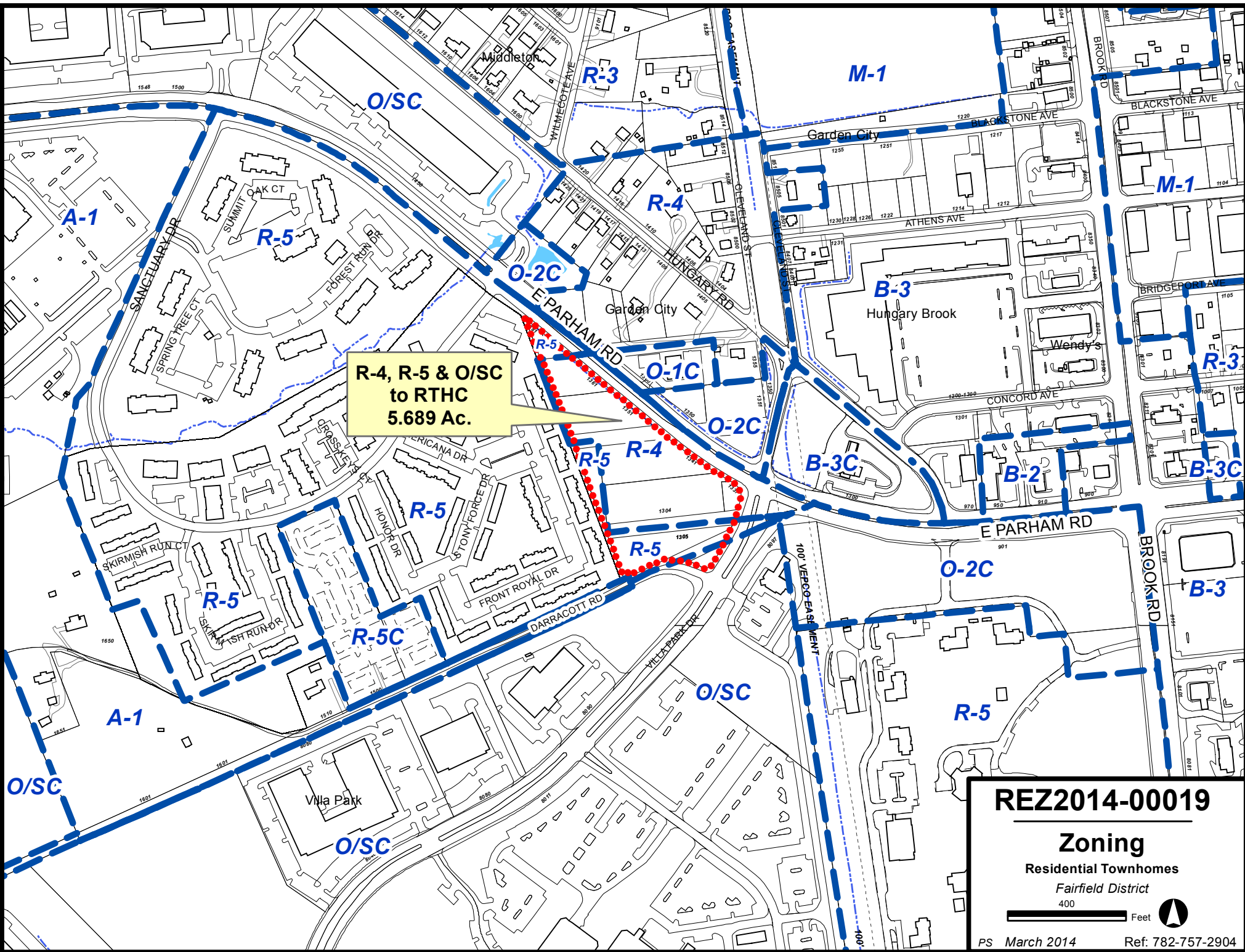


R-4, R-5 & O/SC
to RTHC
5.689 Ac.

REZ2014-00019
Zoning
Residential Townhomes
Fairfield District
400
PS March 2014 Ref: 782-757-2904





COMMONWEALTH OF VIRGINIA
COUNTY OF HENRICO

John A. Vithoulkas
County Manager

August 19, 2014

Romm Development Company, LLC
11357 Nuckols Road, Suite 175
Glen Allen, VA 23059

Re: Rezoning Case REZ2014-00019

Dear Sirs:

The Board of Supervisors, at its meeting on August 12, 2014, approved your request to conditionally rezone from R-4 One-Family Residence District, R-5 General Residence District and O/SC Office/Service (Conditional) to RTHC Residential Townhouse District (Conditional) Parcels 782-757-2904, 782-756-3992, -4880, -6562, -6951, -9451, -6636, -4861, and part of Parcel 782-757-3717 containing 5.689 acres, located on the southwest line of E. Parham Road at its intersection with Villa Park Drive, described as follows:

BEGINNING at a point located on the west right-of-way line of Villa Park Drive 39.80 feet south of the right-of-way line of Parham Road extended, in the County of Henrico, Virginia; thence S 15°47'45" W 51.99 feet to a point located on the west line of Villa Park Drive; thence along a curve to the right, said curve having a radius of 559.00 feet and an arc length of 139.40 feet to a point located on the west line of Villa Park Drive; thence S 31°54'24" W 44.92 feet to a point located on the west line of Villa Park Drive; thence along a curve to the right, said curve having a radius of 25.00 feet and an arc length of 39.27 feet to a point; thence along a curve to the left, said curve having a radius of 186.92 feet and an arc length of 108.46 feet to a point; thence S 64°25'16" W 176.21 feet to a point; thence N 21°12'14" W 942.01 feet to a point located on the south line of Parham Road; thence S 50°32'28" E 360.08 feet to a point; thence S 06°42'14" E 15.36 feet to a point; thence N 83°17'46" E 14.75 feet to a point located on the south line of Parham Road; thence S 50°32'28" E 240.87 feet to a point located on the south line of Parham Road; thence along a curve to the left, said curve having a radius of 1482.40 feet and an arc length of 276.87 feet to a point located on the south line of Parham Road; thence along a curve to the right, said curve having a radius of 50.00 feet and an arc length of 67.23 feet to a point located on the west line of the Villa Park Drive right-of-way being the true point and place of BEGINNING, containing 5.689 acres more or less.

The Board of Supervisors accepted the following proffered conditions, dated July 24, 2014, which further regulate the above described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

1. **Concept Plan.** The layout of the development shall be substantially similar in nature to that concept plan prepared by Draper Aden, dated July 2, 2014, entitled "Concept Plan, Stone Ridge" and attached hereto as Exhibit A (see case file). No more than forty-nine (49) dwelling units will be developed on the Property.
2. **Construction.** The hours of exterior construction activities, including operation of bulldozers and other earthmoving equipment shall be between 7:00 a.m. and 7:00 p.m. Monday through Saturday, except in emergencies or where unusual circumstances require extending the specific hours in order to complete work such as concrete pours and utility connections. Signs, in both English and Spanish, stating the above-referenced provisions, shall be posted and maintained at all entrances to the Property prior to any land disturbance activities thereon. No construction vehicles (commercial or individual) shall park on Darracott Road during any construction on the Property.
3. **Minimum Finished Floor Area.** The minimum finished floor area for any dwelling unit shall be one thousand three hundred and fifty (1,350) square feet.
4. **Sound Suppression Measures.** Walls between dwelling units shall be constructed with a minimum certified sound transmission class (STC) of fifty-four (54). A cross section detail, reviewed and approved by a certified architect or engineer as to the methodology accomplishing the STC, shall be included in the building permit application.
5. **Architecture.** The architecture of the buildings shall substantially conform to those illustrated in the attached Exhibit B, dated July 22, 2014 (see case file), unless otherwise approved by the Director of Planning. To minimize visual repetition of buildings, no two adjacent buildings shall have the same identical individual elevation sequence pattern across the front of the building. All dwelling units shall have a front porch or stoop as generally shown on Exhibit B (see case file) and will be limited to 2 stories in height. The side of each end unit shall include at least two (2) windows and the rear of each unit shall include at least two (2) windows on each floor. The side and rear elevations shall include such architectural features as may provide necessary articulation and design elements different from other side and rear elevations for each building, such as varying colors of exterior material, varying window designs, and varying doorway designs. The roof on the rear of each building shall include varying features to provide articulation, such as dormers, and as may otherwise be approved by the Director of Planning.
6. **Building Materials.** All buildings shall have exposed exterior walls (above grade) of brick, stone, dryvit, vinyl siding, and/or cementitious siding (such as Hardiplank or an equivalent), or a combination of the foregoing unless different architectural treatment or materials are specifically approved with respect to the exposed portion of any wall at the time of plan of development review. Fiberboard shall not be used as an exterior wall material. At least 50% of the front elevation of a multi-unit building will include brick or stone. Roofing material shall have a minimum thirty (30) year life and associated warranty. Vinyl siding shall have long-lasting strength, resilience and resistance to everyday wear and tear, with a minimum thickness of 0.044".

7. **Foundations.** The exposed exterior portions of all foundations below the first floor level shall be finished with brick, stone or cultured stone. On the front, side and rear elevations of each building, there shall be a minimum of twelve (12) inches of brick, stone or cultured stone visible above grade. For reasons associated with required site grading, the requirements of this proffer may be modified or waived by the Director of Planning for individual side or rear facades.
8. **Foundation Planting.** Each townhome shall have a minimum of four (4) shrubs planted along the front foundation.
9. **Landscaping.** There shall be at least one (1) tree with a minimum caliper of two and a half (2½) inches at the time of planting, retained or planted in the side yard of each building. Landscape plans shall be subject to Planning Commission approval. Once approved, minor alterations to the plan may be approved by the Director of Planning.
10. **Irrigation.** Front and side yards shall be sodded and irrigated.
11. **Chimneys.** The exposed portions of all fireplace chimneys shall be of brick, stone, cultured stone, or siding similar to the exterior treatment of the building. The exposed bases of all chimneys shall be of the same material as the dwelling foundation. This proffer shall not apply to direct-vent gas fireplaces or appliances.
12. **Exterior Lighting.** Each townhome shall have exterior wall or pole mounted lights or both at each entrance. Parking lot lighting shall be of a decorative, residential style and scale and not direct embedded. Common area lights, if any, shall not exceed fifteen (15) feet in height.
13. **Driveways.** There shall be no individual unit driveways that directly access Parham Road or Darracott Road. Where driveways exist, all shall be constructed of either cobblestone, brick, asphalt, pre-cast pavers, concrete or other similar materials approved by the Director of Planning.
14. **Trash.** There shall be no central trash receptacles.
15. **Curb and Gutter.** Standard six (6) inch curb and gutter, meeting Henrico County requirements, shall be provided within the development, unless otherwise approved by the Director of Public Works.
16. **Roads.** Prior to the issuance of any Certificate of Occupancy, the applicant shall provide the Planning Department with certification from a licensed engineer that the roadways within the project were constructed according to the approved subdivision plan, and in compliance with Henrico County road design standards and specifications (except as to pavement width and turning radii), to include proper compaction of the sub-base soils, utility trenches, base stone, and asphalt surface. The internal roadways shall be private and shall be maintained by a homeowners' association. No internal roadway shall connect to Parham Road.

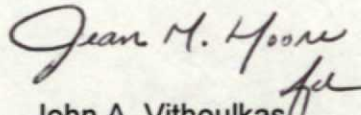
17. **Underground Utilities.** All proposed new utilities except for junction boxes, meters, pedestals, transformers, transmission mains and existing overhead utility lines, shall be placed underground, unless technical or environmental reasons require otherwise.
18. **BMPs.** Should any BMP be required, the BMP shall be landscaped as approved by the Planning Commission at the time of Plan of Development review and shall be maintained by the homeowners' association of the Property. Any wet BMP shall be aerated and landscaped as an amenity.
19. **Restrictive Covenants.** Prior to or concurrent with the recordation of the first subdivision plat approved by the County, a document shall be recorded in the Clerk's Office of the Circuit Court of Henrico County, Virginia setting forth controls on the development and maintenance of the property.
20. **Association.** There shall be a homeowners' association, the members of which shall be the owners of the townhomes. The homeowners' association shall be responsible for the enforcement of the restrictive covenants, including but not limited to, the maintenance of common areas and a BMP.
21. **Buffers.** A minimum twenty (20) feet wide buffer shall be provided along Parham Road and Villa Park Drive as shown on the Concept Plan (Exhibit A) (see case file) and shall be planted to a quantity to meet at a minimum the Transitional Buffer 25 standard through one or more of a combination of the preservation of existing vegetation, supplemental planting, or berms. Any new drainage or utility easements passing through the buffer shall do so in a generally perpendicular manner. A ten (10) foot planting strip along Stonewall Manor shall be provided and planted as, generally shown on the Concept Plan (Exhibit A) (see case file).
22. **Fencing.** No stockade fencing shall be permitted on the Property.
23. **Entrance Feature.** At a minimum, a landscaped entrance feature shall be located at the entrance for the development off Darracott Road as shown on the Concept Plan (Exhibit A) (see case file). The entrance feature will include the planting strips as shown on Concept Plan (Exhibit A) (see case file) and the actual sign shall be constructed and landscaped substantially similar to the rendering attached as Exhibit C (see case file). The entrance feature sign shall not exceed six (6) feet in height and shall not be internally illuminated.
24. **Sidewalks.** A continuous sidewalk a minimum of four (4) feet in width shall be provided in front of all townhome buildings and connect to the recreational area as shown in the Concept Plan (Exhibit A) (see case file).
25. **Recreational Areas.** A recreational gathering area shall be built on the Property in the area generally shown on the Concept Plan (Exhibit A) (see case file). Such recreational area shall include the following improvements: benches, tables, gazebo (minimum of 12' x 12'), landscaping and other passive or active amenities to facilitate community activities as shown on the Concept Plan (Exhibit A) (see case file) and substantially similar to the examples and renderings on the attached Exhibit D (see case file), unless otherwise approved by the County at the time of Plan of

Development review. The median island within the parking lot shown on the Concept Plan (Exhibit A) (see case file) shall be landscaped as approved by the Planning Commission at the time of Plan of Development review. The Applicant shall enter into an agreement with the Stonewall Manor Unit Owners' Association, Inc. wherein the Stone Ridge owners will have the right to use the Stonewall Manor pool facility.

26. **Sidewalks and Utility Strips.** Sidewalks shall be constructed to Henrico County standards within the Parham Road right-of-way adjoining the Property a minimum of 4 feet in width and a minimum of a 2 foot wide utility strip shall be provided along the Parham Road right-of-way, all as substantially shown on the Concept Plan (Exhibit A) (see case file).
27. **Severance.** The unenforceability, elimination, revision or amendment of any proffer set forth herein, in whole or in part, shall not affect the validity or enforceability of the other proffers or the unaffected part of any such proffer.

The Planning Department has been advised of the action of the Board of Supervisors and will revise its records.

Sincerely,



John A. Vithoukas
County Manager

pc: Alexander Development Co., LLC
Andrew M. Condlin, Esquire
Tiffany S. Hinton, Ph.D., Dir. Research and Planning - Schools
Director, Real Estate Assessment

CRANES CREST

100% Cotton

Exhibit A

Concept Plan
Stone Ridge
49 Townhouse Units
Zoning: RTH
Area: 5.7 Ac.
7-2-14





EXHIBIT B
1 of 3

REZ2014-00019



EXHIBIT B
2 of 3

REZ2014-00019

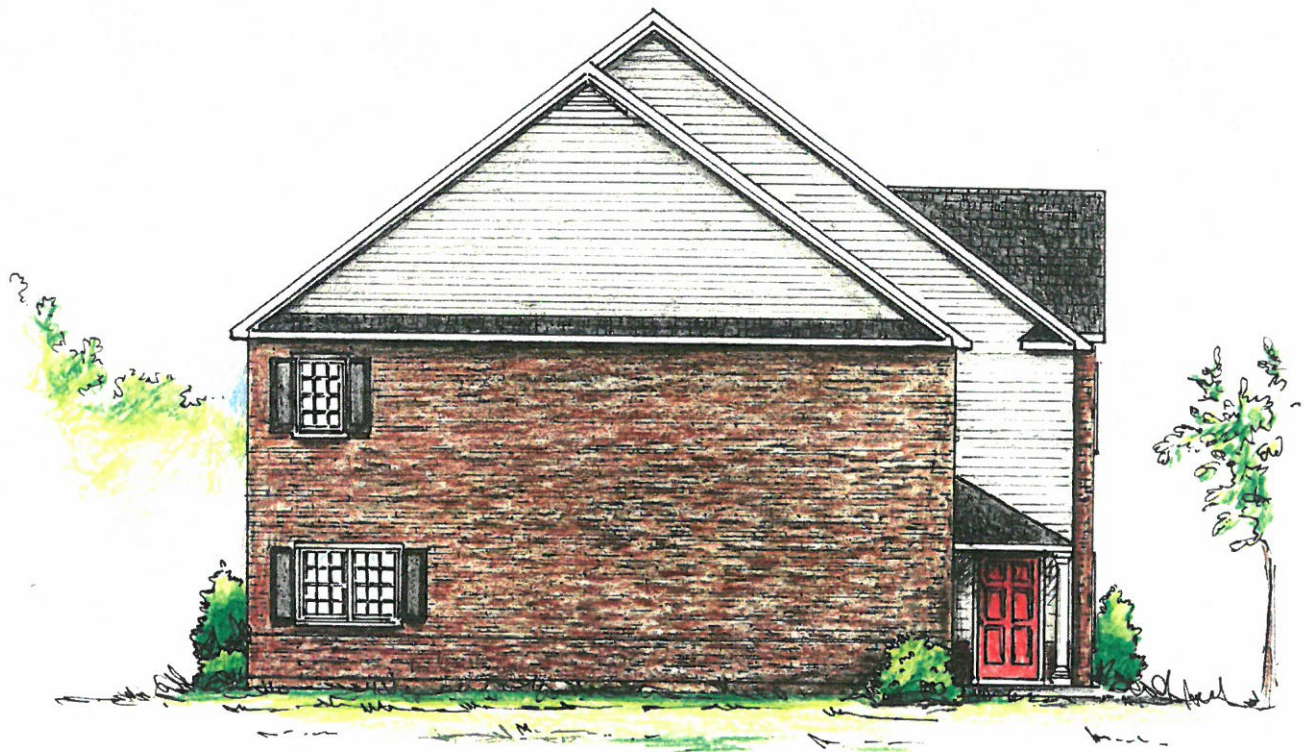



EXHIBIT B
3 of 3

REZ2014-00019

A photograph of a residential sign for 'STONE RIDGE'. The sign is white with a curved top and is mounted on a structure made of stacked stones and dark wood. The sign is set in a landscaped area with green grass and trees in the background.

STONE
RIDGE

EXHIBIT C

REZ2014-00019



EXHIBIT D
1 OF 2

REZ2014-00019



EXHIBIT D
2 OF 2

REZ2014-00019