

REZ2013-00007

Zoning

Single-Family Residential

Brookland District

400

Feet

PS March 2013

Ref: 755-769-7664



COMMONWEALTH OF VIRGINIA
COUNTY OF HENRICO

John A. Vithoulkas
County Manager

July 16, 2013

Mr. Harry Snipes
11533 Nuckols Road
Glen Allen, VA 23059

Re: Rezoning Case REZ2013-00007

Dear Mr. Snipes:

The Board of Supervisors, at its meeting on July 9, 2013, approved your request to conditionally rezone from A-1 Agricultural District to R-3C One-Family Residence District (Conditional) on part of Parcels 755-769-7664 and 755-769-3074 containing 11.16 acres located between the west line of Springfield Road at its intersection with Jacobs Creek Drive and the eastern terminus of Kimbermere Court, described as follows:

Beginning at a point western line of Springfield road 531'± south of southern right-of-way line of Wintercreek Drive extended; thence along the western right-of-way line of Springfield Road S 36°36'45" W 39.86' to a point; thence in a curve to the left having a radius of 3885.39', an arc length of 160.08', a delta of 02°21'38", a tangent of 80.05', a chord length of 160.07 and a chord bearing of S 35°25'56" W to a point; thence departing said western right-of-way line of Springfield Road, N 55°34'09" W 628.18' to a point; thence N 57°29'43" W 575.65' to a point; thence N 36°36'45" E 600.37' to a point; thence S 56°30'15" E 799.78' to a point; thence S 36°36'45" W 400.59' to a point; thence S 56°30'15" E 400.59' to a point on the western right-of-way line of Springfield Road, said point being the point and place of beginning and containing 11.16 acres.

The Board of Supervisors accepted the following proffered conditions, dated June 26, 2013, which further regulate the above described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

1. **Density.** There shall be no more than 16 units.
2. **Minimum House Size.** Homes shall have a minimum of 2,400 square feet of finished floor area.
3. **Exterior Building Materials.** All new houses shall be constructed with brick, stone, cultured stone, vinyl, cementitious siding (e.g Hardiplank, or an equivalent) or a combination of the foregoing. Fiberboard shall not be used as an exterior wall material. Where vinyl is used, the vinyl siding shall have a minimum normal thickness of 0.044 inches. Twenty-five (25) percent of the single family homes, in the aggregate, shall have a minimum of twenty-five (25) percent of the front exterior

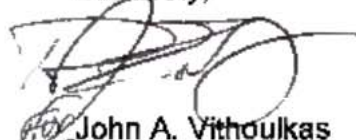
wall surfaces constructed of brick or stone, excluding windows, doors, breezeways and architectural design features. Upon the request of the County, the applicant or its successor as to the property shall provide the County with the necessary calculations that illustrate the compliance with the allowable and required percentages detailed in this Proffer. Shingles shall be a minimum thirty (30) year dimensional quality. Homes with the same elevations side by side shall not be permitted. On corner lots where the side elevation is visible from the street, the side elevation facing the street shall have a minimum of two windows.

4. **Foundations and Chimneys.** All new houses shall be constructed on crawl space foundations, except for garages and basements. The exterior portion of all residential dwelling foundations below the first floor level which are visible above grade shall be brick or stone. Any dwellings with a fireplace other than direct vent gas fireplaces or appliances shall have masonry chimneys faced with brick or stone similar to the foundation.
5. **Irrigation.** Front and side yards shall be sodded and irrigated.
6. **Steps, Stoops, and Decks.** Steps to the main entrance of homes, except for homes with country front porches, shall be faced with brick or stone or a cementitious, mortared stone-appearing product. Front stoops, except for homes with country front porches, shall be brick or stone or a cementitious, mortared stone-appearing product with finished concrete or exposed aggregate landing. For any country front porch with piers, those piers shall be of brick, stone or cultured stone to match the foundation. The space beneath any structure constructed on piers higher than two (2) feet above grade but less than one story above grade shall be enclosed with lattice or other screening material of comparable quality, including but limited to landscaping.
7. **Underground Utilities.** All proposed utilities except for junction boxes, meters, pedestals, transformers, transmission mains and existing overhead utility lines shall be placed underground, unless technical or environmental reasons require otherwise.
8. **Garages.** Each residential unit on the Property shall be constructed with at least a two (2) car garage. Each garage shall have a minimum interior dimension clear space at the time of construction of eighteen (18) feet deep by twenty (20) feet wide and a separate pedestrian door to the exterior. Attached garages shall be integrated into the overall design and massing of the house. Windows shall be offered as an option for garage doors. All garage doors shall have, at a minimum, one architectural detail, including, but not limited to windows, carriage door handles, exposed hinges and accent columns. Seventy-five (75) percent of the units shall have side or rear loaded garages.
9. **Cantilevering.** There shall be no cantilevered treatment of any architectural features on the first floor. On the second floor only bay windows may be cantilevered.
10. **Access Limitation.** There shall be no driveway access to or from Springfield Road, for individual lots on the Property.

11. **Buffer Area.** For lots with side yards adjacent to the Springfield Road, a ten (10) foot buffer area will be provided in addition to the applicable setback requirement along with the Springfield frontage on the Property. The buffer area will be used as a planting area or left in a natural state, and may contain utility easements.
12. **Construction Hours.** The hours of exterior construction including operation of bulldozers and earth moving equipment shall be between 7:00 a.m. and 7:00 p.m. Monday through Friday and 9:00 a.m. and 6:00 p.m. Saturday, except in emergencies or where unusual circumstances require extending the specific hours in order to complete work such as concrete pours or utility connectors. The developer shall post signs at all entrances to the property during construction, in both English and Spanish, stating the above.
13. **Clearing Limitation.** The clearing of trees shall be limited to that necessary for dwellings, road improvements, driveways, signage, customary accessory uses and wetland mitigation areas or when necessary for common areas.
14. **Community Layout & Connections.** The layout shall be substantially similar in nature to Exhibit B (see case file).
15. **Fences.** Chain link, barbed wire, fences with metal posts, stockade fences, and post and wire fences are prohibited.
16. **Association.** There shall be a Homeowners Association of the owners of the homes that shall be responsible for the enforcement of the restrictive covenants, including but not limited to, the maintenance of common areas and tree save areas and architectural control.
17. **Driveways.** Where driveways exist, all shall be constructed of either cobblestone, brick, asphalt, pre-cast pavers, concrete or other similar materials.
18. **Signage.** The entrance sign and landscaping shall be constructed substantially similar to Exhibit C (see case file) and shall include brick, brick veneer, stone, synthetic stone or similar masonry material with wrought iron accents.

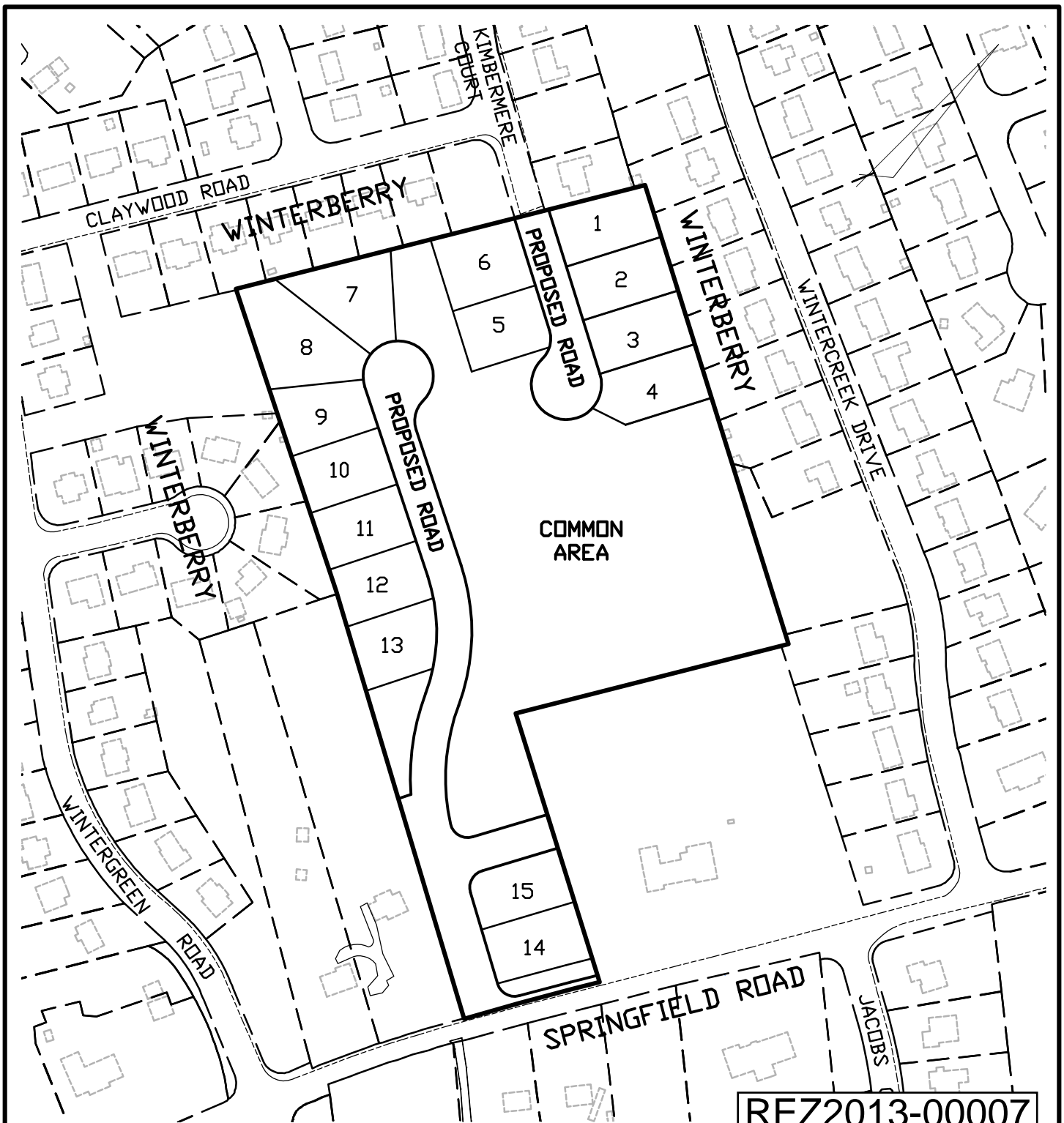
The Planning Department has been advised of the action of the Board of Supervisors and will revise its records and place a copy of the accepted proffered conditions in the Conditional Zoning Index.

Sincerely,



John A. Vithoulkas
County Manager

pc: Horace H. & Blanche H. Lewis
Tiffany S. Hinton, Ph.D., Dir. Research and Planning - Schools
Director, Real Estate Assessment
Conditional Zoning Index



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REZ2013-00007

EXHIBIT B

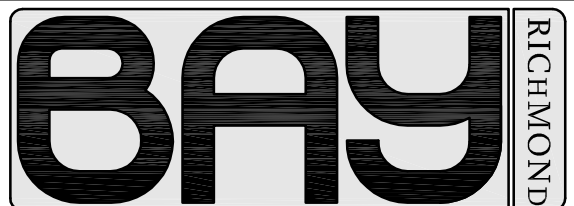
**Exhibit Plan of
Springfield Road Property**

Three Chopt District
Henrico County, Virginia

Scale: 1"= 200'
Date: March 14, 2013

8500 BELL CREEK ROAD
MECHANICSVILLE, VA 23116
(804) 569-7060
FAX: (804) 569-7061

**Consulting
Engineers**



THE BAY COMPANIES

JN: 12062

FILED: 12062_gis



EXHIBIT C

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