



COMMONWEALTH OF VIRGINIA  
**COUNTY OF HENRICO**

John A. Vithoulkas  
County Manager

October 21, 2014

Weinstein Family, LLC  
c/o Mr. Ivan Jecklin  
3951-A Stillman Parkway  
Glen Allen, VA 23060

Re: Rezoning Case REZ2014-00038

Dear Mr. Jecklin:

The Board of Supervisors, at its meeting on October 14, 2014, approved your request to rezone from O-2 Office District to R-6C General Residence District (Conditional) Parcel 742-741-5065, described as follows:

Beginning at a point on the north line of Castile Road said point being 304.14' west of the west line extended of Otlyn Road; thence leaving the north line of Castile Road N 09°43'07" E, a distance of 59.57' to a point; thence N 09°33'57" E, a distance of 158.88' to a point; thence N 15°41'07" E, a distance of 32.99' to a point; thence S 86°44'38" E, a distance of 267.01' to a point on the west line of Otlyn Road; thence continuing along the west line of Otlyn Road S 03°15'22" W, a distance of 272.90' to a point; thence along a curve to the right with a delta angle of 99°53'29", a radius of 30.00', an arc length of 52.30', a chord length of 45.93', with a chord bearing of S 53°12'07" W, to a point on the north line of Castile Road; thence continuing along the north line of Castile Road along a curve to the right with a delta angle of 02°56'07", a radius of 4970.00', an arc length of 254.61', a chord length of 254.59', with a chord bearing of N 75°23'05" W, to a point; thence along a curve to the left with a delta angle of 00°43'49", a radius of 1086.85', an arc length of 13.85', a chord length of 13.85', with a chord bearing of N 74°16'56" W, to the point and place of beginning, containing 1.833 acres of land.

The Board of Supervisors accepted the following proffered conditions, dated, September 4 2014, which further regulate the above described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

1. **Conceptual Plan/Landscaping.** Development of the Property and landscaping shall be in general conformance with the plan/landscaping attached hereto entitled "LANDSCAPE PLAN ADDISON AT KINGS CROSSING" (see case file) prepared by Winks-Snowa Architects, PC., dated July 16, 2014 (the "Conceptual Plan"), (see case file) which Conceptual Plan is conceptual in nature and may vary in detail, unless otherwise requested and specifically approved at the time of Plan of Development.



2. **Architectural Treatment.** Multi-family buildings constructed on the Property shall be generally in conformance with the front and rear elevations attached hereto entitled "ADDISON AT KINGS CROSSING" (see case file) prepared by Winks-Snowa Architects, PC., dated July 15, 2014, unless otherwise requested and specifically approved at the time of Plan of Development.
3. **Building Materials.** All buildings shall have exposed exterior walls (above grade and exclusive of trim) of stone, stone veneer, brick, cementitious siding, or a combination of the foregoing unless different architectural treatment and/or materials are specifically approved with respect to the exposed portion of any such wall, at the time of Plan of Development. A minimum of forty-five (45) percent of the exterior portions of all building wall surfaces of each building, excluding windows, doors, breezeways, gables and architectural design features, shall be of brick, stone or stone veneer construction.
4. **Density.** There shall be no more than thirty (30) residential units developed on the Property.
5. **Unit Size: Number of Bedrooms.** One bedroom units shall contain a minimum of seven hundred forty (740) square feet of finished floor area each. Two bedroom units shall contain a minimum of one thousand fifty (1,050) square feet of finished floor area each.
6. **Best Management Practice.** Best Management Practice structures shall be located outside of any landscaped buffer within the Property, except as a landscaping amenity or water related feature and if requested and specifically permitted by the Director of Planning or the Planning Commission at the time of Plan of Development. Any above-ground wet Best Management Practice structure shall include an aeration feature to move water within such structure.
7. **Cantilevering.** There shall be no cantilevered treatment of architectural features.
8. **Sound Suppression.** Any walls between units on the Property shall be designed to have a minimum sound transmission coefficient rating of 50. A cross section detail, reviewed and approved by a certified architect or engineer as to the methodology accomplishing the sound transmission coefficient rating shall be included in the building permit application.
9. **Parking Lot Lighting.** Parking lot lighting fixtures shall not exceed twenty (20) feet in height as measured from the grade at the base of the lighting standard, unless otherwise requested, described and specifically approved, or if required, at the time of Plan of Development. Lighting shall be directed to minimize glare on public roads and adjacent properties.
10. **Recreational Amenities.** Recreational amenities provided to residents of Kings Crossing Apartments shall be available to the residents of the Property.
11. **Underground Utilities.** All utility lines on the Property shall be underground, except for junction boxes, meters, existing and/or relocated existing overhead utility lines




and lines in wetland areas. Electrical junction boxes and meters shall be screened from public view at ground level at the perimeter of the tract with use of landscaping, or such other method as may be approved at the time of Plan of Development.

12. **Severance.** The unenforceability, elimination, revision or amendment of any proffer set forth herein, in whole or in part, shall not affect the validity or enforceability of the other proffers or the unaffected part of any such proffer.
13. **Trash Receptacles.** Dumpsters and trash receptacles, not including convenience cans, shall be screened from public view at ground level at the perimeter of the Property, with brick. The gates and doors shall be of a substantial and durable material as determined by the Director of Planning or the Planning Commission at the time of Plan of Development. Support posts, gate frames, hinges and latches shall be of a sufficient size and strength to allow the gates to function without sagging or becoming a visual eyesore as determined by the Director of Planning or the Planning Commission at the time of Plan of Development.
14. **Screening HVAC.** Any heating, ventilation and air conditioning equipment shall be screened from public view at ground level at the perimeter of the Property with the use of landscaping similar to Addison at Kings Crossing.
15. **Roof Material.** Any building shall be constructed with a roof that has a minimum certified twenty-five (25) year warranty.
16. **Detached Signage.** Any detached signs on the Property shall be monolithic style signs, the base of which shall be landscaped. No portable signs or signs with changeable copy shall be permitted on the Property. No detached sign shall exceed a height of six (6) feet, as measured from the base of the sign.

The Planning Department has been advised of the action of the Board of Supervisors and will revise its records.

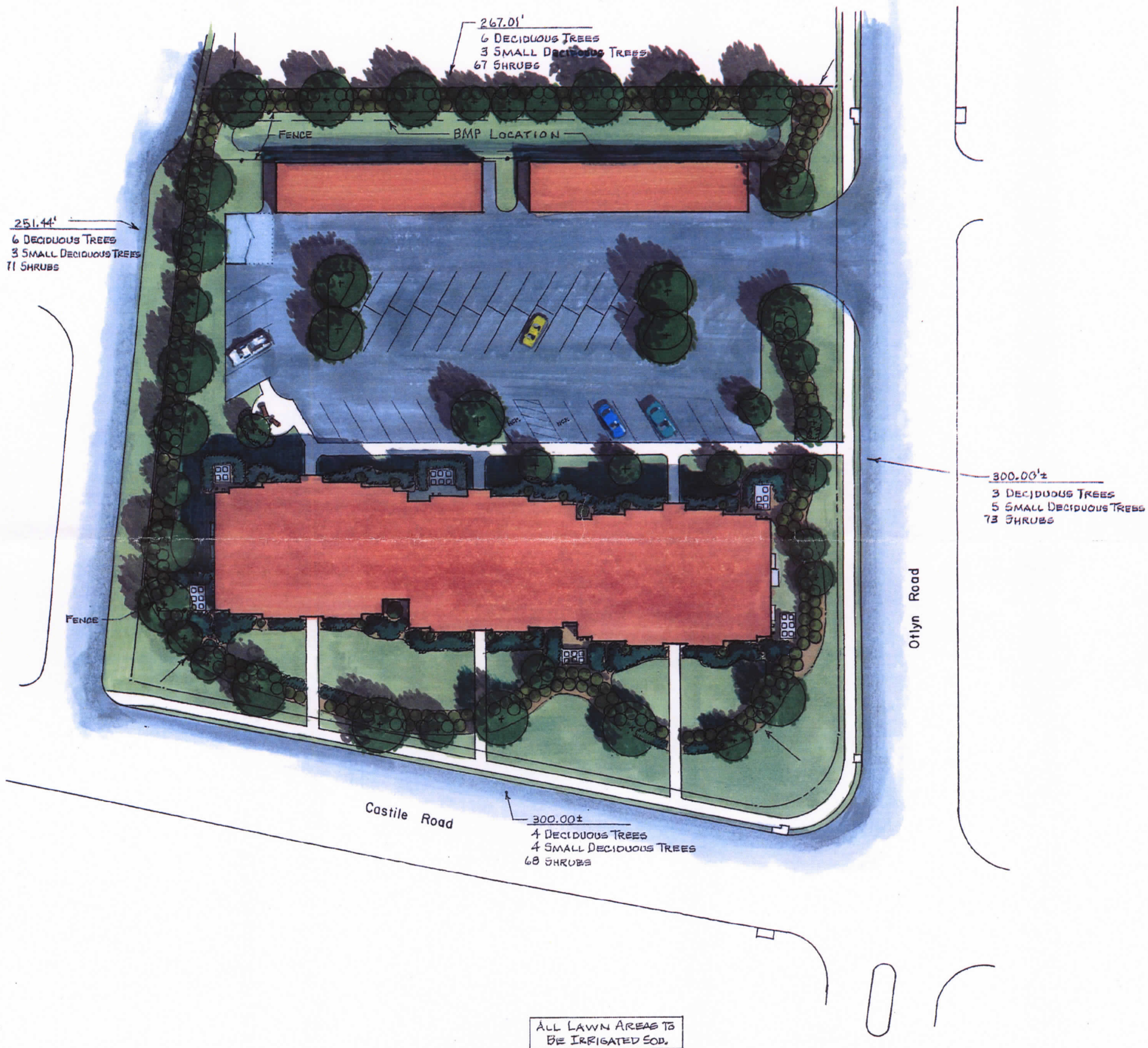
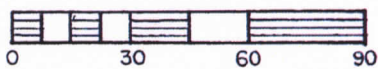
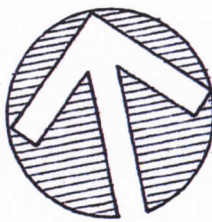
Sincerely,



John A. Vithoulkas  
County Manager

pc: Mr. James W. Theobald, Esquire  
Tiffany S. Hinton, Ph.D., Dir. Research and Planning - Schools  
Director, Real Estate Assessment





LANDSCAPE PLAN

**ADDISON AT KINGS CROSSING**

WEINSTEIN PROPERTIES

HENRICO COUNTY, VIRGINIA

JOB # 14-217 07-16-2014

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**REZ2014-00038**





FRONT ELEVATION

ADDISON AT KINGS CROSSING

WEINSTEIN PROPERTIES

HENRICO COUNTY, VIRGINIA

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REAR ELEVATION

ADDISON AT KINGS CROSSING

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