point; thence N 47°18'43" W, a distance of 381.48' to a point; thence N 49°05'24" W, a distance of 71.47' to a point; thence N 48°27'34" W, a distance of 98.94' to a point; thence N 48°37'07" W, a distance of 100.22' to a point; thence N 23°45'07" E, a distance of 123.98' to a point; thence N 48°54'20" W, a distance of 250.00' to a point; thence N 41°05'40" E, a distance of 40.00' to a point; thence N 48°54'20" W, a distance of 909.24' to a point; thence N 46°15'02" W, a distance of 94.22' to a point on the centerline of an unnamed creek; thence along the centerline of unnamed creek in a northeasterly direction, a distance of 1120'± to a point on the centerline of unnamed creek; thence leaving the centerline of unnamed creek S 48°54'58" E, a distance of 195.88' to a point; thence S 50°49'26" E, a distance of 85.16' to a point; thence S

49°32'11" E, a distance of 90.55' to a point; thence S 49°24'28" E, a distance of 45.41' to a point; thence S 51°54'45" E, a distance of 179.52' to a point; thence S 55°39'45" E, a distance of 141.51' to a point; thence S 89°54'33" E, a distance of 124.85' to a point; thence S 89°56'22" E, a distance of 197.71' to a point; thence N 89°53'12" E, a distance of 93.22' to a point; thence N 89°03'53" E, a distance of 405.35' to a point; thence N 88°36'22" E, a distance of 332.83' to a point; thence S 35°05'54" E, a distance of 171.17' to a point; thence S 39°45'51" W, a distance of 75.58' to a point; thence S 38°46'43" W, a distance of 74.25' to a point; thence along a curve to the left with a Delta of 12°48'44", a Radius of 759.78', and a length of 169.90' to a point; thence S 37°39'31" W, a distance of 1381.36' to the point and place of beginning, containing 44.137 acres of land.

Parcel D  
Rezone from A-1 to R-6C

Beginning at a point located on the north line of Bacova Drive, said point having a Henrico County N.A.D. 83 coordinate value of N=3765720.56, E=11736413.85; thence continuing along the north line of Bacova Drive N 73°08'33" W, a distance of 124.98' to a point; thence N 69°26'11" W, a distance of 287.94' to a point; thence N 69°03'39" W, a distance of 221.05' to a point; thence leaving the north line of Bacova Drive and continuing along the north line of Bacova Drive relocated along a curve to the right having a Delta of 21°46'07", a Radius of 902.46', and a length of 342.87' to a point; thence N 39°24'12" W, a distance of 199.99' to a point; thence along a curve to the left having a Delta of 11°34'22", a Radius of 957.45', and a length of 139.39' to a point; thence N 44°07'10" W, a distance of 75.92' to a point; thence along a curve to the left having a Delta of 08°23'08", a Radius of 969.45', and a length of 141.89' to a point; thence along the intersection of Bacova Drive relocated and North Gayton Road N 12°16'32" W, a distance of 45.02' to a point on the east line of North Gayton Road; thence continuing along the east line of North Gayton Road N 27°19'11" E, a distance of 635.16' to a point; thence along a curve to the right having a Delta of 00°37'19", a Radius of 2447.88', and a length of 26.57' to a point; thence leaving the east line of North Gayton Road S 46°15'02" E, a distance of 283.44' to a point on the centerline of an unnamed creek; thence along the centerline of the unnamed creek in a southerly direction 77' ± to a point; thence leaving the centerline of unnamed creek S 46°15'02" E, a distance of 94.22' to a point; thence S 48°54'20" E, a distance of 909.24' to a point; thence S 41°05'40" W, a distance of 40.00' to a point; thence S 48°54'20" E, a distance of 250.00' to a point; thence S 23°45'07" W, a distance of 443.22' to the point and place of beginning, containing 23.315 acres of land.

Parcel E  
Rezone from A-1 to R-6C

Beginning at a point located on the east line of North Gayton Road, said point having a Henrico County N.A.D. 83 coordinate value of N=3767203.31, E=11735411.21; thence continuing along the east line of North Gayton Road along a curve to the right with a Delta of 12°55'52", a Radius of 2447.88', and a length of 552.47' to a point; thence



continuing along the east line of North Gayton Road N 40°52'16" E, a distance of 68.72' to a point; thence leaving the east line of North Gayton Road S 49°07'44" E, a distance of 670.34' to a point on the centerline of an unnamed creek; thence along the centerline of unnamed creek in a southwesterly direction, a distance of 878± to a point; thence leaving the centerline of unnamed creek N 46°15'02" W, a distance of 283.44' to the point and place of beginning, containing 7.471 acres of land.

Parcel F  
Rezone from A-1 to R-5AC

Beginning at a point located on the east line of North Gayton Road, said point having a Henrico County N.A.D. 83 coordinate value of N=3767710.12, E=11735767.68; thence continuing along the east line of North Gayton Road N 40°52'16" E, a distance of 533.58' to a point; thence S 49°07'44" E, a distance of 6.73' to a point; thence N 41°01' 53" E, a distance of 362.06' to a point; thence leaving the east line of North Gayton Road S 51°33'33" E, a distance of 865.99' to a point on the centerline of an unnamed creek; thence along the centerline of unnamed creek in a southwesterly direction, a distance of 1,576± to a point; thence leaving the centerline of unnamed creek N 49°07'44" W, a distance of 670.34' to the point and Place of Beginning, containing 19.481 acres of land.

The Board of Supervisors accepted the following proffered conditions, dated December 13, 2011, which further regulate the above described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

PROFFERS APPLICABLE TO THE ENTIRE PROPERTY:

1. **Development Plan.** The Property shall be developed generally consistent with that certain development plan entitled "BACOVA OVERALL PLAN, THREE CHOPT DISTRICT, HENRICO COUNTY, VIRGINIA," prepared by Youngblood, Tyler & Associates P.C., dated April 14, 2011, last revised October 17, 2011, and attached hereto as Exhibit 1 (see case file) (the "Development Plan"), unless requested and specifically permitted at the time of Plan of Development review or subdivision review, as may be the case. The Development Plan shows various Tracts within the Property, each referred herein as a "Tract".
2. **Protective Covenants.** Prior to or concurrent with the final approval of the initial Plan of Development or subdivision for any Tract, a document setting forth covenants (the "Covenants") shall be recorded in the Clerk's Office of the Circuit Court of Henrico County, Virginia (the "County"), setting forth controls on the development and maintenance of such Tract and establishing an owners' association (the "Association"). A master Association shall be established for the entire Property, provided a separate Association may, but shall not be required, to be applicable to any particular Tract or combination of Tracts. The Covenants shall provide for high standards of uniform maintenance (consistent with commercial "Class A" and high end residential projects) of individual sites, common areas, open space, landscaping and private streets. The Association

shall establish uniform rules related to the standards for approval by the Association of improvements within a particular Tract, including, but not limited to, construction of any buildings and other structures and signage.

3. **Concept Road.** A road shall be constructed on the Property and dedicated to the County running generally from Pouncey Tract Road at its intersection with Bacova Drive west through the Property to North Gayton Road (the "Concept Road"), all as more particularly shown on the Development Plan, the exact location of which shall be determined at the time of subdivision review for such Concept Road. A minimum ten (10) foot wide multi-use path shall be provided along the entire southern line of the Concept Road right-of-way and shall be constructed as the Concept Road is developed (the "Multi-Use Path"). The Multi-Use Path shall be constructed of asphalt or such other material as approved by the Director of Public Works. A five (5) foot grass strip shall be provided between the Concept Road and the Multi-Use Path. A minimum five (5) foot wide sidewalk shall be provided along the entire northern line of the Concept Road right-of-way as adjacent and contiguous properties are developed along such five (5) foot sidewalk (collectively, the "Sidewalk"). A two (2) foot grass strip shall be provided between the Concept Road and the Sidewalk. The Multi-Use Path and the Sidewalk shall be constructed in compliance with the County's standards and specifications for sidewalks. The Concept Road shall include a landscaped median within the Concept Road of a width as determined appropriate by the Planning Commission at the time of subdivision review, but in any case, such median shall be a maximum of fourteen (14) feet from face of curb to face of curb. Such median shall include irrigation and landscaping as approved by the Director of Planning or the Planning Commission at the time of subdivision review. Any existing home located on a lot north of and adjoining the area shown on the Development Plan as "FUTURE DEVELOPMENT" may be provided direct access to the Concept Road by a private driveway no wider than twenty (20) feet serving such home.
4. **Road Improvements.** The following improvements shall be made within the time period required by the County Director of Public Works at the time of Plan of Development or subdivision review for any Tract:
  - a. **North Gayton Road Improvements.** A third northbound lane along the entire frontage of the Property along North Gayton Road and improvements shall be constructed as set forth in the Phasing Plan, as hereinafter defined. Such improvements shall include any dedication of right-of-way needed, the installation of curb and gutter, pavement widening, turn lanes and any necessary storm sewer along this portion of North Gayton Road. Further, at its intersection with the Concept Road, a northbound right turn lane on North Gayton Road with a minimum of 150 feet of storage and 100 feet of taper shall be constructed and a southbound left turn lane on North Gayton Road with a minimum of 200 feet of storage and 150 feet of taper shall be constructed. Upon development of the adjoining Tract(s), a minimum of a four foot (4') wide sidewalk shall be provided along the entire distance of such

Tract adjoining the east side of North Gayton Road, unless otherwise approved by the Planning Commission at the time of any Plan of Development review for any such Tract(s). A two (2) foot grass strip shall be provided between North Gayton Road and such sidewalk.

- b. **Bacova Drive Improvements.** Bacova Drive shall be constructed to provide a road width, two cul-de-sacs, and such improvements as referenced in and generally in accordance with the plan entitled "BACOVA DRIVE", dated August 16, 2011, and last revised October 17, 2011, attached hereto as Exhibit 2 (see case file).
- c. **Pouncey Tract Road Improvements.** Sufficient right-of-way for the ultimate width from the center line of Pouncey Tract Road shall be dedicated along the entire frontage of the Property along Pouncey Tract Road. Improvements to the west side of Pouncey Tract Road along the Property shall include the installation of curb and gutter, pavement widening, turn lanes and any necessary storm sewer along this portion of Pouncey Tract Road. Upon development of Tract A, a minimum of a four (4) foot wide sidewalk shall be provided along the entire distance of Tract A adjoining the west side of Pouncey Tract Road, unless otherwise approved by the Planning Commission at the time of any Plan of Development review for Tract A. A two (2) foot grass strip shall be provided between Pouncey Tract Road and such sidewalk.
- d. **The Concept Road Improvements.** The Concept Road shall be constructed generally in accordance with Proffer 3 and the typical section entitled "CONCEPT ROAD TYPICAL ROAD SECTION", attached hereto as Exhibit 3 (see case file). Such construction shall include construction of the southern westbound lane of the Concept Road as a left turn lane at the intersection of the Concept Road with North Gayton Road and construction of the northern westbound lane of the Concept Road as a right turn lane at the intersection of the Concept Road with North Gayton Road. The eastbound portion of the Concept Road at its intersection with Pouncey Tract Road shall be designed and constructed to have one (1) left turn lane, two (2) thru lanes and one (1) right turn lane.
- e. **Phasing Plan.** Construction of the road improvements identified on the phasing plan entitled "BACOVA OVERALL PLAN Concept Road Phasing Plan", dated September 12, 2011, last revised October 17, 2011, and prepared by Youngblood, Tyler & Associates, P.C., attached hereto as Exhibit 4 (see case file (the "Phasing Plan")) shall follow the phasing set forth on the Phasing Plan, unless otherwise approved by the Planning Commission at the time of any subdivision or Plan of Development review for any Tract.
- f. **Traffic Signal.** A traffic signal shall be installed by the developer of the Property at the intersection of the Concept Road and North Gayton Road once it is warranted and as requested by the County.

5. **Entrance Features, Pedestrian Areas and Landscaping.** Entrance features for the entire Property shall be constructed of either full standard brick or stone or a combination thereof and shall be provided as generally shown on the plans entitled "BACOVA ENTRANCE MONUMENT CONCEPT" prepared by West View Companies (pages (i) through (v) attached hereto as Exhibit 5 (i) through (v)) (see case file), unless otherwise approved at the time of Plan of Development or subdivision review. Signage for individual neighborhoods in Tracts B, C and F shall be limited to six (6) feet in height. There shall be pedestrian walkways and amenities designed throughout the entire Property within and connecting various Tracts, which amenities shall include the following items: landscaped and natural areas, pavers, water features, pedestrian gathering areas, street furniture, benches, accessory picnic areas, pedestrian lighting and pedestrian accessways connecting to sidewalks and walking areas within and adjoining various Tracts, all as generally shown on the plan entitled "BACOVA OVERALL PLAN, PEDESTRIAN PLAN," prepared by Youngblood, Tyler & Associates, P.C., dated July 13, 2011, last revised October 17, 2011 and attached hereto as Exhibit 6 (see case file). A pedestrian trail shall be constructed through the Property to connect the various Tracts and pedestrian walkways. Such pedestrian trail shall be constructed of natural material and in various locations within each Tract, such material and locations to be approved at the time of Plan of Development or subdivision review for each such Tract. Such trail shall be constructed within each Tract as required by the County at the time of subdivision or Plan of Development review for such Tract. Sidewalks of a minimum width of four (4) feet within the Property and along roads adjoining the Property shall be provided as shown on Exhibit 6 (see case file) as "PROPOSED 4' SIDEWALKS" and constructed within and along each Tract as required by the County at the time of subdivision or Plan of Development review for such Tract. Landscaping features for the entire Property, including sod and an irrigation system, shall be provided as generally shown on the plan entitled "BACOVA OVERALL PLAN, LANDSCAPE PLAN," dated August 16, 2011, last revised October 17, prepared by Youngblood, Tyler & Associates P.C. attached hereto as Exhibit 7 (see case file), unless otherwise approved at the time of Plan of Development or subdivision review. No chain link fencing or stockade fencing shall be permitted on the Property.
6. **Buffer Requirements.**
  - a. **Overall.** Any buffer within the Property required herein shall be retained as natural and may also be landscaped, including supplemental plantings, signage, berms and/or fencing and other purposes as approved by the Planning Commission at the time of landscape plan review. Best tree preservation practices shall be followed to minimize large tree clearing for any buffer along the perimeter of the Property. Buffer areas with installed landscaping shall be irrigated unless otherwise approved at the time of Plan of Development or subdivision review. Roads, sidewalks, utility easements (including drainage), common owned fencing/walls adjacent to any roads or

drives, and signage shall be permitted within such buffer; provided, any such road or utility easements shall be extended generally perpendicular through such buffer. All buffers, whether in common area or a lot, shall be maintained by the Association. No fencing and walls for an individual lot may be located within a buffer.

- b. **Concept Road.** A natural and landscaped buffer a minimum of at least twenty-five (25) feet in width and planted to the level of a transitional buffer 25 shall be provided adjacent to each Tract adjoining the Concept Road. A minimum of twenty-five (25) foot in width natural and landscaped buffer and planted to the level of a transitional buffer 25 shall be provided adjacent to the portion of the boundary of the Future Development area adjacent to the Concept Road. These buffers shall also contain landscaping (including street trees and a hedge row) and natural open areas, except as required for utility and drainage easements, which, as much as practical, shall run perpendicular to this buffer. Spacing for street trees along or within the Concept Road shall be a maximum of thirty-five (35) feet on center, and no more than fifteen (15) feet from the edge of the right-of-way for the Concept Road.
- c. **Tract A.** A minimum thirty-five (35) foot wide natural and landscaped buffer, planted to the level of a transitional buffer 35, shall be provided adjacent to the eastern boundary line of Tract A along Pouncey Tract Road. A minimum twenty-five (25) foot wide natural and landscaped buffer, planted to the level of a transitional buffer 25, shall be provided adjacent to the southern boundary line of Tract A along the Concept Road. Each such buffer shall be similar to the plans depicted on Exhibits 9 & 10 (see case file), as hereinafter defined in proffer 6(e), including, without limitation, the berms and fencing shown thereon. A minimum ten (10) feet wide natural and landscaped buffer, planted to the level of a transitional buffer 10, shall be provided adjacent to the northern boundary line of Tract A, until such time as Tract A is developed for any use other than residential use. The landscape plan for Tract A shall also include provisions for landscaping of parking areas and other common areas of Tract A.
- d. **Tract B and Tract C.** A minimum twenty-five (25) foot wide natural and landscaped buffer shall be provided adjacent to (a) the northern line of Tract B and Tract C adjoining the Concept Road and planted to the level of a transitional buffer 25, and (b) the southeastern line of Tract B adjacent to Bacova Drive Relocated and planted to the level of a transitional buffer 35. Each such buffer shall be provided similar to the plan depicted on that certain rendering entitled "CONCEPT ROAD 25' TRANSITIONAL BUFFER DETAILS", prepared by Youngblood Tyler & Associates, P.C. dated December 8, 2011, and attached hereto as Exhibit 8 (see case file), unless otherwise approved by the Planning Commission during landscape plan review, including, without limitation, a fence substantially similar to the fence for the Glen Allen Cultural Arts Center, as shown on the photograph on



Exhibit 8 (see case file), to include an arch pediment feature and a minimum of a 1"x10" top cap, 6"x6" posts and 1"x6" deck boards. The Covenants shall provide that the Association shall have the obligation to and the right to access and maintain any portion of a buffer for Tract B or Tract C that is within a lot.

- e. **Tracts D and E.** A minimum twenty-five (25) foot natural and landscaped buffer and planted to the level of a transitional buffer 25 shall be provided adjacent to the boundary of Tract D adjacent to Bacova Drive Relocated. A minimum thirty-five (35) foot natural and landscaped buffer and planted to the level of a transitional buffer 35 shall be provided adjacent to the boundary of Tract D and Tract E adjacent to North Gayton Road. Each such 35' buffer shall be similar to the plan depicted on that certain rendering entitled "BACOVA APARTMENTS 35' Transitional Buffer Exhibit" prepared by Timmons Group, dated October 26, 2011, and attached hereto as Exhibit 9 (see case file), including, without limitation, the berms and fencing shown thereon, which such rendering is conceptual in nature ("Exhibit 9"), (see case file). A minimum twenty-five (25) foot natural and landscaped buffer and planted to the level of a transitional buffer 25 shall be provided adjacent to the portion of the boundary of Tract E adjacent to the Concept Road. Each such 25' buffer shall be similar to the plan depicted on that certain rendering entitled "BACOVA APARTMENTS 25' Transitional Buffer Exhibit" prepared by Timmons Group, dated October 26, 2011, and attached hereto as Exhibit 10 (see case file), including, without limitation, the berms and fencing shown thereon, which such rendering is conceptual in nature (together with Exhibit 9, collectively, "Exhibits 9 & 10"), (see case file). A minimum fifty (50) foot building setback shall be provided adjacent to the eastern boundary line of Tract D adjacent to the parcel referenced as County Tax Parcel 736-765-5683.
- f. **Tract F.** A minimum twenty-five (25) foot natural and landscaped buffer and planted to the level of a transitional buffer 25 shall be provided adjacent to the boundary of Tract F adjoining the Concept Road. A minimum twenty-five (25) foot natural and landscaped buffer and planted to the level of a transitional buffer 35 shall be provided adjacent to the portion of the boundary of Tract F adjacent to North Gayton Road. No wooden fence shall be permitted within the rear yard of any lot within Tract F adjacent to any such buffer along North Gayton Road and any fence within the rear yard of any such lot shall be similar in appearance or type with the fence within the buffer along North Gayton Road. Each such buffer located on Tract F shall be similar to the plans depicted on Exhibits 9 & 10 (see case file), including, without limitation, the berms and fencing shown thereon. The Covenants shall provide that the Association shall have the obligation to and the right to access and maintain any portion of a buffer for Tract F that is within a lot.

7. **Underground Utility Lines.** All utility lines on the Property shall be underground, except for already existing utilities, junction boxes, meters, utility lines in wetland areas and utility lines required to be above ground by the utility company. Electrical junction boxes and meters shall be screened from public view at ground level at the perimeter of the Property with use of a wall, fencing, landscaping, or such other method as may be approved at the time of Plan of Development or subdivision review.
8. **Best Management Practice.** Best Management Practice structures shall be located outside of any landscaped buffer within the Property, except as a landscaping amenity or water-related feature and if requested and specifically permitted by the Director of Planning or the Planning Commission at the time of subdivision or Plan of Development review for any Tract. Any above-ground Best Management Practice structure shall include an aeration feature to move water within such structure.
9. **Compliance Certificate.** Upon the request of the County, the applicant or its successor as to any particular Tract shall provide the County with the necessary calculations that illustrate the compliance with all of the allowable and required percentages set forth in these proffers as applicable to that Tract.
10. **C-1 Zoning.** Applicant shall file an application for C-1 zoning for the areas within the Property that are within the 100 year flood plain, unless such areas are needed for roads, access ways or other purposes approved or required by the Director of Planning or the Planning Commission or any other governmental body or official at the time of any subdivision or Plan of Development review for any Tract. Such rezoning application shall be filed as soon as reasonably practical, but in no case later than the final subdivision approval for the last subdivision plat for the Property. The acreage then zoned C-1 may or may not be included in any subdivision or lot on the Property, at the sole discretion of the Applicant.
11. **Hours of Construction.** During the construction of the development on the Property the hours of exterior construction shall be limited to 7:00 a.m. to 8:00 p.m., Monday through Saturday, except in emergencies or where unusual circumstances require extending the specific hours in order to complete work such as concrete pours or utility connections. Exceptions shall require the Director of Planning's approval. Construction signs shall be posted in English and in Spanish and shall state the hours of construction.
12. **Severance.** The unenforceability, elimination, revision or amendment of any proffer set forth herein, in whole or in part, shall not affect the validity or enforceability of the other proffers or the unaffected part of any such proffer.

The following proffers shall be applicable only to that certain parcel designated as "TRACT A, OFFICE O-2C 6.439 GROSS ACRES" on the Development Plan to be rezoned O-2C ("Tract A"):

13. **Conceptual Plan.** Development of Tract A shall occur in a similar manner as shown on "BACOVA TRACT A," prepared by Youngblood, Tyler & Associates P.C., dated April 14, 2011, last revised October 17, 2011, and attached hereto as Exhibit 11 (see case file). The exact locations, footprints, configurations, sizes and details of the building(s), drives, roads and other improvements shown on such conceptual plan are illustrative and may be subject to change and revised and updated from time to time as required for final engineering design, compliance with governmental regulations, or for other reasons approved at the time of Plan of Development review.
14. **Site Coverage.** No more than seventy percent (70%) of Tract A in the aggregate shall be covered by buildings, parking areas and driveways.
15. **Limitation on Uses.** The following uses shall be prohibited on Tract A:
  - a. Funeral home or undertaking establishment;
  - b. Check cashing and/or making of payday loans and motor vehicle title loans as defined and regulated by Section 6.2-2100 et seq., Section 6.2-1800 et seq. and Section 6.2-2200 et seq. of the Code of Virginia, provided the foregoing shall not preclude banks, credit unions, savings and loan, or other similar financial institutions that are not regulated by the foregoing Virginia Code sections; and
  - c. More than one bank with drive through service.
16. **Loading Docks.** Loading docks shall be completely screened from public view at ground level from Pouncey Tract Road and the Concept Road, as approved at the time of Plan of Development review by use of a masonry or split-face screening wall or other architectural feature similar to the exterior material as the building on which it is located, landscaping, or such other method as may be approved at the time of Plan of Development review.
17. **Exterior Materials; Exterior Appearance.** The exposed portions of all exterior wall surfaces (front, rear and sides) of each building constructed on Tract A shall be similar in architectural treatment and materials to each other and to all other buildings on Tract A. The exposed exterior wall surfaces (above finished grade) shall consist of full standard brick, stone, glass, architectural precast, EIFS, stucco if applied to a masonry surface or any combination thereof, or other aesthetically comparable finished materials approved by the Planning Commission at the time of Plan of Development review. At least eighty-five percent (85%) of such exposed exterior wall surfaces for each building shall be full standard brick or stone, unless otherwise permitted by the Planning Commission at the time of Plan of Development review. No building on Tract A shall be covered with or have exposed to view any painted or unfinished concrete block, sheet or corrugated aluminum, iron and/or steel or other materials unless requested and specifically permitted at the time of Plan of Development review.

18. **Character Images.** All buildings on Tract A shall have exterior architectural styles and use design elements similar with the photo compilation entitled "BACOVA OFFICES, 0-2 ZONING, CHARACTER IMAGES" and attached hereto as Exhibit 12 (see case file), which such renderings are typical in nature and are provided only as an illustration of the quality of the design and architectural style of such buildings to be constructed on Tract A.
19. **Detached Signage.** Any detached signs on Tract A shall be monolithic style signs, the base of which shall be landscaped. No portable signs or signs with changeable copy shall be permitted on the site. No detached sign shall exceed a height of eight (8) feet, as measured from the base of the sign. All detached signs on Tract A, including any project entrance sign, shall be similar in style to those provided in Exhibit 5 (see case file), unless otherwise approved by the Planning Commission at the time of Plan of Development review.
20. **Landscaping.** All plans for landscaping within Tract A shall be submitted for review by the Planning Commission, including, without limitation, any interior landscaping and buffers within Tract A.
21. **Exterior Lighting.** Exterior lighting fixtures shall not exceed twenty (20') feet in height as measured from the grade of the base of the lighting standard or from the finished grade of the building directly below such lighting fixture, as the case may be. Exterior light fixtures, other than low intensity decorative ornamental fixtures such as gas style lamps, shall be produced from concealed sources of light and shall be reduced to no more than a security level following the close of business operations each day. At no time shall the parking lot lighting exceed one-half (1/2) foot-candle beyond the boundary lines of Tract A. All parking lot lighting shall be positioned in such a manner as to minimize the impact of such lighting on any adjacent property. No direct embedded lights shall be permitted.
22. **Trash Receptacles.** Dumpsters and trash receptacles, not including convenience cans, shall be screened from public view at ground level at the perimeter of the Property, with architectural material similar to the main building using such dumpster or trash receptacle and as may otherwise be approved at the time of Plan of Development review. The gates and doors shall be of a substantial and durable material as determined at the time of Plan of Development. Support posts, gate frames, hinges and latches shall be of a sufficient size and strength to allow the gates to function without sagging or becoming a visual eyesore as determined by the Director of Planning or the Planning Commission at the time of Plan of Development.
23. **HVAC Screening.** Any heating, ventilation and air conditioning equipment and any utility meters shall be screened from public view at ground level at the perimeter of the Property with use of a wall or other architectural feature similar to the exterior material as the building on which it is located, landscaping, or such other method as may be approved at the time of Plan of Development review.

24. **Trash Pick Up, Parking Lot Cleaning and Leaf Blowing.** No trash pick-up, parking lot cleaning, or leaf blowing shall occur before 7:00 a.m. or after 6:00 p.m. Monday through Friday or before 10:00 a.m. or after 5:00 p.m. on Saturdays. No trash pick-up, parking lot cleaning, or leaf blowing shall occur on Sundays.
25. **Outdoor Speakers.** No public address or speaker systems outside of any building shall be permitted.
26. **Property Access.** Tract A shall be developed to allow cross-access to and from the adjacent property to the north of Tract A (shown on the existing County Tax Map as Parcel 738-766-9367 (the "Adjacent Property")) so that traffic generated from development on either Tract A or the Adjacent Property shall have the ability to access across the roads and drives of each of Tract A and the Adjacent Property; provided, however, (a) if the Adjacent Property is used for any use other than an office building (business, professional, medical, or administrative), studio (for an artist, designer, writer, photographer, sculptor or musician), or child care center, then such cross-access shall not be required, (b) nothing herein shall require the developer of Tract A to actually build any such access, but only to provide an easement for access for the benefit of the Adjacent Property so long as such access road through Tract A to the Adjacent Property is constructed to the quality of the then existing roads and drives located on Tract A, and (c) Tract A is granted an equivalent access easement over and across the Adjacent Property.

The following proffers shall be applicable only to those certain parcels designated as "TRACT B, SINGLE FAMILY RESIDENTIAL R-3C 35.097 GROSS ACRES" on the Development Plan to be rezoned R-3C ("Tract B"), "TRACT C, SINGLE FAMILY RESIDENTIAL R-3C 44.137 GROSS ACRES" on the Development Plan to be rezoned R-3C ("Tract C") and "TRACT F, SINGLE FAMILY RESIDENTIAL 19.481 GROSS ACRES" on the Development Plan to be rezoned R-5AC ("Tract F"):

27. **Conceptual Plans.**
  - a. **Tract B Conceptual Plan.** Development of Tract B shall occur in a similar manner as shown on "BACOVA TRACTS B & C," prepared by Youngblood, Tyler & Associates, P.C., dated April 14, 2011, last revised October 17, 2011, and attached hereto as Exhibit 13 (see case file). The exact locations, footprints, configurations, sizes and details of the lots, drives, roads and other improvements shown on such conceptual plan are illustrative and may be subject to change and revised and updated from time to time as required for final engineering design, compliance with governmental regulations, or for other reasons approved at the time of subdivision review. The park shown on such conceptual plan within the southern portion of Tract B shall be a minimum of six (6) acres (including the BMP Pond) and shall include pedestrian scale improvements, which are more particularly shown on the Landscape Plan.



- b. **Tract C Conceptual Plan.** Development of Tract C shall occur in a similar manner as shown on "BACOVA TRACTS B & C," prepared by Youngblood, Tyler & Associates, P.C., dated April 14, 2011, last revised October 17, 2011, and attached hereto as Exhibit 13 (see case file). The exact locations, footprints, configurations, sizes and details of the lots, drives, roads and other improvements shown on such conceptual plan are illustrative and may be subject to change and revised and updated from time to time as required for final engineering design, compliance with governmental regulations, or for other reasons approved at the time of subdivision review.
  - c. **Tract F Conceptual Plan.** Development of Tract F shall occur in a similar manner as shown on "BACOVA TRACT F," prepared by Youngblood, Tyler & Associates P.C., dated April 14, 2011, last revised October 17, 2011, and attached hereto as Exhibit 14 (see case file) or with homes along North Gayton Road fronting North Gayton Road. The exact locations, footprints, configurations, sizes and details of the building(s), drives, roads and other improvements shown on such conceptual plan are illustrative and may be subject to change and revised and updated from time to time as required for final engineering design, compliance with governmental regulations, or for other reasons approved at the time of subdivision review. The access road shown on Exhibit 12 connecting to the property to the north of Tract F shall be provided to the northern boundary of Tract F as required by the Planning Commission at the time of subdivision review.
28. **Character Images.** All dwellings on Tract B and Tract C shall have architectural styles and use design elements similar with the photo compilation entitled "BACOVA SINGLE FAMILY RESIDENTIAL, R-3 ZONING, CHARACTER IMAGES," and attached hereto as Exhibit 15 (see case file), such renderings are conceptual in nature and are provided only as an illustration of the quality of the design and architectural style of such dwellings. All buildings on Tract F shall have architectural styles and use design elements similar to those renderings and exterior elevations of buildings as shown on the elevations entitled "BACOVA SINGLE FAMILY RESIDENTIAL, R-5A ZONING, CHARACTER IMAGES" and attached hereto as Exhibit 16 (see case file), which such renderings are conceptual in nature and are provided only as an illustration of the quality of the design and architectural style of such buildings. Any porch (which shall not include front access stoops) shall be a minimum of five feet (5') in depth as measured from the front of the home. All dwellings shall have various design elements that include one or more of the following features: quoin treatment, soldier courses of brick, keystones, capstones, ornamental windows, dormers, pediments, shutters, columns, and projections such as bays, porches, stoops, and gables. No two homes adjoining each other side by side shall have identical design elements.

29. **Architectural Features.** Various design elements shall be incorporated to provide variety amongst individual units including, but not limited to the following: varying colors of brick, brick accents (including, but not limited to, arches with or without keystones, soldier courses, quoin corners, and accent coloring different from any main brick coloring), varying colors of siding, varying window designs, and varying doorway designs. No two homes adjoining each other side by side shall be identical in exterior architectural features and colors.
30. **Density.** No more than 65 single-family residential units shall be constructed on Tract B. No more than 70 single family residential units shall be constructed on Tract C. No more than 45 residential units shall be constructed on Tract F.
31. **Minimum Home Size.** Any new home constructed on Tract B and Tract C shall have a minimum of 2,500 square feet of finished floor area. Any new home constructed on Tract F shall have a minimum of 1,750 square feet of finished floor area and shall be located on a lot with a minimum width of fifty-five (55) feet.
32. **Recreational Facility.** At least one recreational facility (the "Recreational Facility") consisting of at least 2.5 acres and containing a pool of at least 5,000 square feet and a clubhouse of at least 2,000 square feet shall be provided for the benefit of the residents of Tract B, Tract C and Tract F, as well as their guests, no later than the issuance of a certificate of occupancy for the one hundredth (100<sup>th</sup>) dwelling unit on Tracts B, C and F, unless otherwise requested and approved by the Planning Commission at the time of subdivision review of any such Tract. The Recreational Facility shall be located on Tract C, Tract F or on any property north of the Concept Road in a location approved by the Planning Commission at the time of subdivision review of any such Tract.
33. **Lighting.** Pedestrian scale residential lighting within Tract B, Tract C and Tract F shall be provided on each lot. Such lighting shall be non glare, decorative in style, residential in character and shall be provided at least in the front yard of each residential lot.
34. **Streets.** All new streets within Tract B, Tract C and Tract F shall be constructed with standard six (6) inch curb and gutter.
35. **Landscaping.** A minimum of two (2) trees measuring a minimum of 2.5" in caliper shall be retained or planted in the front yard of each residential lot and side yards on corner lots in Tract B and Tract C, except for lots on a cul-de-sac, which shall have one (1) such tree if approved at the time of landscape plan approval. A minimum of one (1) tree measuring a minimum of 2.5" in caliper shall be retained or planted in the front yard of each residential lot and side yards on corner lots in Tract F. In no case shall any such tree be planted more than ten (10) feet from the right-of-way unless otherwise approved at the time of landscape plan approval. The front and side yards of any lot within Tracts B, C and F shall be irrigated and planted with sod. Each home in Tracts B, C and F shall have prototypical plantings (shrubs and ornamental ground cover) along the entire front foundation as approved by the Planning Commission at the time of

subdivision review, such prototypical plantings to be submitted to and approved by the Planning Commission at the time of subdivision review. Those 2 lots in Tract B labeled as "LOT 1" and "LOT 2" on Exhibit 13 shall include such additional landscaping or fencing as approved by the Planning Commission at the time of subdivision review for such lots. Any home with a rear or side yard adjoining North Gayton Road or the Concept Road shall include such landscaping or fencing as approved by the Planning Commission at the time of subdivision review for any such lots.

36. **Foundations.**

- a. **Tract B and Tract C Foundations.** All new homes located on Tract B and Tract C shall be constructed on crawl space foundations, except for basements and garages. The exterior portion of the foundations below the first floor level which is visible above grade shall be finished with full standard brick or stone unless otherwise approved by the Director of Planning. This proffer shall not apply to direct vent gas fireplaces or appliances. Steps to the main entrances of all homes, including front access stoops or porches, but not including homes with country porches, shall be faced with full standard brick or stone with a finished concrete or exposed aggregate landing for any such steps, stoops or porches. Any visible piers on porches shall be constructed of brick.
- b. **Tract F Foundations.** All new homes located on Tract F shall be constructed on elevated slabs or crawl space foundations except for basements and garages. The exterior portion of the foundations below the first floor level which is visible above grade shall be finished with full standard brick or stone unless otherwise approved by the Director of Planning. Dwelling units located within Tract F not built on a crawl space foundation shall have a minimum two (2') foot full standard brick or stone foundation. This proffer shall not apply to direct vent gas fireplaces or appliances. Dwelling Units located within Tract F built on a crawl space foundation, with steps to the main entrances of all homes, including front access stoops or porches, but not including homes with country porches, shall be faced with full standard brick or stone with a finished concrete or exposed aggregate landing for any such steps, stoops or porches and any visible piers on porches shall be constructed of brick.

37. **Exterior Materials.** Any dwelling, including any garage accessory to such dwelling upon the same lot whether attached or detached, in Tract B, Tract C, and Tract F shall have exposed exterior walls (above finished grade) of full standard brick, stone, cementitious siding, or a combination of the foregoing, unless otherwise approved by the Director of Planning. Each dwelling on Tract B and Tract C shall have full standard brick or stone on their front elevations, as follows:

a. **Tract B and Tract C.**

- i. At least sixty-five percent (65%) of all the dwellings shall have such material on a minimum of sixty percent (60%) or more of each of their front elevations; and
- ii. At least thirty-five percent (35%) of all dwellings shall have such material on a minimum of forty percent (40%) or more of each of their front elevations.

b. **Tract F.**

- i. At least twenty-five percent (25%) of all units shall have such material on a minimum twenty percent (20%) or more of each of their front elevations; and
- ii. At least twenty-five percent (25%) of all units shall have such material on a minimum sixty percent (60%) or more of each of their front elevations.

38. **Roof Material.** Any home shall be constructed with a roof that has a minimum certified twenty-five (25) year warranty.
39. **Garages.** Each residential unit on Tract B and Tract C shall be constructed with a two (2) car garage (either attached or detached) with a minimum interior clear area of eighteen (18) feet in length by twenty (20) feet in width. Fifty percent (50%) of all residential units on Tract F shall be constructed with a one (1) car garage and a minimum interior clear area of eighteen (18) feet in length by ten (10') feet in width. Front loading garages shall be recessed beyond the front line of the dwelling a minimum of four (4) feet. Forty percent (40%) of the garages on Tracts B and C shall be side or rear loaded.
40. **Driveways.** All new driveways shall be constructed of either cobblestone, brick, asphalt, pre-cast pavers, concrete or other similar materials approved by the Director of Planning or the Planning Commission at the time of subdivision review. No individual lots shall have direct access to the Concept Road, Pouncey Tract Road, Bacova Drive, or North Gayton Road.
41. **Fireplace Chimneys.** The exposed portions of all fireplace chimneys shall be of full standard brick, stone, or cementitious siding. The exposed bases of all chimneys shall be of the same material as the building foundations. The exposed portion of a flue for a direct-vent gas fireplace shall be constructed of the same material used on the adjacent siding and shall be built on a foundation that is constructed of the same material that is used on the adjacent foundation.

42. **Side Elevation Windows and Cantilevering.** All side elevations shall contain a minimum of two windows, any one of which may be a bay window. No cantilevered features will be allowed, except for direct gas vents and second story bay windows which will be designed and constructed with decorative corbels.
43. **Private Roads.** If any roads within Tract F are not public, prior to the issuance of any Certificate of Occupancy, the applicant shall provide the Planning Department with certification from a licensed engineer that such private road was constructed according to the approved subdivision plan, and in compliance with County road design standards and specifications (except as to pavement width and turning radii), to include proper compaction of the sub-base soils, utility trenches, base stone, and asphalt surface.

The following proffers shall be applicable only to that certain parcel designated as "TRACT D MULTIFAMILY APARTMENTS R-6C 22.541 GROSS ACRES" on the Development Plan, to be rezoned R-6C ("Tract D") and "TRACT E MULTIFAMILY APARTMENTS R-6C 7.471 GROSS ACRES" on the Development Plan to be rezoned R-6C ("Tract E):

44. **Conceptual Plan.** Development of Tract D shall occur in a similar manner as shown on "BACOVA APARTMENTS, Tract D Rendering" prepared by TIMMONS GROUP, dated October 26, 2011, and attached hereto as Exhibit 17 (see case file). Development of Tract E shall occur in a similar manner as shown on "BACOVA APARTMENTS, Tract E Rendering" prepared by TIMMONS GROUP, dated October 26, 2011, and attached hereto as Exhibit 18 (see case file) unless otherwise approved at the time of Plan of Development review. The exact locations, footprints, configurations, sizes and details of the building(s), drives, roads and other improvements shown on such conceptual plans are illustrative and may be subject to change and revised and updated from time to time as required for final engineering design, compliance with governmental regulations, or for other reasons approved at the time of Plan of Development review. Amenities such as "PLAYGROUND AREA", "AMENITY AREA", "DOG PARK", "PARK AREA", "FITNESS CENTER 1,100 SF" and "SWIMMING POOL" shall be provided generally as shown on such conceptual plans, unless otherwise approved at the time of Plan of Development review. A minimum of a four foot (4') sidewalk shall be provided along one side of all such drives and areas as shown on the above renderings.
45. **Character Images.** All buildings and amenity design elements on Tract D and Tract E shall have architectural styles and use design elements similar to those renderings and exterior elevations of buildings as shown on the following character images: (a) "BACOVA APARTMENTS, HENRICO, VA, CLUB HOUSE ELEVATION" prepared by Housing Studio, dated September 1, 2011, and attached hereto as Exhibit 19 (see case file), and (b) "BACOVA APARTMENTS, HENRICO, VA, SCHEMATIC ELEVATIONS" prepared by Housing Studio, dated September 1, 2011, (pages (i) through (iv)) and attached hereto as Exhibit 20(i)



through (iv) (see case file), (collectively, the "Multi-Family Renderings") which such renderings are conceptual in nature and are provided only as an illustration of the quality of the design and architectural style of such buildings. Tract D and Tract E shall provide amenities similar to those renderings as shown on the character images entitled "BACOVA APARTMENTS, Amenities" prepared by TIMMONS GROUP, dated October 26, 2011, and attached hereto as Exhibit 21 (see case file), unless otherwise approved by the Director of Planning of the County, which such renderings are conceptual in nature and are provided only as an illustration of the quality of the design and architectural style of such buildings.

46. **Density.** No more than 430 dwelling units shall be constructed in total on Tract D and Tract E. No more than 82 dwelling units shall be constructed on a single Tract without two points of access unless otherwise approved by the Director of Public Works or the Planning Commission at the time of Plan of Development review for any such Tract. One bedroom units shall contain a minimum of 800 square feet of finished floor area each, with the total number of one bedroom units not to exceed forty percent (40%) of the total number of dwelling units on Tracts D and E. Two bedroom units shall contain a minimum of 900 square feet of finished floor area each. Three bedroom units shall contain a minimum of 1,100 square feet of finished floor area each, with the total number of three bedroom units not to exceed twenty-five percent (25%) of the total number of dwelling units on Tracts D and E. Typical unit plans for all such dwelling units shall be similar to those layouts as shown on the plans entitled "BACOVA APARTMENTS, HENRICO, VA, TYPICAL UNIT PLANS" prepared by Housing Studio, dated September 1, 2011, and attached hereto as Exhibit 22 (see case file), unless otherwise approved at the time of Plan of Development review. A minimum of forty-five (45) garages shall be provided on Tracts D and E.
47. **Exterior Lighting.** Exterior lighting fixtures shall not exceed twenty (20) feet in height as measured from the grade of the base of the lighting standard or from the finished grade of the building directly below such lighting fixture, as the case may be. Exterior light fixtures, other than low intensity decorative ornamental fixtures such as gas style lamps, shall be produced from concealed sources of light. All exterior lighting shall be ornamental residential style lighting. At no time shall the parking lot lighting exceed one-half (1/2) foot-candle beyond the boundary lines of Tract D and Tract E. All parking lot lighting shall be positioned in such a manner as to minimize the impact of such lighting on any adjacent property. No direct embedded lights shall be permitted.
48. **Landscaping.** All plans for landscaping within Tract D and Tract E shall be submitted for review by the Planning Commission, including, without limitation, any interior landscaping and buffers within Tract D and Tract E, which shall have landscaping consistent with Exhibit 17 and Exhibit 18 (see case file).
49. **Exterior Materials.** Any building shall have exposed exterior walls (above finished grade) of full standard brick, stone, or cementitious siding, or a combination of the foregoing, unless otherwise requested by the developer and

specifically permitted at the time of Plan of Development review. Each building on Tract D and Tract E shall have at least forty-five percent (45%) full standard brick or stone in the aggregate on the exposed exterior front walls of such buildings, at least thirty-five percent (35%) full standard brick or stone in the aggregate on the exposed exterior side and rear walls of such buildings, and at least forty percent (40%) full standard brick or stone in the aggregate on the exposed exterior side and rear walls of such buildings facing I-64. Except for trim material, no building shall have exposed exterior walls of aluminum siding. Any side wall of a building within Tract D and Tract E shall include at least one window in such side wall.

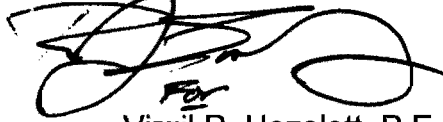
50. **Trash Receptacles.** Dumpsters and trash receptacles, not including convenience cans, shall be screened from public view at ground level at the perimeter of the Property, with brick. The gates and doors shall be of a substantial and durable material as determined at the time of Plan of Development. Support posts, gate frames, hinges and latches shall be of a sufficient size and strength to allow the gates to function without sagging or becoming a visual eyesore as determined by the Director of Planning or the Planning Commission at the time of Plan of Development.
51. **HVAC Screening.** Any heating, ventilation and air conditioning equipment shall be screened from public view at ground level at the perimeter of the Property, with use of a wall or other architectural feature similar to the exterior material as the building on which it is located, landscaping, or such other method as may be approved at the time of Plan of Development review.
52. **Trash Pick Up, Parking Lot Cleaning and Leaf Blowing.** No trash pick-up, parking lot cleaning, or leaf blowing shall occur before 7:00 a.m. or after 8:00 p.m. Monday through Friday or before 10:00 a.m. or after 8:00 p.m. on Saturdays. No trash pick-up, parking lot cleaning, or leaf blowing shall occur on Sundays.
53. **Sound Suppression.** Any dwelling unit within Tract D that is within 300 feet of Interstate 64 shall be designed to have an interior decibel level that does not exceed 45 DBA. A sound engineer shall certify (with an appropriate seal) that all such units were appropriately designed so that the interior decibel level shall not exceed 45 DBA. Any walls between units within Tract D and Tract E shall have a minimum sound transmission coefficient rating of 50. A cross section detail, reviewed and approved by a certified architect or engineer as to the methodology accomplishing the sound transmission coefficient rating shall be included in the building permit application.
54. **Recreational Amenities.** Recreational amenities containing at a minimum a clubhouse of at least 3,000 square feet, a pool, a fitness center of at least 1,000 square feet, and a playground shall be provided no later than the issuance of a certificate of occupancy for the one hundredth (100<sup>th</sup>) dwelling unit on Tracts D

and E, unless otherwise requested and approved by the Planning Commission at the time of Plan of Development review for any such Tract.

55. **Unit Finishes.** The initial dwelling unit within Tracts D and E shall have the following amenities, subject to compliance with all applicable building codes and as may otherwise be permitted by the Planning Commission at the time of Plan of Development approval:
- a. Granite countertops
  - b. Wood cabinets
  - c. Laminate wood flooring for entries and kitchens
  - d. Ceramic tile flooring in bathrooms
  - e. Carpet in living room and bedrooms
  - f. Brushed nickel finish on hardware, plumbing fixtures and light fixtures
56. **Roof Material.** Any building shall be constructed with a roof that has a minimum certified twenty-five (25) year warranty.
57. **Building Façade Vents.** No HVAC related equipment (including vents or intakes, but not including any used for bathroom, kitchen or dryer ventilation) shall be permitted on the building façade.
58. **Detached Signage.** Any detached signs on Tracts D and E shall be monolithic style signs, the base of which shall be landscaped. No portable signs or signs with changeable copy shall be permitted on the site. No detached sign shall exceed a height of eight (8) feet, as measured from the base of the sign. All detached signs on Tracts D and E, including any project entrance sign, shall be similar in style to those provided in Exhibit 5 unless otherwise approved by the Planning Commission at the time of Plan of Development review for any such Tract.
59. **Cantilevering.** No cantilevered features will be allowed, except for balconies.
60. **Private Roads.** Prior to the issuance of any Certificate of Occupancy, the applicant shall provide the Planning Department with certification from a licensed engineer that any private road (not including parking lot drive aisles) within Tracts D and E was constructed according to the approved subdivision plan, and in compliance with County road design standards and specifications (except as to pavement width and turning radii), to include proper compaction of the sub-base soils, utility trenches, base stone, and asphalt surface.

The Planning Department has been advised of the action of the Board of Supervisors and will revise its records and place a copy of the accepted proffered conditions in the Conditional Zoning Index.

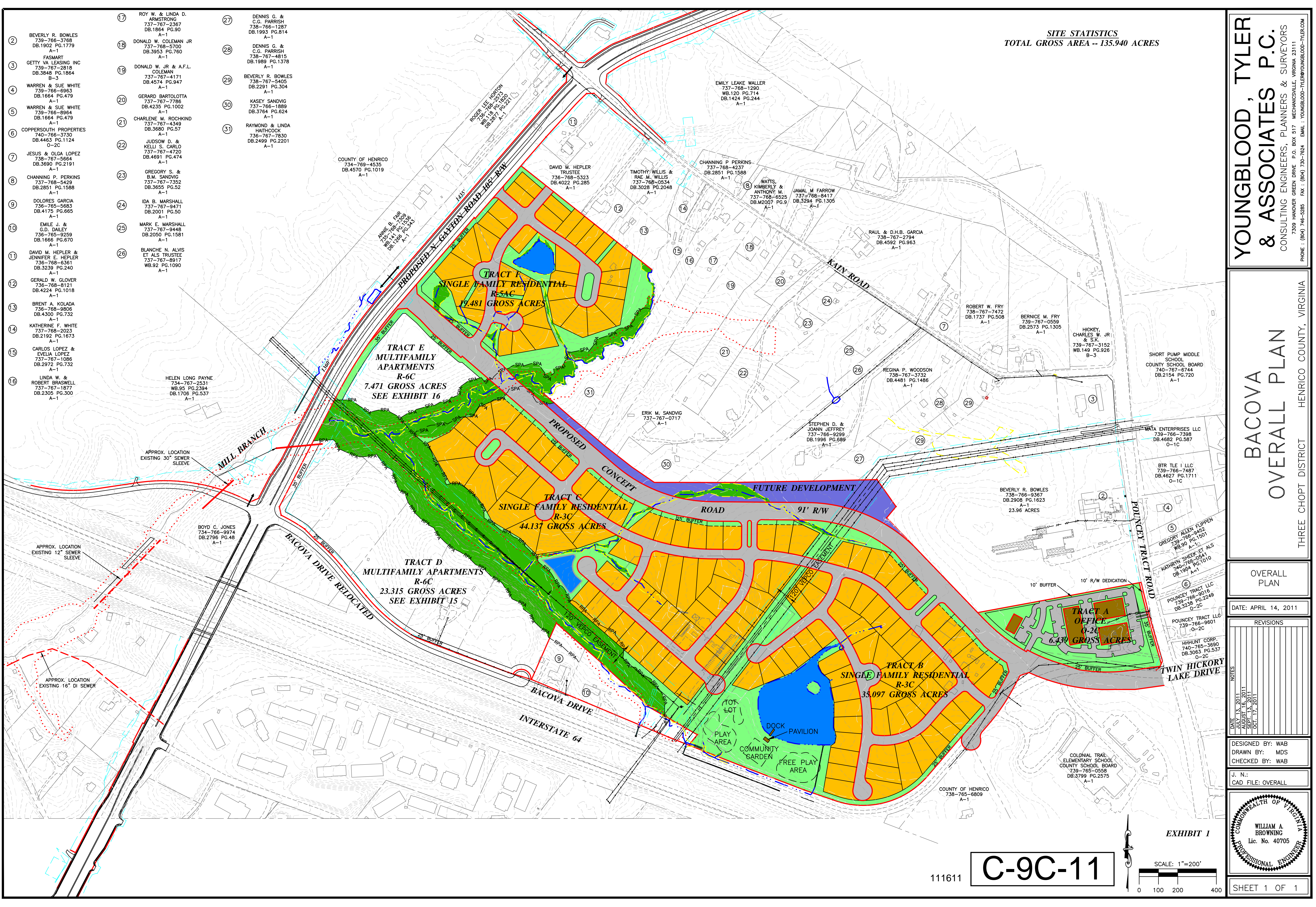
Sincerely,

A handwritten signature in black ink, appearing to read "Virgil R. Hazelett", with a stylized flourish at the end.

Virgil R. Hazelett, P.E.  
County Manager

pc: Randolph Snead  
Lawrence H. Liesfeld, Trustee  
Charles P. Liesfeld, Jr., Trustee  
Robert M. Liesfeld and Mary L. Taylor, Trustees  
Blanche N. Alvis, Trustee  
Robert C. Johnson, Trustee  
Short Pump Ruritan/Civic Foundation, Inc.  
Sheran S. Shiner and Susanne M. Smith, Trustees  
Darrell H. Bowman and Marsha S. Morgan  
David M. Hepler, Trustee  
Andrew M. Condlin, Esq.  
Dr. Martha G. Blumenthal, Dir., Research & Planning, Henrico County Schools  
Director, Real Estate Assessment  
Conditional Zoning Index





SITE STATISTICS  
TOTAL GROSS AREA -- 135.940 ACRES

- 2 BEVERLY R. BOWLES 738-766-3788 DB.1902 PG.1779 A-1
- 3 GETTY VA LEASING INC 739-767-2818 DB.3848 PG.1864 B-3
- 4 WARREN & SUE WHITE 739-766-6963 DB.1664 PG.479 A-1
- 5 WARREN & SUE WHITE 739-766-8964 DB.1664 PG.479 A-1
- 6 COPPERSOUTH PROPERTIES 740-766-3730 DB.4463 PG.1124 O-2C
- 7 JESUS & OLGA LOPEZ 738-767-5664 DB.3690 PG.2191 A-1
- 8 CHANNING P. PERKINS 737-768-5428 DB.2851 PG.1588 A-1
- 9 DOLORES GARCIA 736-765-5683 DB.4175 PG.665 A-1
- 10 EMILE J. & G.D. DAILEY 736-765-9259 DB.1666 PG.670 A-1
- 11 DAVID M. HEPLER & JENNIFER E. HEPLER 736-768-6361 DB.3239 PG.240 A-1
- 12 GERALD W. GLOVER 736-768-8121 DB.4224 PG.1018 A-1
- 13 BRENT A. KOLADA 736-768-9806 DB.4300 PG.732 A-1
- 14 KATHERINE F. WHITE 737-768-2023 DB.2192 PG.1673 A-1
- 15 CARLOS LOPEZ & EVELIA LOPEZ 737-767-1086 DB.2972 PG.732 A-1
- 16 LINDA W. & ROBERT BRASWELL 737-767-1877 DB.2305 PG.300 A-1

- 17 ROY W. & LINDA D. ARMSTRONG 737-767-2367 DB.1864 PG.90 A-1
- 18 DONALD W. COLEMAN JR 737-768-5700 DB.3953 PG.760 A-1
- 19 DONALD W. JR & A.F.L. COLEMAN 737-767-4171 DB.4574 PG.947 A-1
- 20 GERARD BARTOLOTTA 737-767-7786 DB.4235 PG.1002 A-1
- 21 CHARLENE M. ROCKKIND 737-767-4349 DB.3680 PG.57 A-1
- 22 JUDSOW D. & KELLI S. CARLO 737-767-4720 DB.4691 PG.474 A-1
- 23 GREGORY S. & B.M. SANDVIG 737-767-7352 DB.3655 PG.52 A-1
- 24 IDA B. MARSHALL 737-767-9471 DB.2001 PG.50 A-1
- 25 MARK E. MARSHALL 737-767-9448 DB.2050 PG.1581 A-1
- 26 BLANCHE N. ALVIS ET AL'S TRUSTEE 737-767-8917 WB.92 PG.1090 A-1

- 27 DENNIS G. & C.G. PARRISH 738-766-1287 DB.1993 PG.814 A-1
- 28 DENNIS G. & C.G. PARRISH 738-767-4815 DB.1989 PG.1378 A-1
- 29 BEVERLY R. BOWLES 738-767-5405 DB.2291 PG.304 A-1
- 30 KASEY SANDVIG 737-766-1889 DB.3764 PG.624 A-1
- 31 RAYMOND & LINDA HATHCOCK 736-767-7830 DB.2499 PG.2201 A-1

- ANNE B. FARR 737-767-7308 DB.1414 PG.1536 A-1
- DAVID M. HEPLER TRUSTEE 736-768-5323 DB.4022 PG.285 A-1
- TIMOTHY WILLIS & RAE M. WILLIS 737-768-0534 DB.3028 PG.2048 A-1
- CHANNING P. PERKINS 737-768-4237 DB.2851 PG.1588 A-1
- WATTS, KIMBERLY & ANTHONY M. 737-768-6525 DB.M2007 PG.9 A-1
- JAMAL M. FARROW 737-768-8417 DB.3294 PG.1305 A-1
- RAUL & D.H.B. GARCIA 738-767-2794 DB.4592 PG.963 A-1
- ROBERT W. FRY 738-767-7472 DB.1737 PG.508 A-1
- BERNICE M. FRY 739-767-0559 DB.2573 PG.1305 A-1
- HICKEY, CHARLES W. JR & S.K. 739-767-3152 WB.149 PG.926 B-3
- SHORT PUMP MIDDLE SCHOOL COUNTY SCHOOL BOARD 740-767-6744 DB.2154 PG.720 A-1
- MATA ENTERPRISES LLC 739-766-7398 DB.4682 PG.587 O-1C
- BTR TLE I LLC 739-766-7487 DB.4627 PG.1711 O-1C
- BEVERLY R. BOWLES 738-766-9367 DB.2908 PG.1623 A-1
- 23.96 ACRES
- GREGORY ALLEN FLIPPEN 739-766-7452 WB.90 PG.1501 A-1
- KATHRYN SWEET ET ALS 740-766-0541 DB.1904 PG.1010 A-1
- POUNCEY TRACT LLC 739-766-9016 DB.3295 PG.2249 O-2C
- POUNCEY TRACT LLC 738-766-9601 O-2C
- HHHUNT CORP. 740-765-3690 DB.3063 PG.537 O-2C
- COLONIAL TRAIL ELEMENTARY SCHOOL COUNTY SCHOOL BOARD 739-765-0558 DB.3799 PG.2575 A-1
- COUNTY OF HENRICO 738-765-6809 A-1

**YOUNGBLOOD, TYLER & ASSOCIATES P.C.**  
CONSULTING ENGINEERS, PLANNERS & SURVEYORS  
7309 HANOVER GREEN DRIVE P.O. BOX 517 MECHANICSVILLE, VIRGINIA 23111  
PHONE: (804) 744-5285 FAX: (804) 730-7624 EMAIL: YOUNGBLOOD-TYLER@YOUNGBLOOD-TYLER.COM

**BACOVA OVERALL PLAN**  
HENRICO COUNTY, VIRGINIA  
THREE CHOPT DISTRICT

**OVERALL PLAN**

DATE: APRIL 14, 2011

DATE	REVISIONS
AUGUST 16, 2011	
SEPT. 13, 2011	
OCT. 17, 2011	

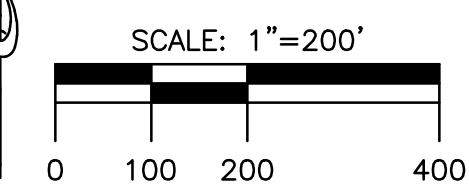
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DRAWN BY: MDS  
CHECKED BY: WAB

J. N.:  
CAD FILE: OVERALL

COMMONWEALTH OF VIRGINIA  
WILLIAM A. BROWNING  
Lic. No. 40705  
PROFESSIONAL ENGINEER

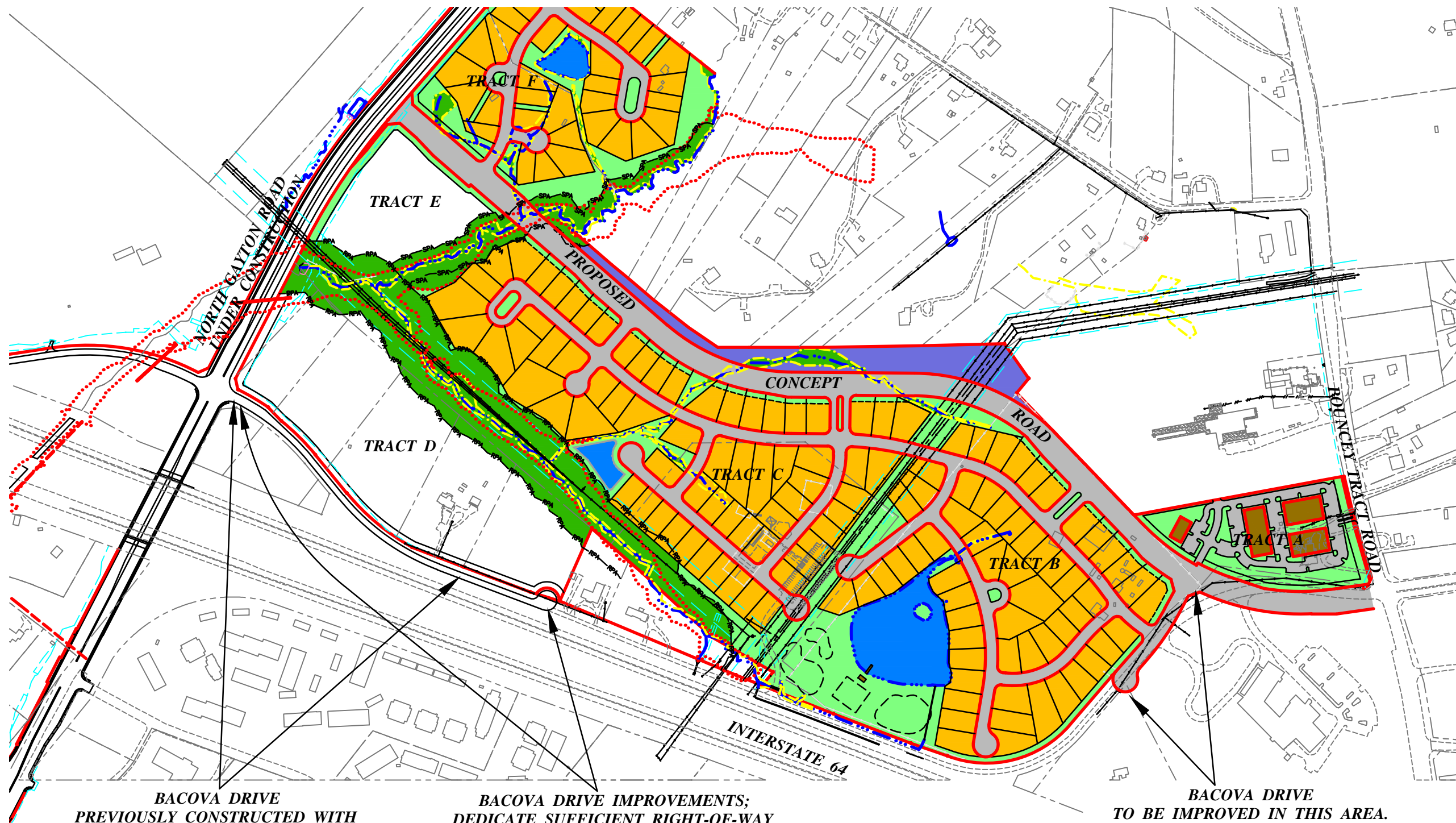
SHEET 1 OF 1

C-9C-11



111611





**BACOVA DRIVE  
PREVIOUSLY CONSTRUCTED WITH  
NORTH GAYTON ROAD PROJECT IN  
THIS AREA. STANDARD 24' E/P-E/P  
DITCH SECTION ROADWAY.**

**BACOVA DRIVE IMPROVEMENTS;  
DEDICATE SUFFICIENT RIGHT-OF-WAY  
ADJACENT TO TRACT D TO PROVIDE FOR THE  
INSTALLATION OF CURB AND GUTTER,  
PAVEMENT WIDENING, TURN LANES, AND ANY  
NECESSARY STORM SEWER REQUIRED FOR  
BACOVA DRIVE. UPON DEVELOPMENT OF TRACT D  
A MINIMUM OF A 4' WIDE SIDEWALK WITH A  
2' GRASS STRIP SHALL BE REQUIRED ALONG  
THE ENTIRE FRONTAGE OF TRACT D ALONG  
THE NORTH LINE OF BACOVA DRIVE UNLESS  
OTHERWISE APPROVED BY THE PLANNING  
COMMISSION AT THE TIME OF P.O.D. APPROVAL.**

**BACOVA DRIVE  
TO BE IMPROVED IN THIS AREA.  
TYPICAL ROADWAY SECTION TO  
HAVE CURB AND GUTTER 36'  
F/C-F/C WITH CUL-DE-SAC.**

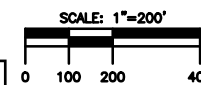


EXHIBIT 2

111611

**C-9C-11**

**YOUNGBLOOD, TYLER  
& ASSOCIATES P.C.**  
CONSULTING ENGINEERS, PLANNERS & SURVEYORS  
7209 HANOVER GREEN DRIVE P.O. BOX 517 MECHANICSVILLE, VIRGINIA 23111  
PHONE : (804) 748-5285 FAX : (804) 738-7824 EMAIL : YOUNGBLOOD-TYLER@YOUNGBLOOD-TYLER.COM

**BACOVA  
DRIVE**  
THREE CHOPT DISTRICT HENRICO COUNTY, VIRGINIA

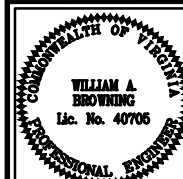
EXHIBIT

DATE: AUGUST 16, 2011

NO.	DATE	REVISIONS
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3	08/16/2011	CHECKED BY: WAB

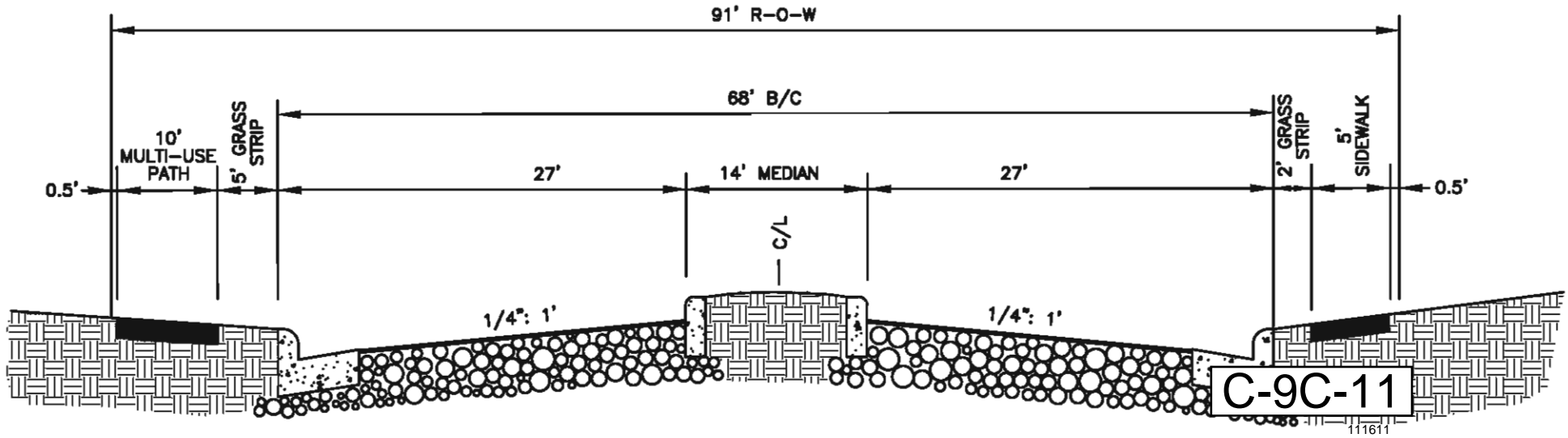
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DRAWN BY: MDS  
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J. N.:  
CAD FILE: OVERALL



SHEET 1 OF 1

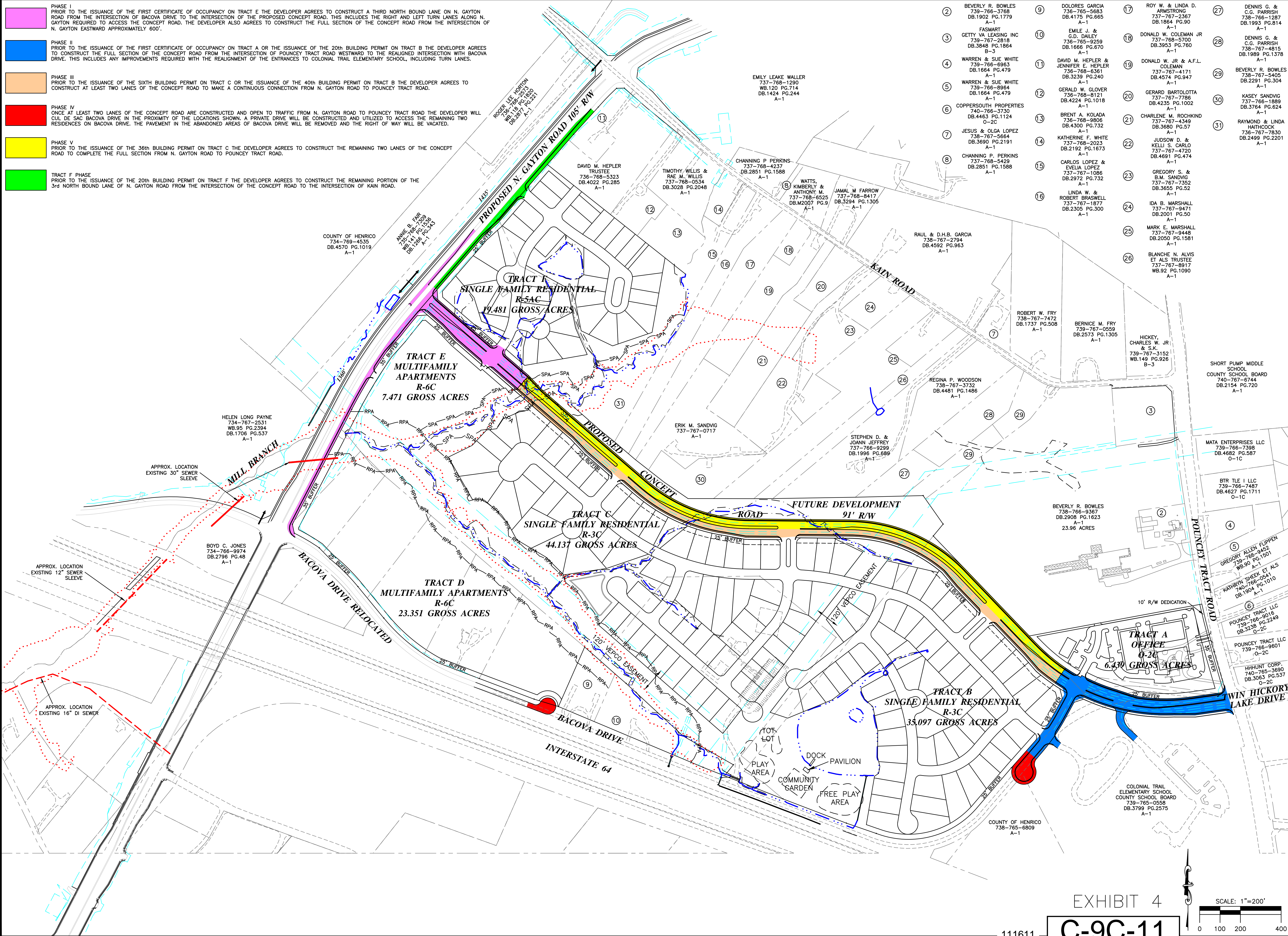
**CONCEPT ROAD**  
**TYPICAL ROAD SECTION**  
N.T.S



**EXHIBIT 3**



- PHASE I**  
PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY ON TRACT E THE DEVELOPER AGREES TO CONSTRUCT A THIRD NORTH BOUND LANE ON N. GAYTON ROAD FROM THE INTERSECTION OF BACOVA DRIVE TO THE INTERSECTION OF THE PROPOSED CONCEPT ROAD. THIS INCLUDES THE RIGHT AND LEFT TURN LANES ALONG N. GAYTON REQUIRED TO ACCESS THE CONCEPT ROAD. THE DEVELOPER ALSO AGREES TO CONSTRUCT THE FULL SECTION OF THE CONCEPT ROAD FROM THE INTERSECTION OF N. GAYTON EASTWARD APPROXIMATELY 600'.
- PHASE II**  
PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY ON TRACT A OR THE ISSUANCE OF THE 20th BUILDING PERMIT ON TRACT B THE DEVELOPER AGREES TO CONSTRUCT THE FULL SECTION OF THE CONCEPT ROAD FROM THE INTERSECTION OF POUNCEY TRACT ROAD WESTWARD TO THE REALIGNED INTERSECTION WITH BACOVA DRIVE. THIS INCLUDES ANY IMPROVEMENTS REQUIRED WITH THE REALIGNMENT OF THE ENTRANCES TO COLONIAL TRAIL ELEMENTARY SCHOOL, INCLUDING TURN LANES.
- PHASE III**  
PRIOR TO THE ISSUANCE OF THE SIXTH BUILDING PERMIT ON TRACT C OR THE ISSUANCE OF THE 40th BUILDING PERMIT ON TRACT B THE DEVELOPER AGREES TO CONSTRUCT AT LEAST TWO LANES OF THE CONCEPT ROAD TO MAKE A CONTINUOUS CONNECTION FROM N. GAYTON ROAD TO POUNCEY TRACT ROAD.
- PHASE IV**  
ONCE AT LEAST TWO LANES OF THE CONCEPT ROAD ARE CONSTRUCTED AND OPEN TO TRAFFIC FROM N. GAYTON ROAD TO POUNCEY TRACT ROAD THE DEVELOPER WILL CUL DE SAC BACOVA DRIVE IN THE PROXIMITY OF THE LOCATIONS SHOWN. A PRIVATE DRIVE WILL BE CONSTRUCTED AND UTILIZED TO ACCESS THE REMAINING TWO RESIDENCES ON BACOVA DRIVE. THE PAVEMENT IN THE ABANDONED AREAS OF BACOVA DRIVE WILL BE REMOVED AND THE RIGHT OF WAY WILL BE VACATED.
- PHASE V**  
PRIOR TO THE ISSUANCE OF THE 36th BUILDING PERMIT ON TRACT C THE DEVELOPER AGREES TO CONSTRUCT THE REMAINING TWO LANES OF THE CONCEPT ROAD TO COMPLETE THE FULL SECTION FROM N. GAYTON ROAD TO POUNCEY TRACT ROAD.
- TRACT F PHASE**  
PRIOR TO THE ISSUANCE OF THE 20th BUILDING PERMIT ON TRACT F THE DEVELOPER AGREES TO CONSTRUCT THE REMAINING PORTION OF THE 3rd NORTH BOUND LANE OF N. GAYTON ROAD FROM THE INTERSECTION OF THE CONCEPT ROAD TO THE INTERSECTION OF KAIN ROAD.



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**BACOVA OVERALL PLAN**  
THREE CHOPT DISTRICT  
HENRICO COUNTY, VIRGINIA

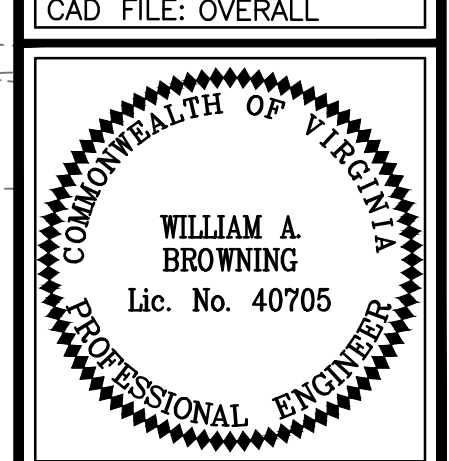
CONCEPT ROAD PHASING PLAN

DATE: SEPT. 12, 2011

NO.	REVISIONS
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3	REVISED TO SHOW PHASING
4	REVISED TO SHOW PHASING
5	REVISED TO SHOW PHASING
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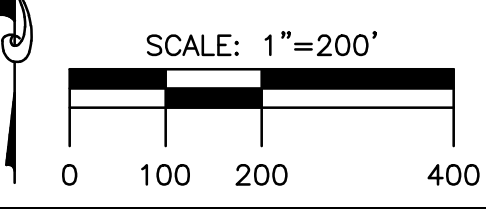
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DRAWN BY: MDS  
CHECKED BY: WAB

J. N.:  
CAD FILE: OVERALL



SHEET 1 OF 1

EXHIBIT 4  
C-9C-11  
111611







**BACOVA**

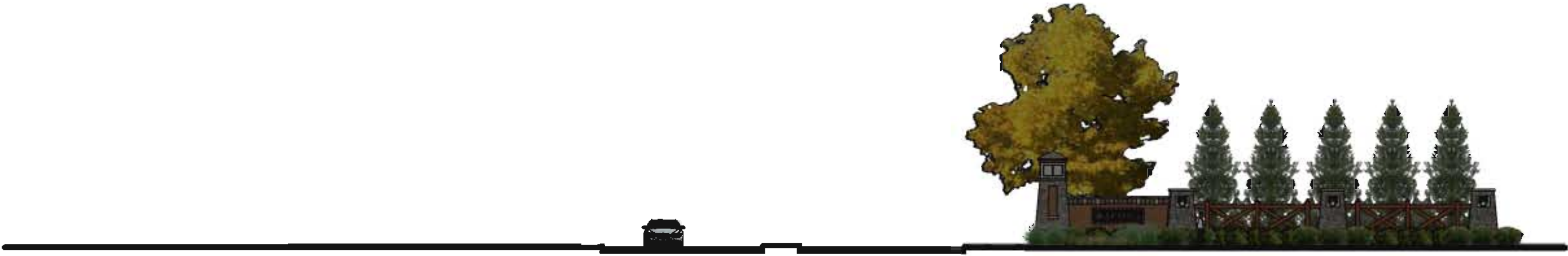
ENTRANCE MONUMENT CONCEPT

EXHIBIT 5i

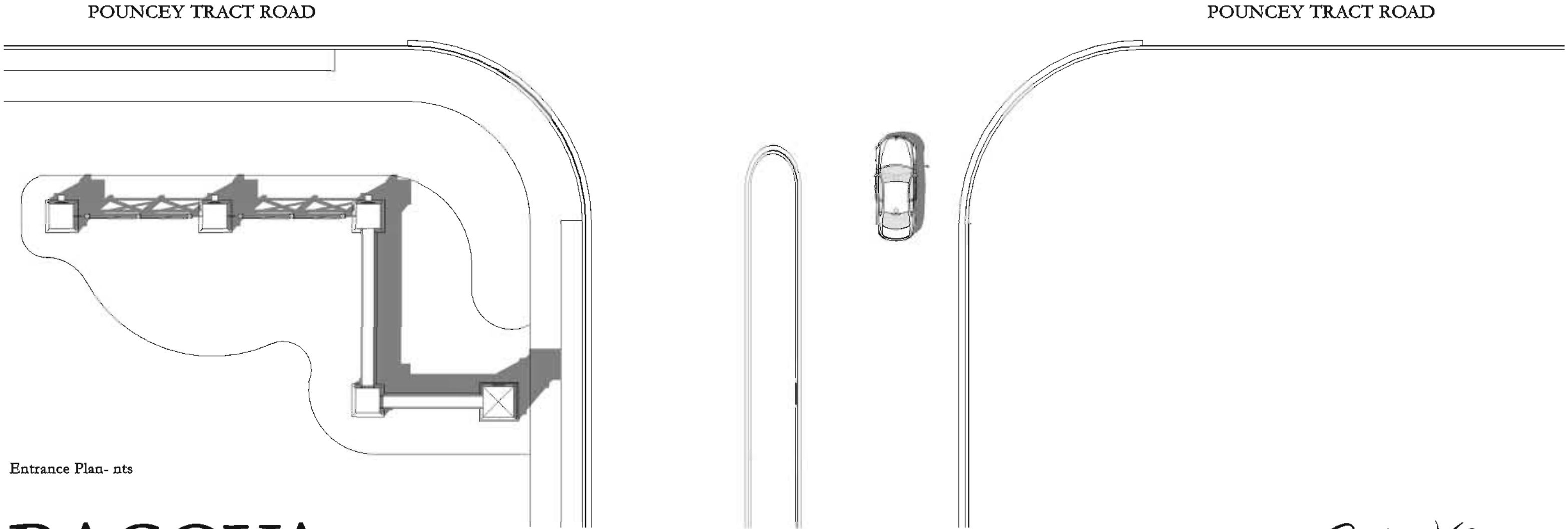
C-9C-11

111611

*West View*  
COMPANIES



Entrance Elevation- nts



Entrance Plan- nts

**BACOVA**  
ENTRANCE MONUMENT CONCEPT

111611 **EXHIBIT 5ii** **C-9C-11**

*West View*  
COMPANIES

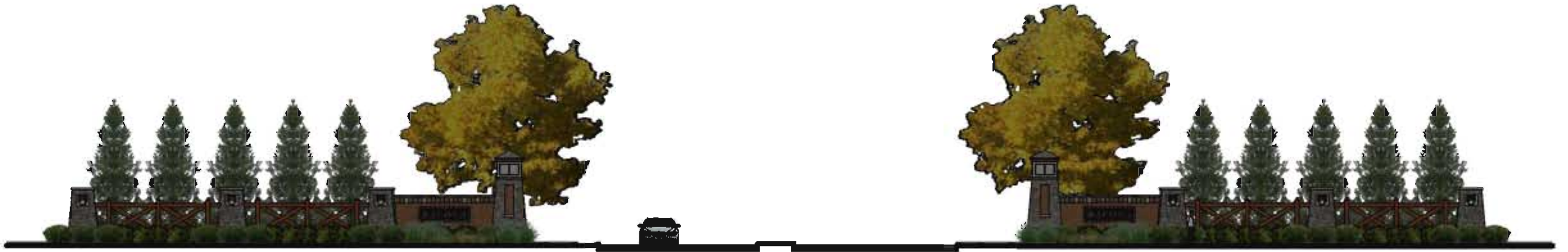




**BACOVA**  
ENTRANCE MONUMENT CONCEPT

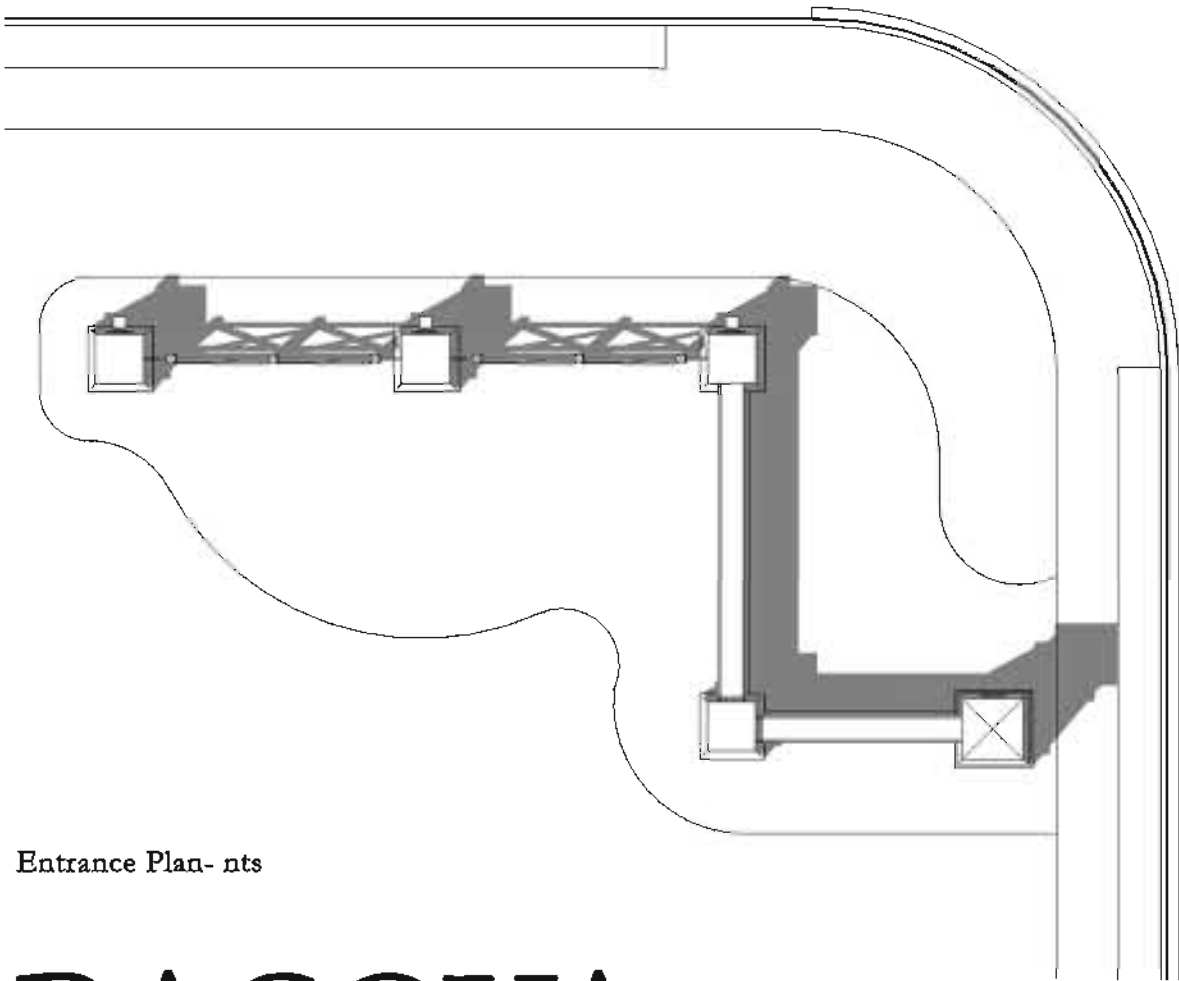
EXHIBIT 5iii  
C-9C-11

*WestView*  
COMPANIES



Entrance Elevation- nts

NORTH GAYTON ROAD



Entrance Plan- nts

**BACOVA**  
ENTRANCE MONUMENT CONCEPT

NORTH GAYTON ROAD

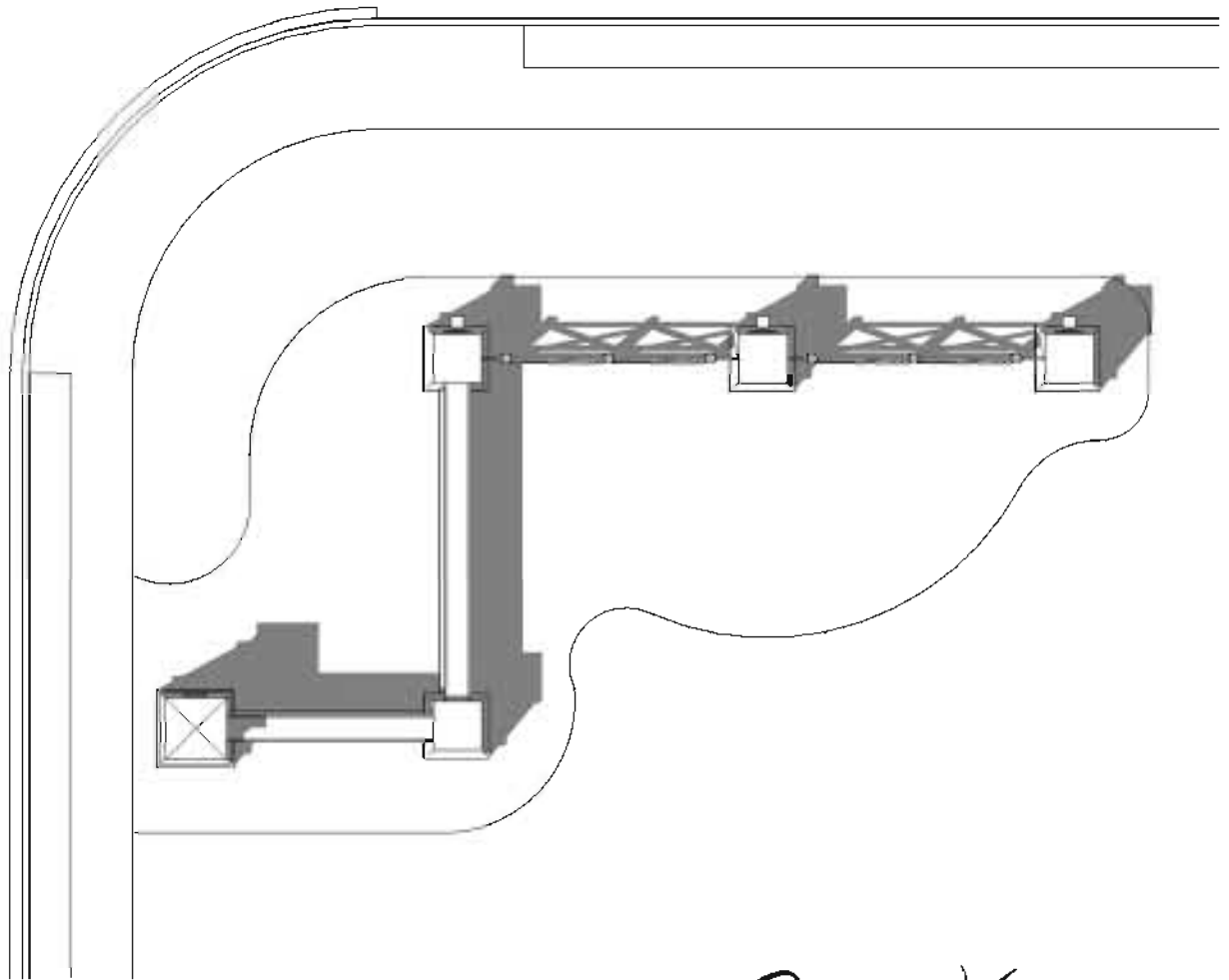


EXHIBIT 5iv

C-9C-11

111611

*West View*  
COMPANIES





**BACOVA**

ENTRANCE MONUMENT CONCEPT

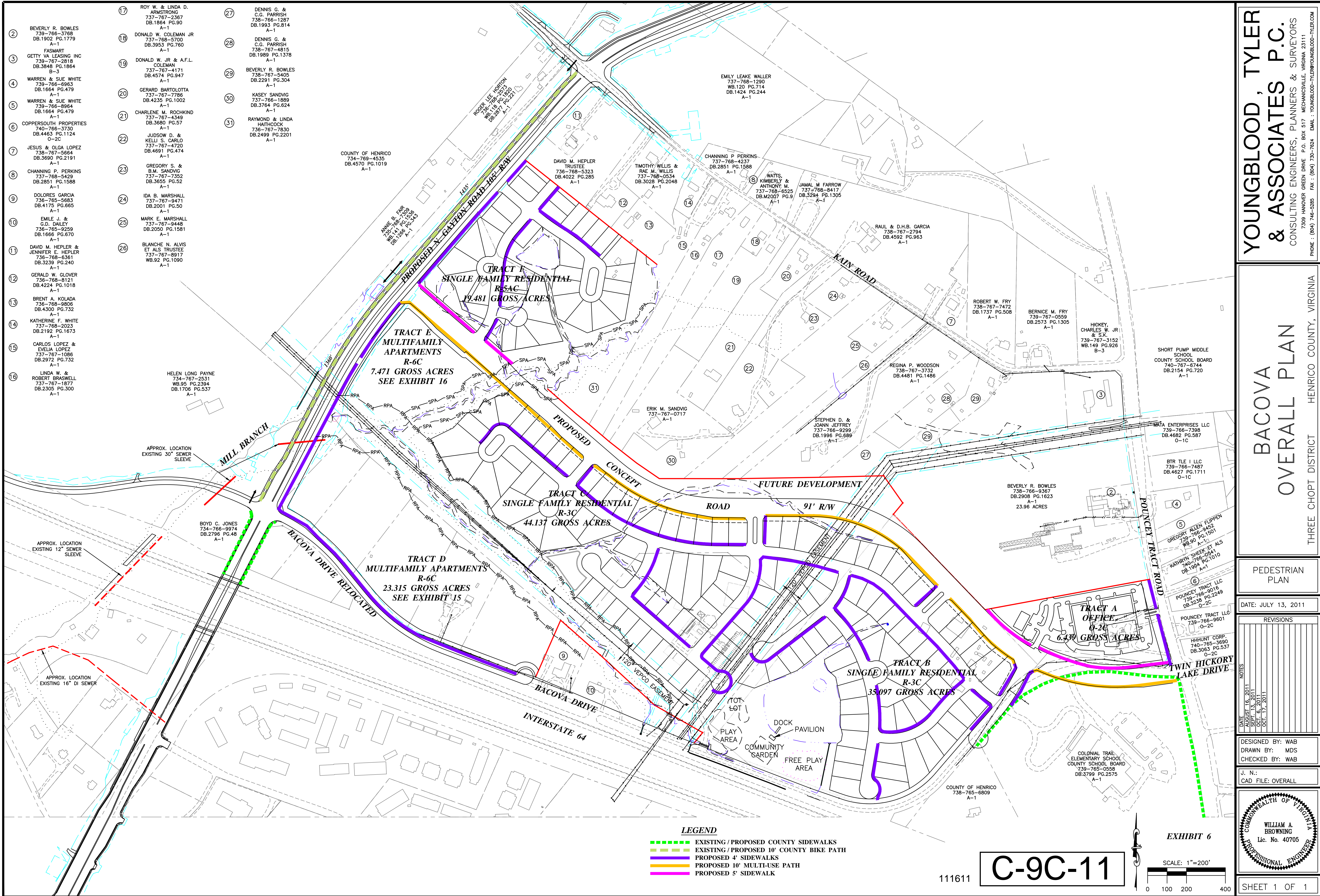
111611

EXHIBIT 5v

C-9C-11

*WestView*  
COMPANIES





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**BACOVA OVERALL PLAN**  
HENRICO COUNTY, VIRGINIA  
THREE CHOPT DISTRICT

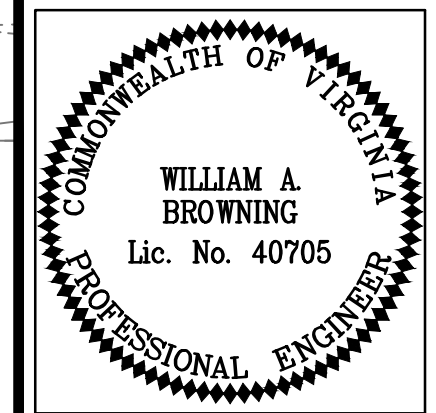
PEDESTRIAN PLAN

DATE: JULY 13, 2011

DATE	NOTES
AUGUST 16, 2011	
SEPT. 13, 2011	
OCT. 6, 2011	
OCT. 17, 2011	

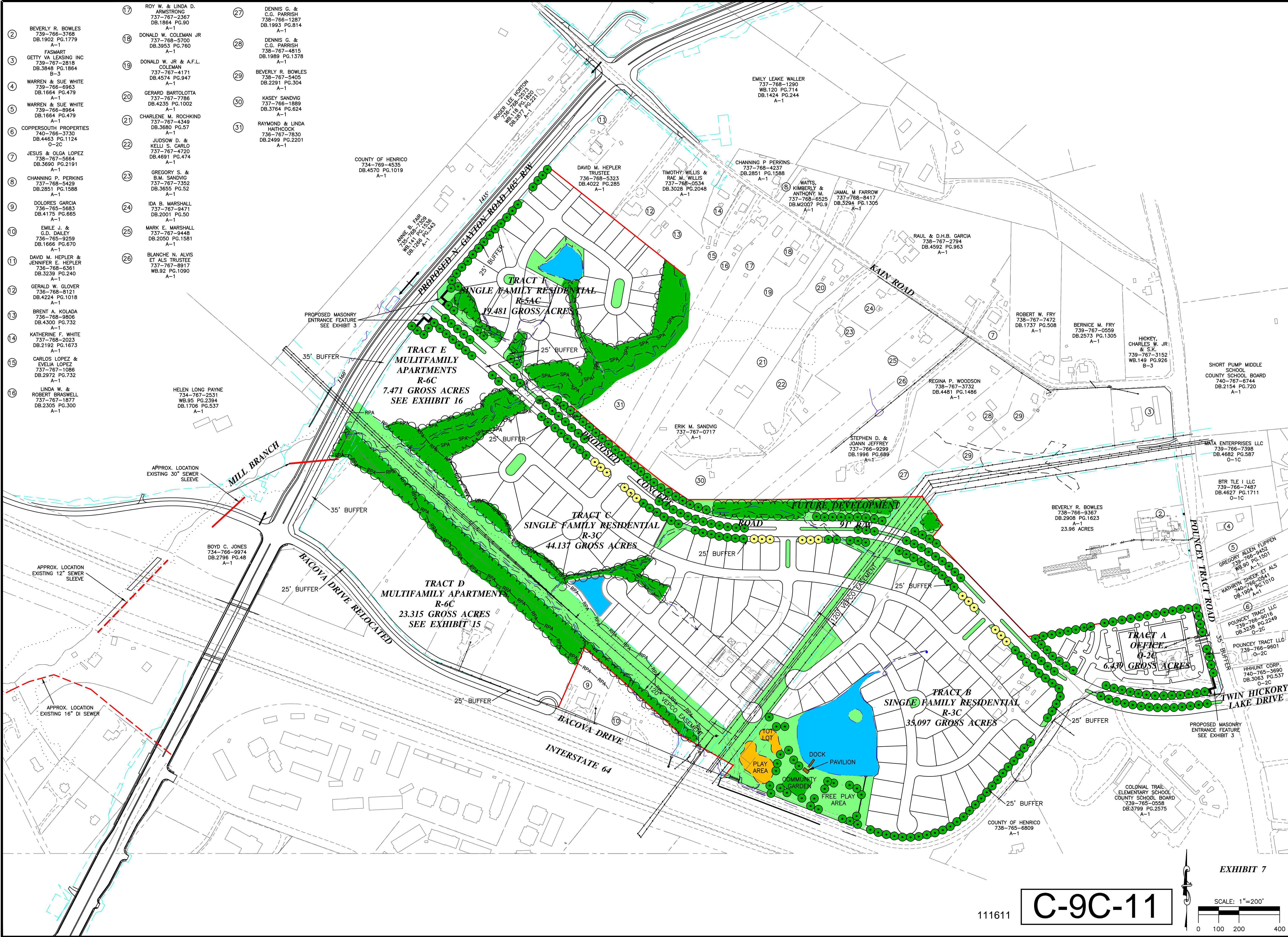
DESIGNED BY: WAB  
DRAWN BY: MDS  
CHECKED BY: WAB

J. N.:  
CAD FILE: OVERALL



SHEET 1 OF 1





- 2 BEVERLY R. BOWLES  
739-766-3750  
DB.1902 PG.1779  
A-1
- 3 GETTY VA. LEASING INC  
739-767-2818  
DB.3848 PG.1864  
B-3
- 4 WARREN & SUE WHITE  
739-766-6963  
DB.1664 PG.479  
A-1
- 5 WARREN & SUE WHITE  
739-766-6964  
DB.1664 PG.479  
A-1
- 6 COPPERSOUTH PROPERTIES  
740-766-3730  
DB.4463 PG.1124  
O-2C
- 7 JESUS & OLGA LOPEZ  
738-767-5664  
DB.3690 PG.2191  
A-1
- 8 CHANNING P. PERKINS  
737-768-5429  
DB.2851 PG.1588  
A-1
- 9 DOLORES GARCIA  
736-768-5683  
DB.4175 PG.665  
A-1
- 10 EMILE J. &  
G.D. DAILEY  
736-768-9259  
DB.1666 PG.670  
A-1
- 11 DAVID M. HEPLER  
& JENNIFER E. HEPLER  
736-768-6361  
DB.3239 PG.240  
A-1
- 12 GERALD W. GLOVER  
736-768-8121  
DB.4224 PG.1018  
A-1
- 13 BRENT A. KOLADA  
736-768-9806  
DB.4300 PG.732  
A-1
- 14 KATHERINE F. WHITE  
737-768-2023  
DB.2192 PG.1673  
A-1
- 15 CARLOS LOPEZ &  
EVELIA LOPEZ  
737-767-1086  
DB.2972 PG.732  
A-1
- 16 LINDA W. &  
ROBERT BRASWELL  
737-767-1877  
DB.2305 PG.300  
A-1

- 17 ROY W. & LINDA D.  
ARMSTRONG  
737-767-2367  
DB.1864 PG.90  
A-1
- 18 DONALD W. COLEMAN JR  
737-768-5700  
DB.3953 PG.760  
A-1
- 19 DONALD W. JR & A.F.L.  
COLEMAN  
737-767-4171  
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- 20 GERARD BARTOLOTTA  
737-767-7786  
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- 21 CHARLENE M. ROCHKIND  
737-767-4349  
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A-1
- 22 JUDSON D. &  
KELLI S. CARLO  
737-767-4720  
DB.4691 PG.474  
A-1
- 23 GREGORY S. &  
B.M. SANDVIG  
737-767-7352  
DB.3655 PG.52  
A-1
- 24 IDA B. MARSHALL  
737-767-9471  
DB.2001 PG.50  
A-1
- 25 MARK E. MARSHALL  
737-767-9448  
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- 26 BLANCHE N. ALVIS  
ET ALS TRUSTEE  
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WB.92 PG.1090  
A-1

- 27 DENNIS G. &  
C.G. PARRISH  
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A-1
- 28 DENNIS G. &  
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- 29 BEVERLY R. BOWLES  
738-767-5405  
DB.2291 PG.304  
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- 30 KASEY SANDVIG  
737-766-1889  
DB.3764 PG.624  
A-1
- 31 RAYMOND & LINDA  
HAITHCOCK  
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A-1

- 32 EMILY LEAKE WALLER  
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- 33 CHANNING P. PERKINS  
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- 34 WATTS,  
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ANTHONY M.  
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- 35 JAMAL M. FARROW  
737-768-8417  
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- 36 RAUL & D.H.B. GARCIA  
736-767-2794  
DB.4592 PG.963  
A-1
- 37 ROBERT W. FRY  
738-767-7472  
DB.1737 PG.508  
A-1
- 38 BERNICE M. FRY  
739-767-0559  
DB.2573 PG.1305  
A-1
- 39 HICKEY,  
CHARLES W. JR  
& S.K.  
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WB.149 PG.926  
B-3
- 40 SHORT PUMP MIDDLE  
COUNTY SCHOOL BOARD  
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O-1C
- 42 BTR TLE I LLC  
739-766-7487  
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O-1C
- 43 GREGORY ALLEN RUPPEN  
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- 44 KATHRYN SHEEK ET ALS  
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- 45 POUNCEY TRACT LLC  
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- 46 POUNCEY TRACT LLC  
739-766-9601  
O-2C
- 47 HHUNT CORP.  
740-765-3690  
DB.3063 PG.537  
O-2C
- 48 COLONIAL TRAIL  
ELEMENTARY SCHOOL  
COUNTY SCHOOL BOARD  
739-765-0558  
DB.3799 PG.2575  
A-1
- 49 COUNTY OF HENRICO  
738-765-6809  
A-1

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BACOVA  
OVERALL PLAN

THREE CHOPT DISTRICT HENRICO COUNTY, VIRGINIA

LANDSCAPE  
PLAN

DATE: AUGUST 16, 2011

REVISIONS

DATE: AUGUST 16, 2011  
DESIGNED BY: WAB  
DRAWN BY: MDS  
CHECKED BY: WAB

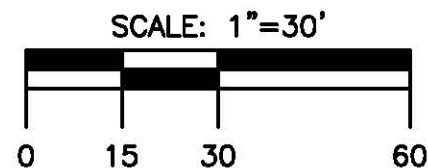
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CAD FILE: OVERALL

COMMONWEALTH OF VIRGINIA  
WILLIAM A. BROWNING  
Lic. No. 40705  
PROFESSIONAL ENGINEER

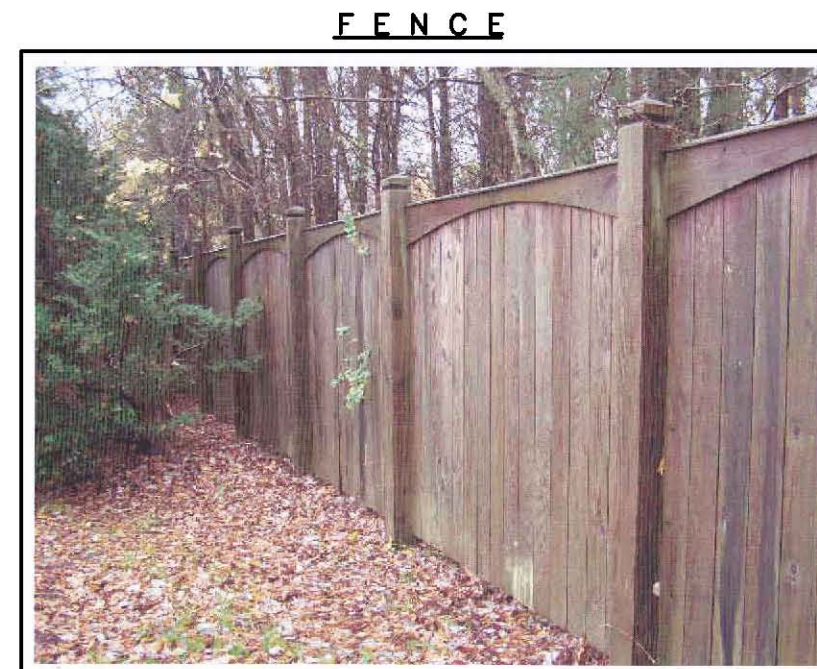
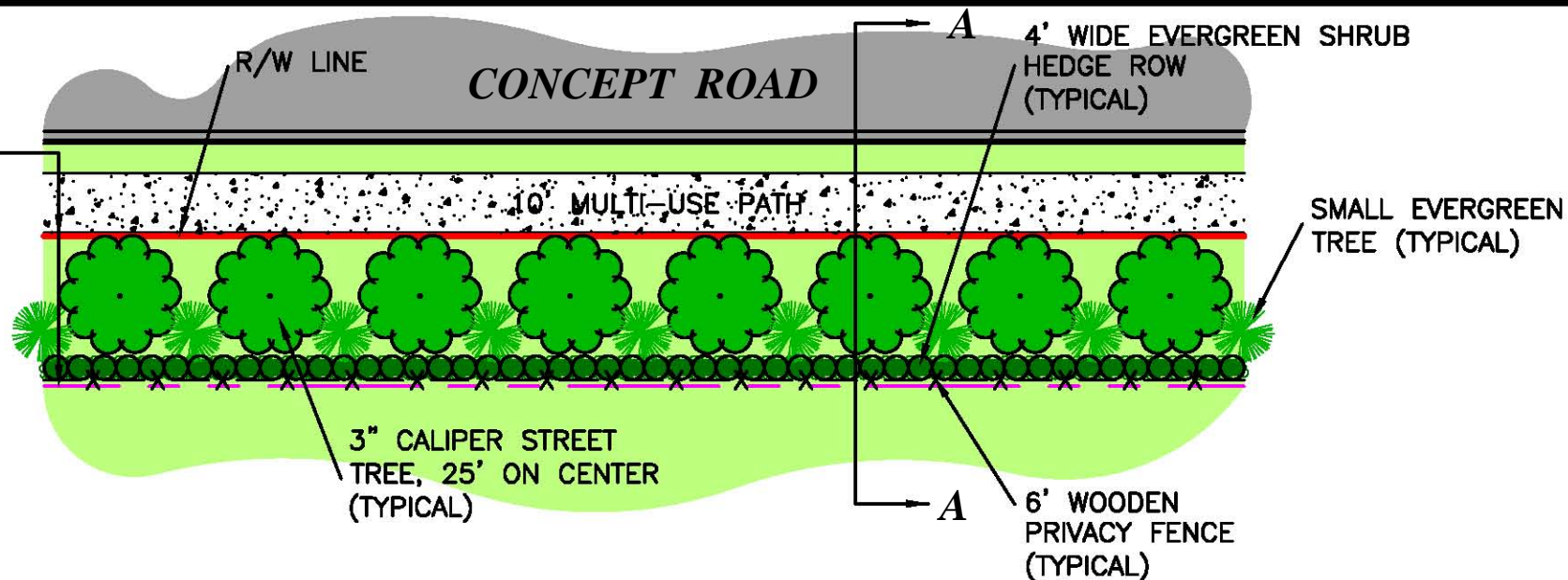
SHEET 1 OF 1



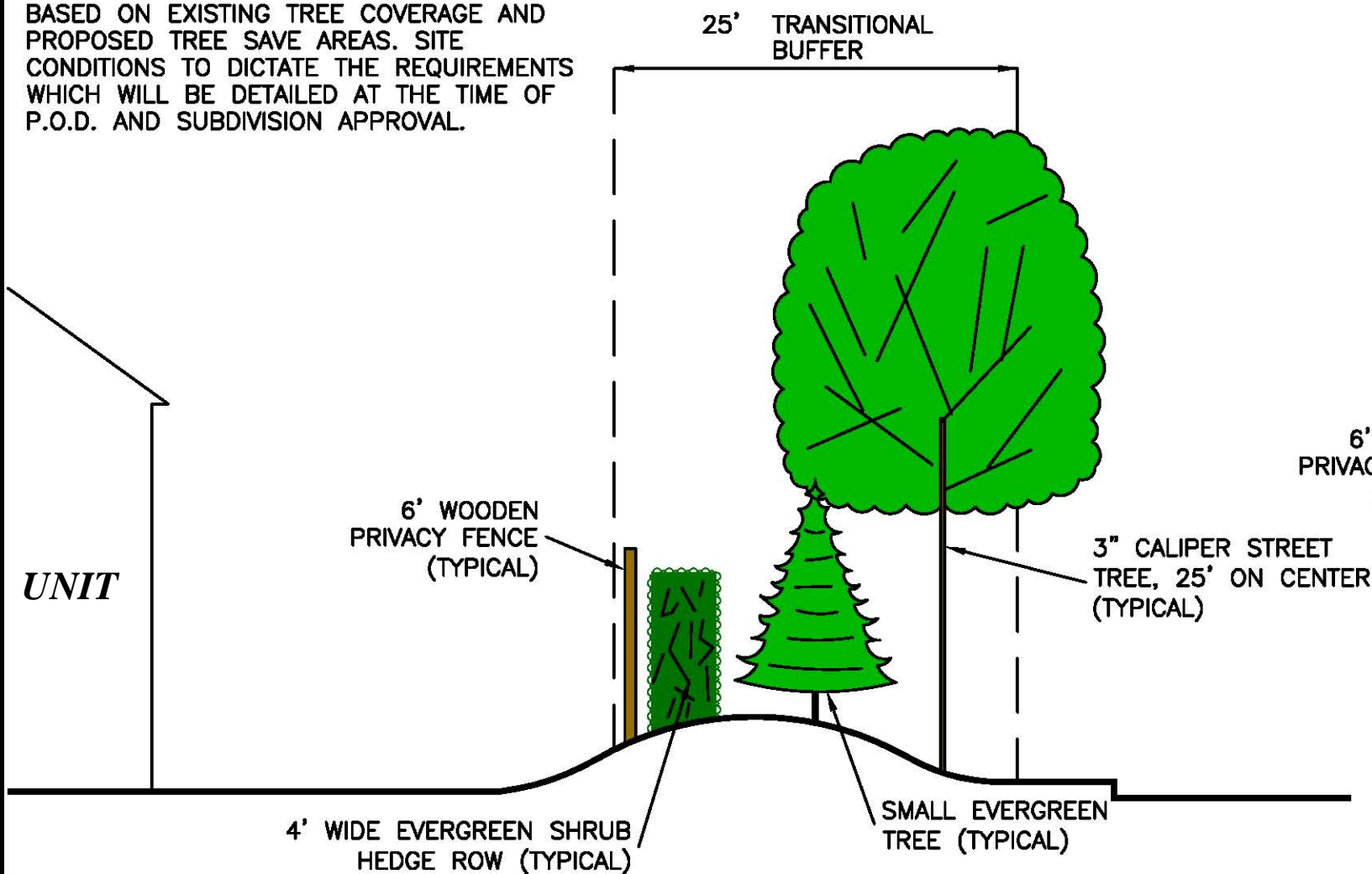
25' TRANSITIONAL BUFFER  
 REQUIREMENTS PER 100 L.F.  
 -4 LARGE DECIDUOUS OR  
 EVERGREEN TREES  
 -2 SMALL DECIDUOUS OR  
 EVERGREEN TREES  
 -16 SHRUBS



NOTE: PLANTING REQUIREMENTS TO VARY  
 BASED ON EXISTING TREE COVERAGE AND  
 PROPOSED TREE SAVE AREAS. SITE  
 CONDITIONS TO DICTATE THE REQUIREMENTS  
 WHICH WILL BE DETAILED AT THE TIME OF  
 P.O.D. AND SUBDIVISION APPROVAL.

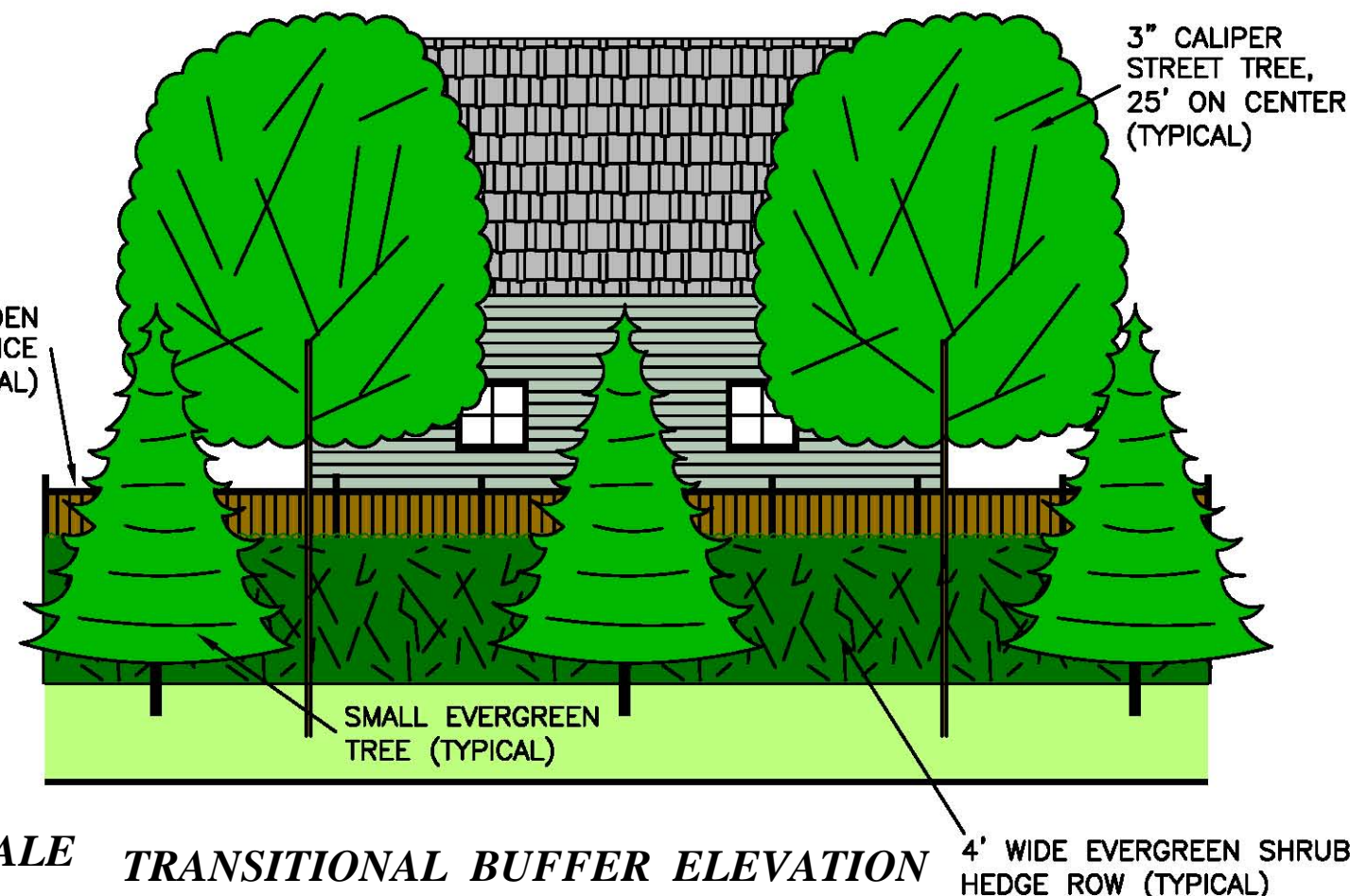


NOTES:  
 1. ALL WOOD TO BE TREATED PINE.  
 2. ALL FASTENERS TO BE GALVANIZED.  
 3. THE FENCE SHALL BE CONSTRUCTED WITH A "CAP RAIL" AND AN  
 ARCH PEDIMENT FEATURE AS SHOWN IN THE PICTURE ABOVE.



*A-A SECTION THROUGH BUFFER*

NOT TO SCALE



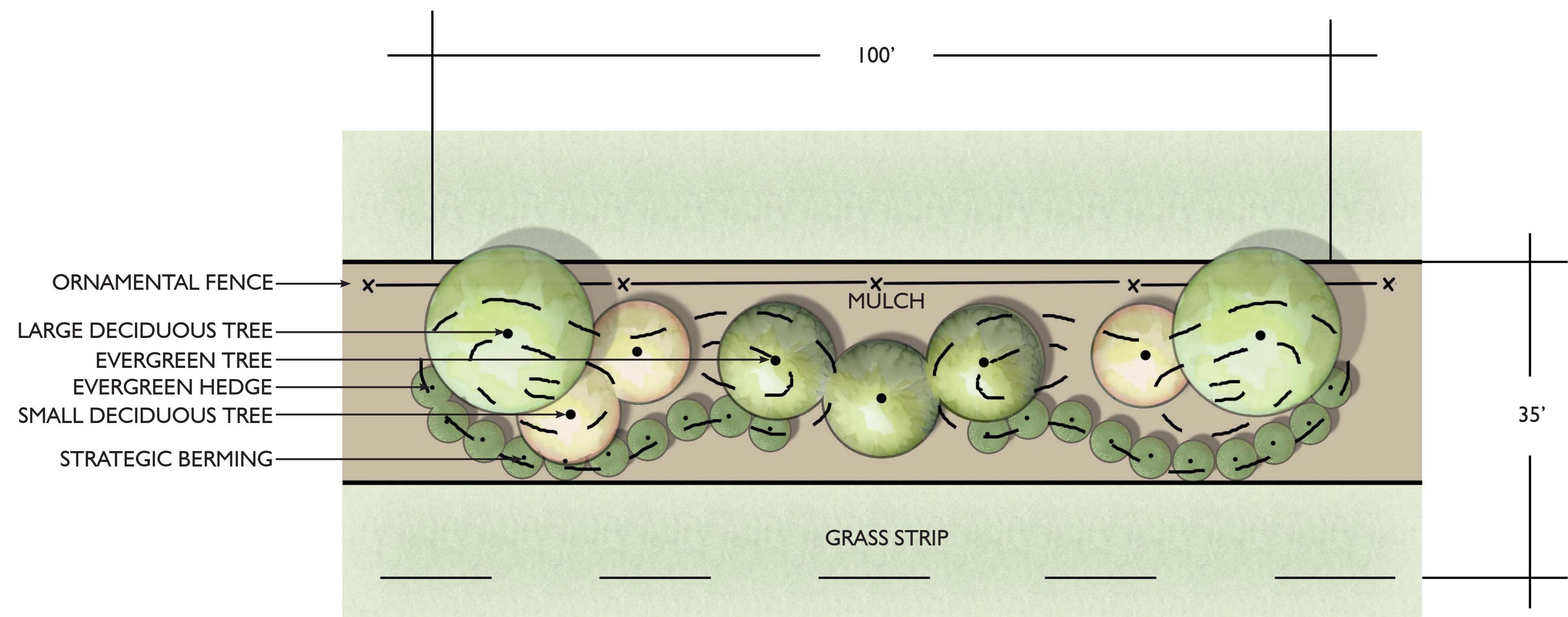
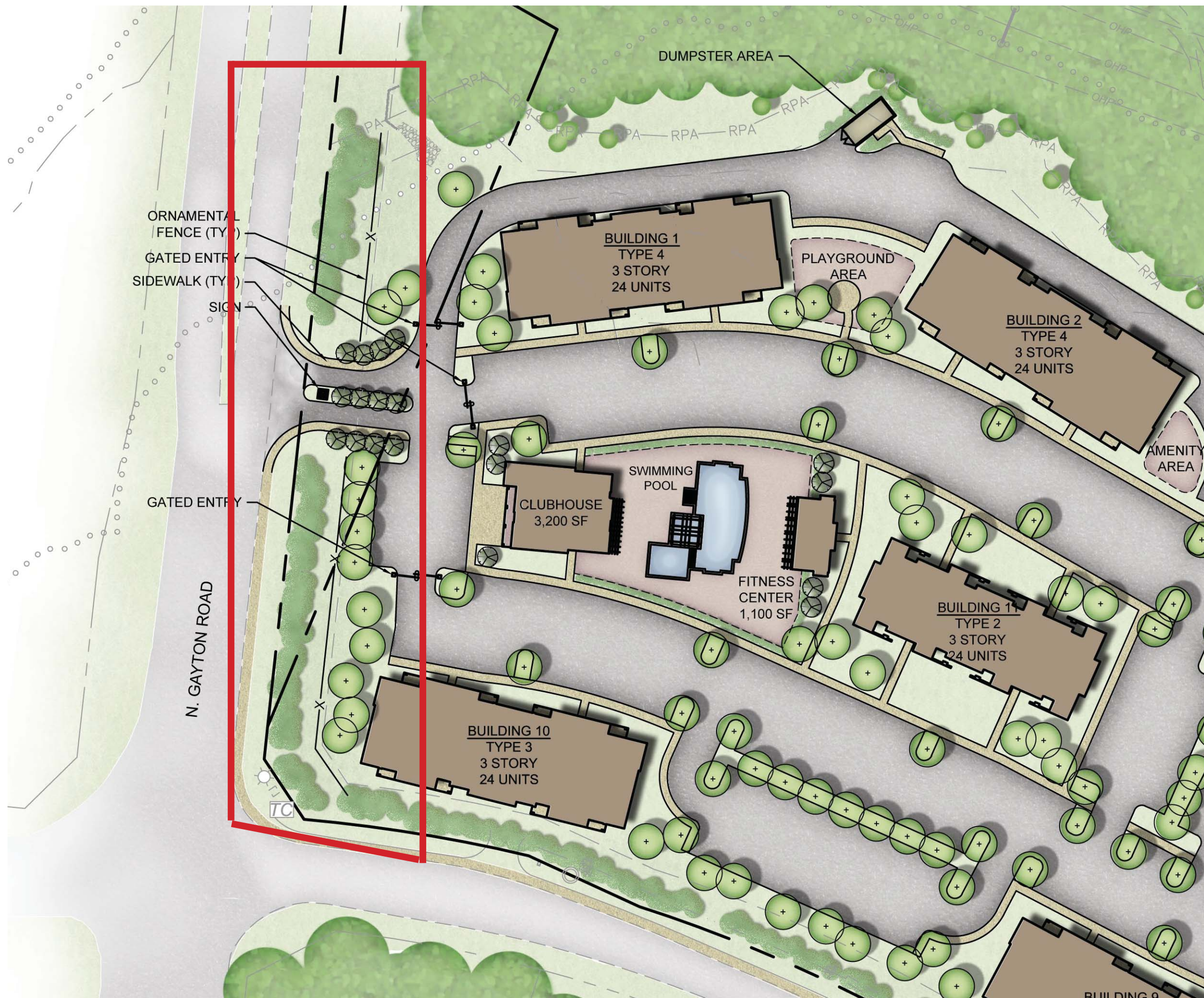
*TRANSITIONAL BUFFER ELEVATION*

# **CONCEPT ROAD 25' TRANSITIONAL BUFFER DETAILS**

C-9C-11  
 EXHIBIT 8  
 DEC. 8, 2011

YOUNGBLOOD, TYLER & ASSOCIATES, P.C.  
 CIVIL ENGINEERS, PLANNERS  
 & LAND SURVEYORS  
 7309 HANOVER GREEN DRIVE





SCALE 1"=10'  
0 10' 20'

35' TRANSITIONAL BUFFER REQUIREMENTS- PER 100'

- 5 LARGE TREES (EVERGREEN OR DECIDUOUS)
- 2.5 SMALL TREES
- 19 SHRUBS

NOTE: PLANT SPECIES SHALL BE SELECTED FROM  
HENRICO COUNTY PREFERRED PLANT LIST

# BACOVA APARTMENTS

35' Transitional Buffer Exhibit

October 26, 2011

EXHIBIT 9

C-9C-11

111611

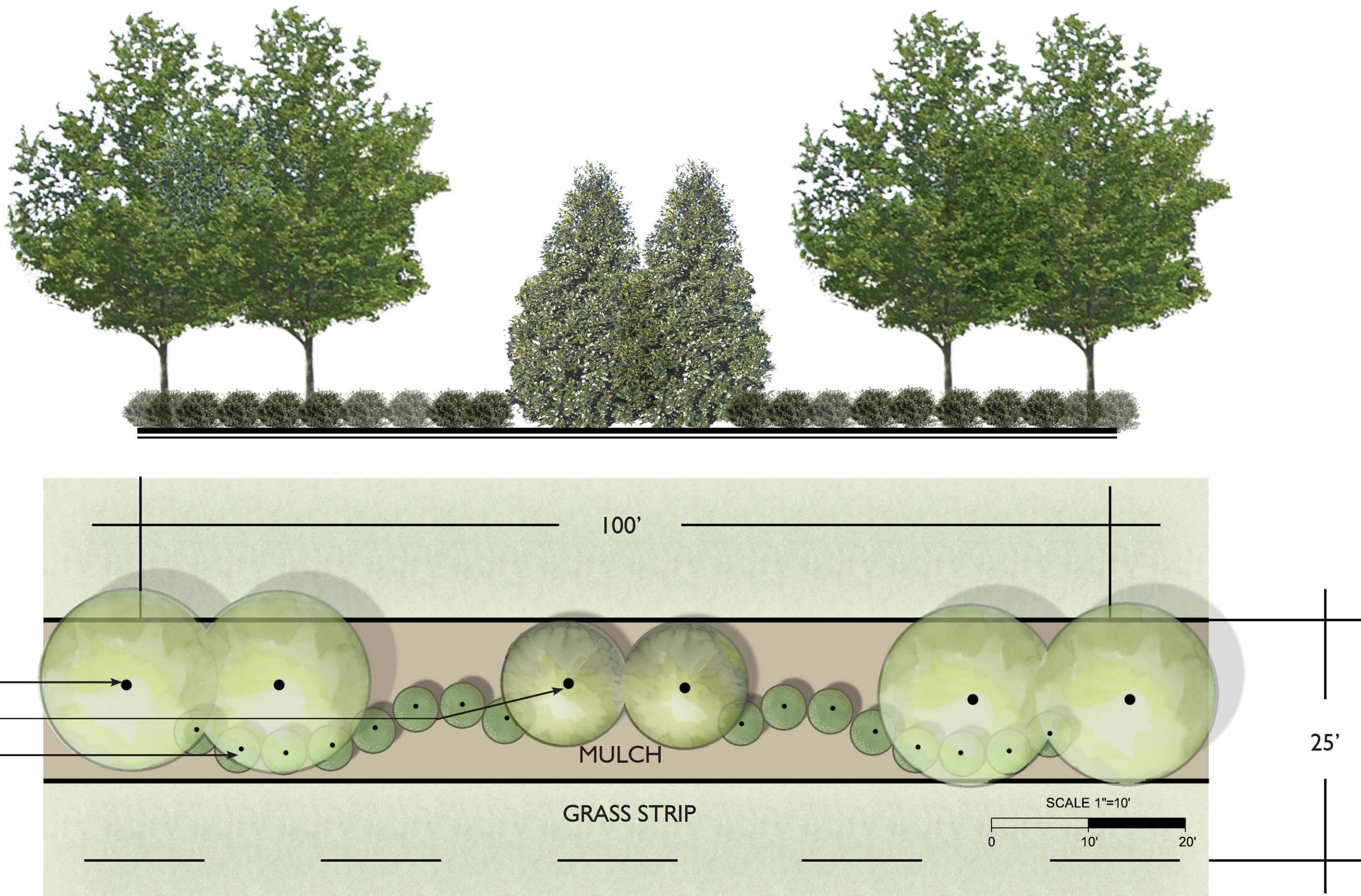


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LARGE DECIDUOUS TREE  
EVERGREEN TREE  
EVERGREEN HEDGE

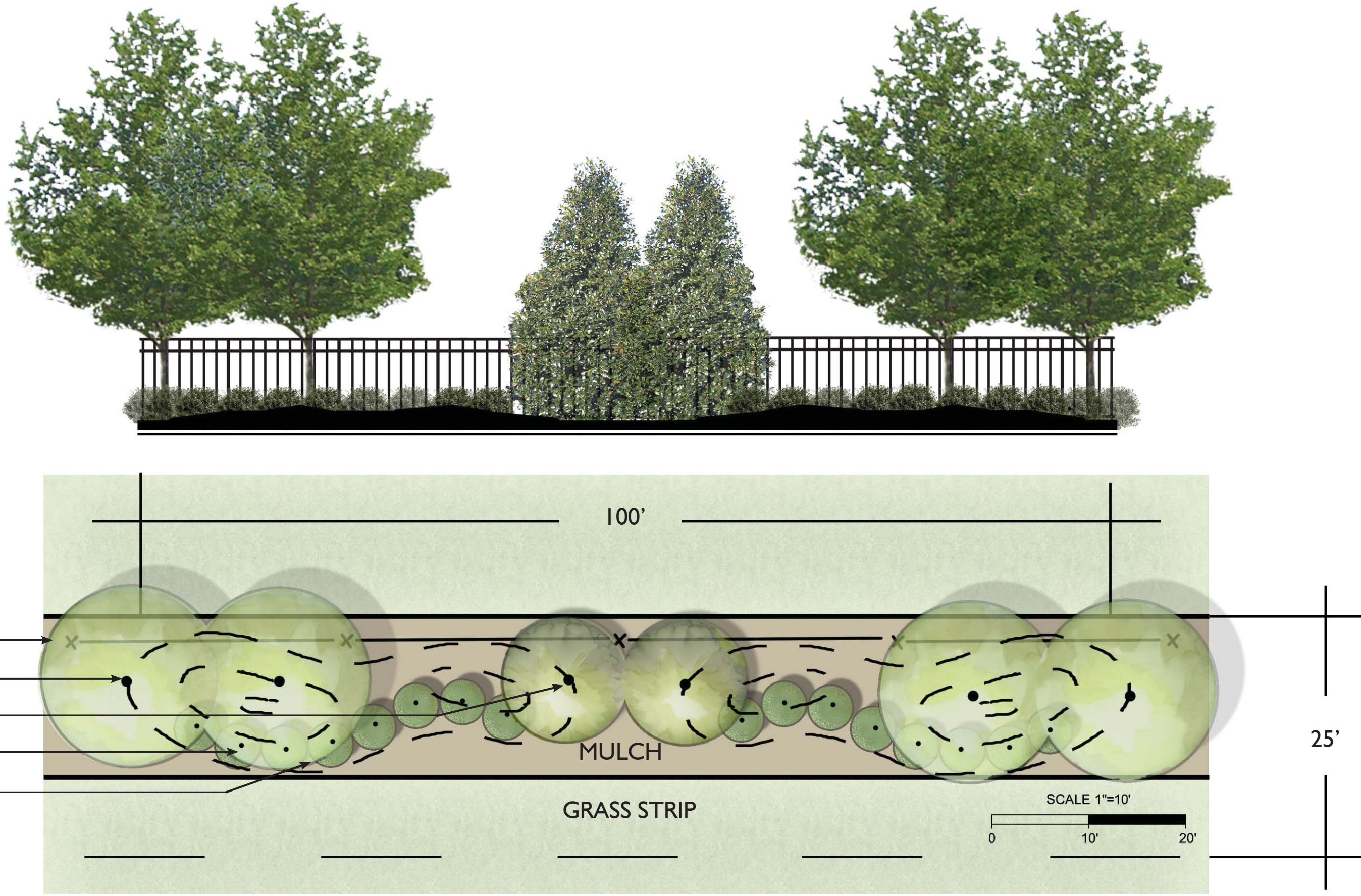


25' TRANSITIONAL BUFFER REQUIREMENTS- PER 100'

- 4 LARGE TREES (EVERGREEN OR DECIDUOUS)
- 2 SMALL EVERGREEN TREES
- 16 SHRUBS

NOTE: PLANT SPECIES SHALL BE SELECTED FROM  
HENRICO COUNTY PREFERRED PLANT LIST

ORNAMENTAL FENCE  
LARGE DECIDUOUS TREE  
EVERGREEN TREE  
EVERGREEN HEDGE  
STRATEGIC BERMING



# BACOVA APARTMENTS

25' Transitional Buffer Exhibit

October 26, 2011

EXHIBIT 10

C-9C-11

111611



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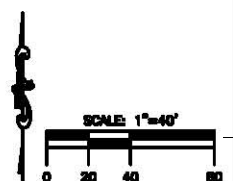




111611

C-9C-11

EXHIBIT 11



YOUNGBLOOD, TYLER  
& ASSOCIATES P.C.  
CONSULTING ENGINEERS, PLANNERS & SURVEYORS  
7200 HANOVER STREET SUITE 200 P.O. BOX 817 MECHANICSVILLE, VIRGINIA 23111  
PHONE : (804) 746-3888 FAX : (804) 728-2094 EMAIL : TYLER@YOUNGBLOOD-TYLER.COM

BACOVA  
TRACT A

THREE CHOPT DISTRICT HENRICO COUNTY, VIRGINIA

EXHIBIT
DATE: APRIL 14, 2011
REVISIONS
DESIGNED BY: WAB
DRAWN BY: MOS
CHECKED BY: WAB
A. R. L.
CAD FILE: OVERALL
SHEET 1 OF 1



# BACOVA OFFICES O-2 ZONING CHARACTER IMAGES







**YOUNGBLOOD, TYLER  
& ASSOCIATES P.C.**  
 CONSULTING ENGINEERS, PLANNERS & SURVEYORS  
 7300 HANOVER GREEN DRIVE P.O. BOX 817 MECHANICSVILLE, VIRGINIA 23111  
 PHONE : (804) 746-5285 FAX : (804) 730-7894 EMAIL : YOUNGBLOOD-TYLER@YOUNGBLOOD-TYLER.COM

**BACOVA  
TRACTS B & C**  
 THREE CHOPT DISTRICT HENRICO COUNTY, VIRGINIA

EXHIBIT

DATE: APRIL 14, 2011

NO.	DATE	REVISIONS
1	APRIL 14, 2011	DESIGNED BY: WAB
2	APRIL 14, 2011	DRAWN BY: MDS
3	APRIL 14, 2011	CHECKED BY: WAB
4	APRIL 14, 2011	
5	APRIL 14, 2011	
6	APRIL 14, 2011	
7	APRIL 14, 2011	
8	APRIL 14, 2011	
9	APRIL 14, 2011	
10	APRIL 14, 2011	

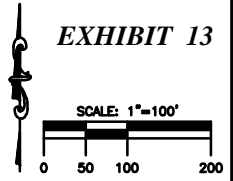
DESIGNED BY: WAB  
 DRAWN BY: MDS  
 CHECKED BY: WAB

J. N.:  
 CAD FILE: OVERALL



SHEET 1 OF 1

**C-9C-11**



111611

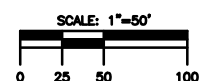




111611

**C-9C-11**

**EXHIBIT 14**



**YOUNGBLOOD, TYLER**  
**& ASSOCIATES P.C.**  
 CONSULTING ENGINEERS, PLANNERS & SURVEYORS  
 7309 HANOVER GREEN DRIVE P.O. BOX 517 MECHANICSVILLE, VIRGINIA 23111  
 PHONE : (804) 744-0285 FAX : (804) 730-7824 EMAIL : YOUNGBLOOD-TYLER@YOUNGBLOOD-TYLER.COM

**BACOVA**  
**TRACT F**

THREE CHOPT DISTRICT HENRICO COUNTY, VIRGINIA

**EXHIBIT**

DATE: APRIL 14, 2011

DATE	BY	REVISIONS
APR 14, 2011	WAB	DESIGNED
APR 14, 2011	MDS	DRAWN
APR 14, 2011	WAB	CHECKED
APR 14, 2011	WAB	OVERALL

DESIGNED BY: WAB  
 DRAWN BY: MDS  
 CHECKED BY: WAB

J. N.:  
 CAD FILE: OVERALL



**SHEET 1 OF 1**



# BACOVA SINGLE FAMILY RESIDENTIAL R-3 ZONING CHARACTER IMAGES





# BACOVA SINGLE FAMILY RESIDENTIAL R-5A ZONING CHARACTER IMAGES



EXHIBIT 16

111611

C-9C-11



**SUMMARY**  
 UNITS PROPOSED: 324  
 PARKING PROVIDED: 652 SPACES ( 2 / UNIT)  
 GARAGES: 48 (NOT INCLUDED IN THE 652)



# BACOVA APARTMENTS

Tract D Rendering

October 26, 2011

SCALE 1"=60'  
 0 60' 120'



EXHIBIT 17

C-9C-11

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SUMMARY	
UNITS PROPOSED:	96
PARKING PROVIDED:	192 SPACES (2 / UNIT)
GARAGES:	33



BACOVA APARTMENTS

Tract E Rendering

October 26, 2011

SCALE 1"=40'

0 40' 80'

111611

EXHIBIT 18

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CLUB ELEVATION

EXHIBIT 19

C-9C-11

111611



TYPICAL REAR ELEVATION

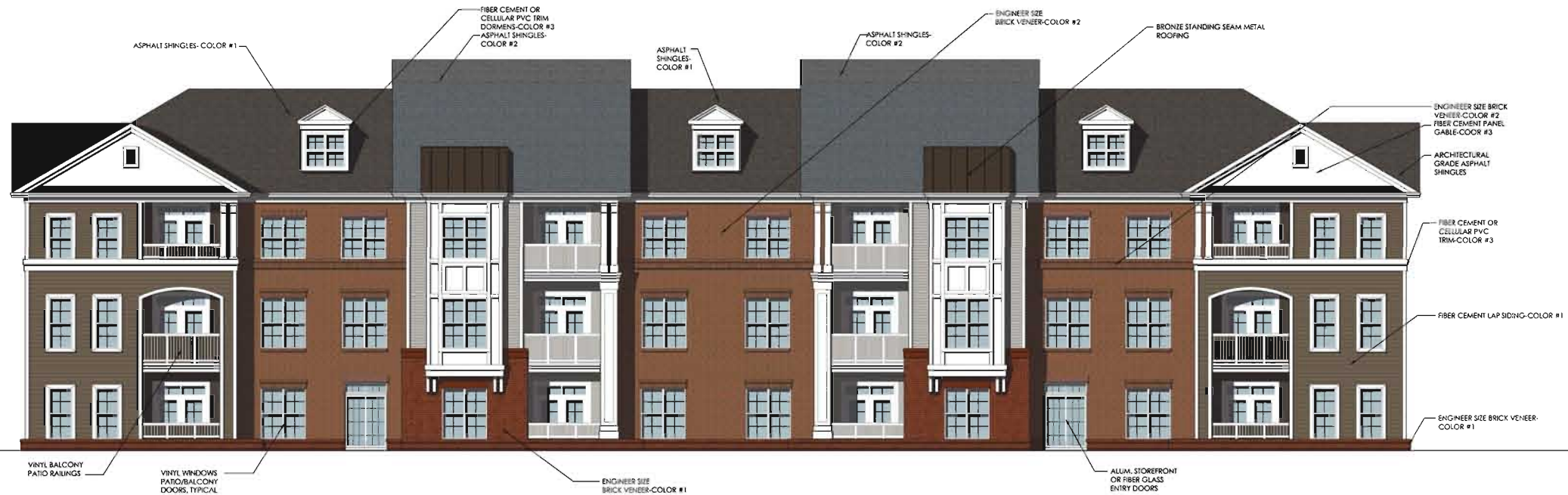
EXHIBIT 20i

C-9C-11





INTERSTATE 64 ELEVATION



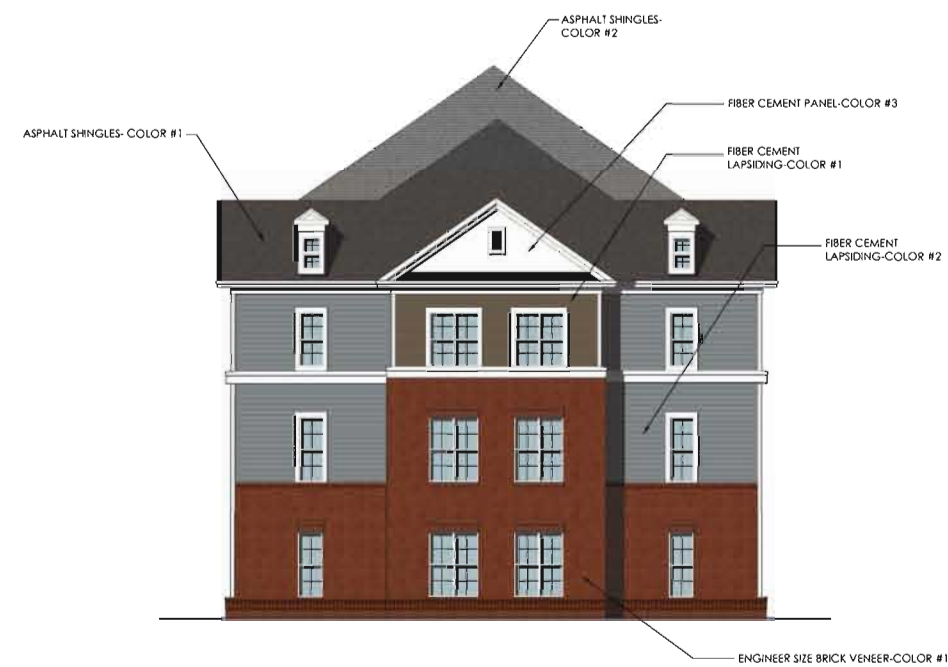
TYPICAL FRONT ELEVATION

EXHIBIT 20ii

C-9C-11

111611





TYPICAL SIDE ELEVATION

EXHIBIT 20iii

C-9C-11

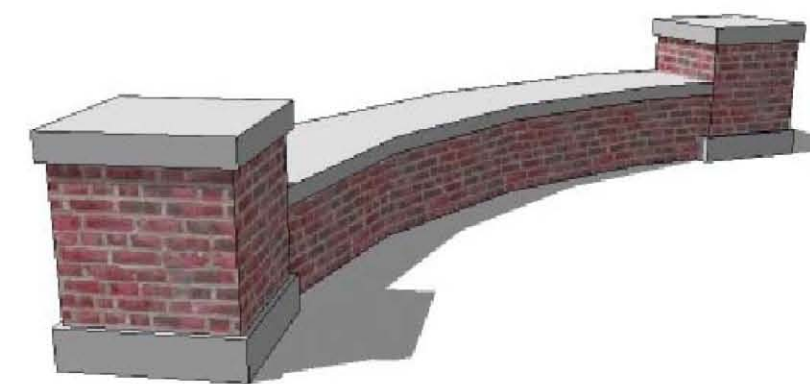
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REAR ELEVATION WITH GARAGES

BACOVA APARTMENTS  
HENRICO, VA  
SCHEMATIC ELEVATION  
1 - SEPTEMBER 2011





# BACOVA APARTMENTS

Amenities

October 26, 2011

EXHIBIT 21

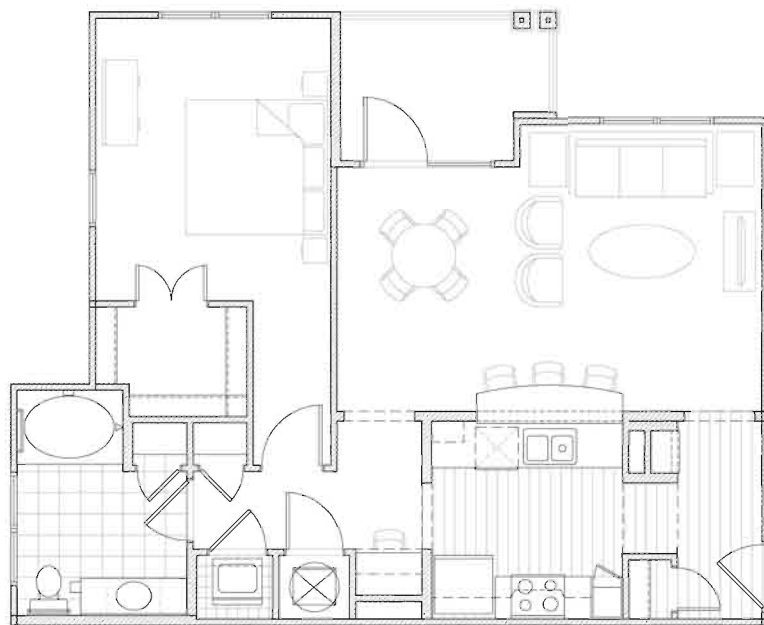
C-9C-11

111611

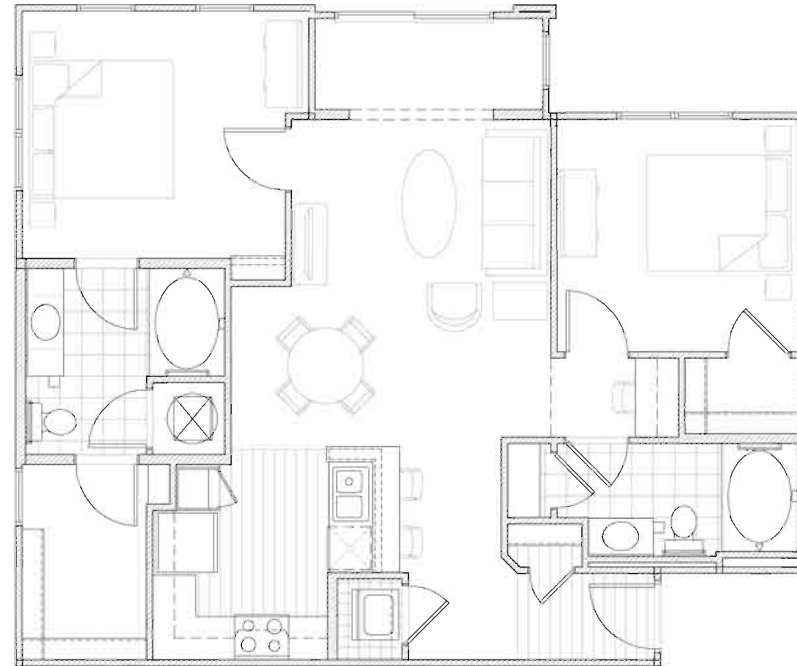
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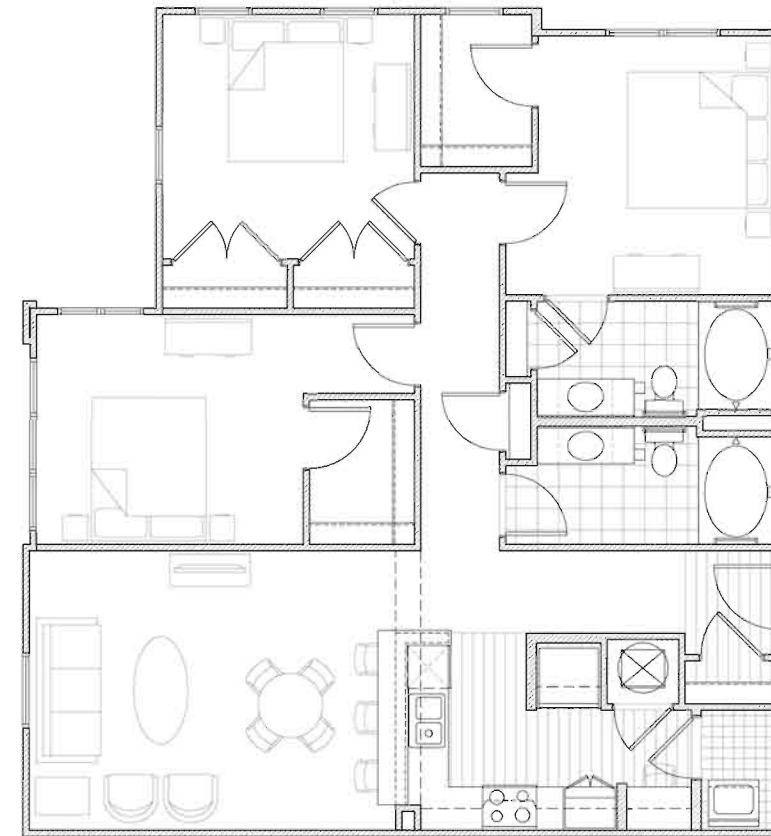




**TYPE: 1 BED 820 SF+/- APPROX 34%**



**TYPE: 2 BED 920 SF+/- APPROX 50%**



**TYPE: 3 BED 1137 SF+/- APPROX 16%**

EXHIBIT 22

C-9C-11

111611