

**REZ2014-00040**

**Zoning**

Senior Living Facility  
Varina District

400 Feet

PS July 2014 Ref: 848-710-9248



COMMONWEALTH OF VIRGINIA  
COUNTY OF HENRICO

John A. Vithoukias  
County Manager

May 19, 2015

Mr. E. Steve Smith  
40 South Shore Drive  
Newnan, GA 30263

Re: Rezoning Case REZ2014-00040

Dear Mr. Smith

The Board of Supervisors at its meeting on May 12, 2015, granted your request to conditionally rezone from A-1 Agricultural District to R-6C General Residence District (Conditional) part of Parcel 848-710-9248 containing 8.44 acres located approximately 500' northwest of the intersection of Elko Road and Elko School Road, described as follows:

All that certain lot, piece or parcel of land, being and situated in Henrico County, Virginia, described as follows: Commencing at a point on the Easterly line of State Route 156 (variable width) also being the Southwesterly most corner of Parcel "A" (W.B. 107, PG. 551), as identified on that certain plat titled "Plat Showing Three Parcels of Land Located on the East Side of State Route 156 Known as Parcel "A", "B" & "C", last revised November 1, 2000 drafted by Timmons Group; thence N 50°13'12" E 680.49 feet along the Southerly line of said Parcel "A" and the Northwesterly line of said Parcel "B", to the Northerly most corner of said Parcel "B" and the Northwest corner of the property now or formerly owned by County School Board (D.B. 3992, PG. 1961), thence N 02°42'23" W 29.02 feet along the Easterly line of said Parcel "A" and the Westerly line of said Parcel "C" to the Point of Beginning; thence S 53°12'52" W 103.60 feet; thence S 76°10'48" W 303.81 feet; thence N 55°32'18" W 221.59 feet; thence S 34°27'42" W 26.69 feet; thence S 80°21'12" W 202.54 feet to a point on the East Side of said State Route 156; thence along the East Side of said State Route 156 and along a curve to the right, having a radius of 1854.86 feet, and a chord bearing and distance of N 24°17' 47" W 53.68 feet, a distance of 53.68 feet; thence N 80°21'12" E 36.06 feet; thence N 22°17'53" W 102.49 feet; thence N 80°21'12" E 136.30 feet; thence N 34°35'47" E 219.68 feet; thence S 55°23'36" E 91.39 feet; thence N 34°17'33" E 163.58 feet; thence N 41°09'24" E 140.38 feet; thence S 55°58'51" E 418.05 feet; thence S 86°32'38" E 271.47 feet; thence S 02°46'45" W 242.98 feet; thence N 87°13'15" W 324.07 feet to the Point of Beginning, containing 8.44 acres (368,047 square feet) of land, more or less.

The Board of Supervisors accepted the following proffered conditions, dated May 11, 2015, which further regulate the above described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

1. **Use Restrictions.** The only principal uses permitted on the Property shall be for a home for the aged as mentioned in the R-6 Article of the Henrico County Zoning

Ordinance; except for future expansion of the Church and any related activities associated with the Church ministry outreach.

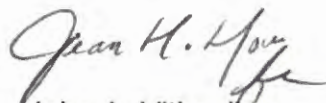
2. **Conceptual Site Plan.** Development of the Property shall be in general conformance with the Site Plan prepared by Atwell Land Development (see case file) located in Southfield, MI and may vary in detail, unless otherwise specifically approved at the time of Plan of Development.
3. **Buffers.** A fifty (50) foot wide buffer shall be provided along the southern border, along Elko Road, and around the back side of the BMP (with tree save, natural vegetation, and/or supplemental plantings meeting the County's Transitional Buffer 50 standards). A minimum of ten (10) feet in width landscape area, noted as Transitional Buffer 10 within the Henrico County Ordinance, shall be provided and maintained around the remaining perimeter of the subject property.
4. **Storm Water & BMP.** Any BMPs on the Property shall be a combination of underground detention facilities and above-ground and landscaped bio-retention facilities. BMPs shall be landscaped, aerated if wet, and integrated into the site as an amenity feature.
5. **Parking Lot Lighting.** Parking lot lighting fixtures shall not exceed twenty (20) feet in height as measured from the grade at the base of the lighting standard unless otherwise requested, described and specifically approved, or if required, at the time of Plan of Development. Lighting shall be directed to minimize glare on public roads and adjacent properties.
6. **Elevations.** Development of this new home for the aged shall be in general conformance with the architectural appearance and materials shown on the elevations attached entitled New Bridge Assisted Living by Lantz-Boggio Architects (LBA), (see case file).
7. **Exterior Materials.** The exposed portion of each exterior wall surface (front, rear and sides) of any new building (excluding rooftop screening materials for mechanical equipment) shall be similar to the exposed portions of other exterior walls of such building in architectural treatment and materials as shown on the color rendering as noted in Elevations (see case file). Any building shall have exposed exterior walls (above finished grade) of brick veneer, EIFS, or cementitious siding, or a combination unless different architectural treatment and/or materials are specifically approved with respect to the exposed portion of any such wall, at the time of Plan of Development. At least fifty percent (50%) of the wall materials shall be brick veneer. The first floor of the two-story area shall be brick veneer and the wainscot area shown on the one-story building shall also be brick veneer (see case file). The upper area of the two-story building shall be approximately 50% EIFS and 50% cementitious siding. The upper area above the wainscot for the one-story building shall be cementitious siding. Colors will be earth tone and compatible with the existing Church materials.

8. **Central Trash Receptacles.** Central trash receptacles, not including convenience cans, shall be screened from public view at ground level in a manner approved at the time of Plan of Development. Refuse containers shall be constructed of finished masonry materials with the exception of gates and doors. Gates and doors shall be opaque, substantial, and oriented to minimize view of the enclosure from public rights-of-way. Concrete pavement shall be used where the refuse container pad and apron are located.
9. **Underground Utilities.** Any new or relocated utility lines on the Property shall be underground, except for junction boxes, meters, and utility lines in wetland areas.
10. **Mechanical Equipment.** Any new mechanical equipment, ground-mounted mechanical equipment, and mechanical equipment for landscaped area, shall be screened from public view by enhanced landscaping at ground level at the Property lines as approved at the time of Plan of Development. Any screening used for rooftop units shall have similar materials as used on the upper portion of the main structure.
11. **Sidewalks/Pedestrian Accessways.** A pedestrian access system of concrete sidewalks shall be internal to the proposed development and shall connect to the existing sidewalks within the Church parking lot.
12. **Density.** The proposed development shall construct no more than 118 units (with a maximum of 118 beds) once fully developed during the design process.
13. **Signage.** Any detached signs shall be in general conformance with Exhibit C (see case file), ground mounted, monolithic-type signs and shall not exceed six (6) feet in height and twenty-four (24) square feet in area. Landscaping shall be provided at the base of any sign as determined at the time of landscape plan review. Signage shall be illuminated by exterior light and shall have no changeable copy.
14. **Severance.** The unenforceability, elimination, revision or amendment of any proffer set forth herein, in whole or in part, shall not affect the validity or enforceability of the other proffers or the unaffected part of any such proffer.
15. **Maintenance Building.** Any maintenance building to be constructed on the Property shall be similar in design and materials to the main building. The location shall be determined as the design progresses. The size shall be approximately 12' x 20'. Location will be generally as shown on Exhibit A (see case file).
16. **Access.** Access to the facility will be via the existing curb cut and driveway to New Bridge Baptist Church near the intersection of Elko Road and Elko School Road and conveyed via a cross access easement through the Church property.
17. **Hours/Days of Construction, Delivery, Refuse Collection & Site Maintenance.** Construction times will be not before 7:00 a.m. and not after 6:00 p.m. Monday through Saturday. No exterior work shall be performed on Sunday. Deliveries, refuse collection, and site maintenance shall not occur before 7:00 a.m. and not after 6:00 p.m. Monday through Friday, and none of these activities shall take place on Saturday or Sunday.

18. **Fencing.** Any fencing on the Property shall consist of white vinyl as shown on Exhibit C (see case file).
19. **Odor Mitigation.** The developer shall install adequate ventilating and exhaust systems to minimize smoke, grease vapors, and other odors from onsite cooking and laundering services. The plans and specifications shall be included with the building permit application for review and approval. If, in the opinion of the County Building Official, the systems provided are not effective, the Building Official retains the right to review and direct the type of systems to be used.
20. **Road Improvements.** The developer shall widen Elko Road to 33.5' from the centerline, install curb and gutter, storm drain as necessary, and a VDOT standard sidewalk along the east side from Elko School Road to the existing driveway opposite Malpas Drive. A right turn lane shall be installed for the driveway opposite Malpas Drive, with additional right-of-way dedicated for this turn lane, upon request of the Director of Public Works. Elko Road shall also be widened north of the southern driveway to accommodate a southbound left turn lane into the site.
21. **Sound Suppression.** Walls and ceilings between units shall be constructed with a minimum sound coefficient rating of fifty-five (55). Exterior rear walls shall be constructed with a minimum sound coefficient rating above fifty-five (55). All windows shall be insulated dual pane, and all exterior doors shall be insulated. Windows shall have a minimum sound transmission coefficient rating of thirty-two (32). Prior to the issuance of a building permit, the owner or applicant shall submit construction details (cross-section), with an architect's or engineer's seal, demonstrating that construction will provide the proffered sound coefficients.

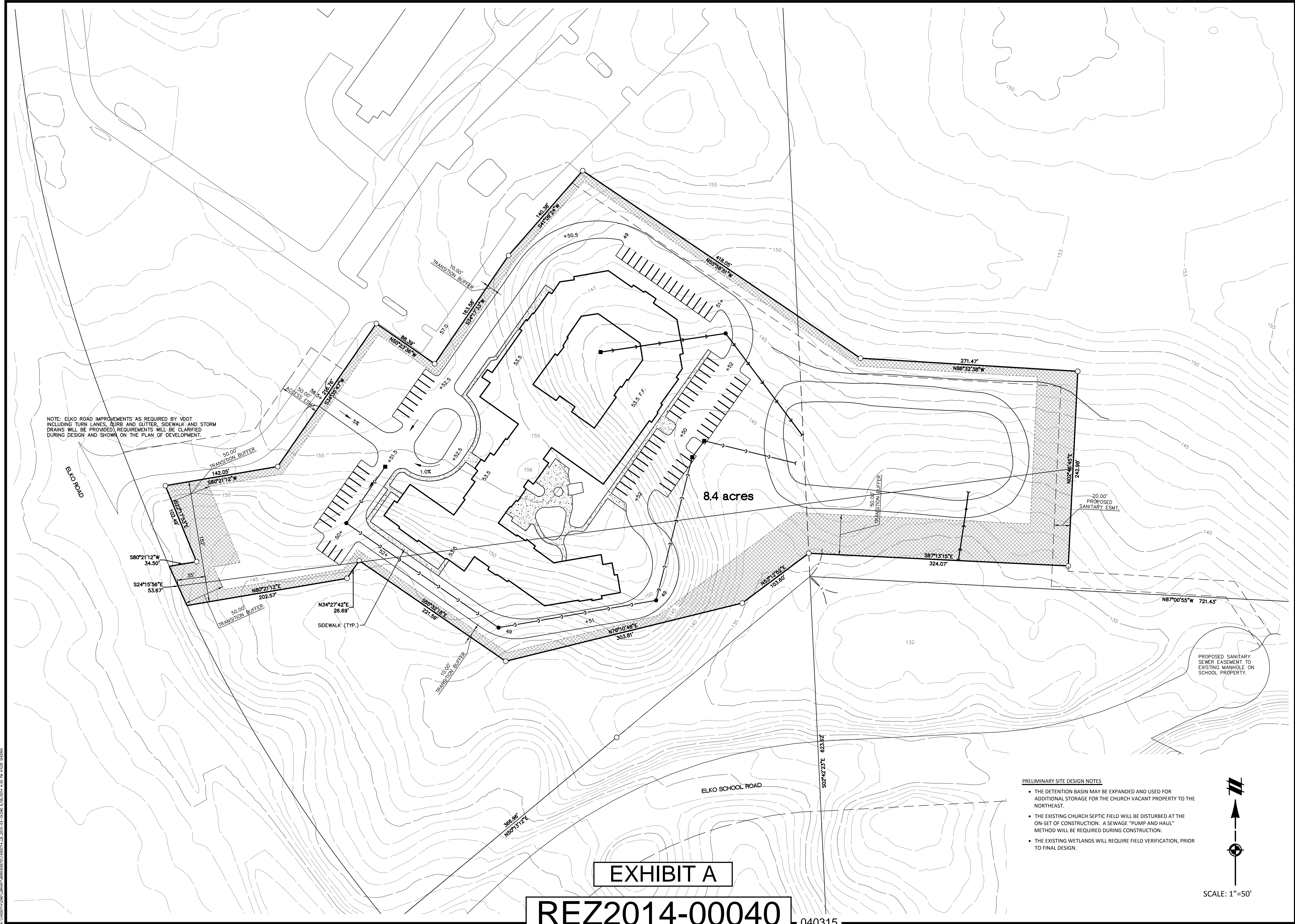
The Planning Department has been advised of the action of the Board of Supervisors and will revise its records.

Sincerely,



John A. Vithoukas  
County Manager

pc: New Bridge Baptist Church  
Antioch Plan Developers, LLC  
Director, Real Estate Assessment  
Tiffany S. Hinton, Ph.D., Dir. Research and Planning - Schools



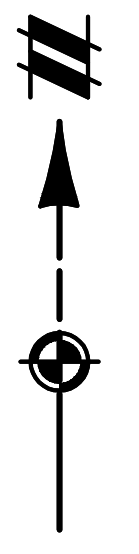
NOTE: ELKO ROAD IMPROVEMENTS AS REQUIRED BY VDOT INCLUDING TURN LANES, CURB AND GUTTER, SIDEWALK AND STORM DRAINS WILL BE PROVIDED. REQUIREMENTS WILL BE CLARIFIED DURING DESIGN AND SHOWN ON THE PLAN OF DEVELOPMENT.

8.4 acres

PROPOSED SANITARY SEWER EASEMENT TO EXISTING MANHOLE ON SCHOOL PROPERTY.

**PRELIMINARY SITE DESIGN NOTES**

- THE DETENTION BASIN MAY BE EXPANDED AND USED FOR ADDITIONAL STORAGE FOR THE CHURCH VACANT PROPERTY TO THE NORTHEAST.
- THE EXISTING CHURCH SEPTIC FIELD WILL BE DISTURBED AT THE ON-SET OF CONSTRUCTION. A SEWAGE "PUMP AND HAUL" METHOD WILL BE REQUIRED DURING CONSTRUCTION.
- THE EXISTING WETLANDS WILL REQUIRE FIELD VERIFICATION, PRIOR TO FINAL DESIGN.



SCALE: 1"=50'

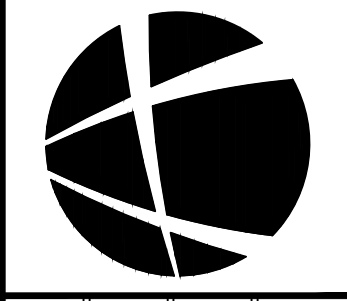
**EXHIBIT A**

**REZ2014-00040**

040315

Land Development & Real Estate  
Power & Energy  
Telecommunications  
Infrastructure & Transportation  
Environmental & Solid Waste  
Water & Natural Resources

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SOUTHFIELD, MI 48076  
248.447.2000



TAX PARCEL 848-710-9248  
SANDSTON, VIRGINIA

O'BRIEN CONSTRUCTION  
NEW BRIDGE ASSISTED LIVING  
CONCEPT PLAN

DATE  
03-09-2015  
04-03-2015

REVISIONS

**ATWELL**  
SCALE 0 25 50  
1" = 50 FEET  
DR. MB CH. BA  
P.M. B. ANDERSON  
BOOK ---  
CAD FILE: 14000714\_LB\_2015-03-19.DWG  
JOB 14000714  
FILE CODE: ---  
SHEET NO. CN-01

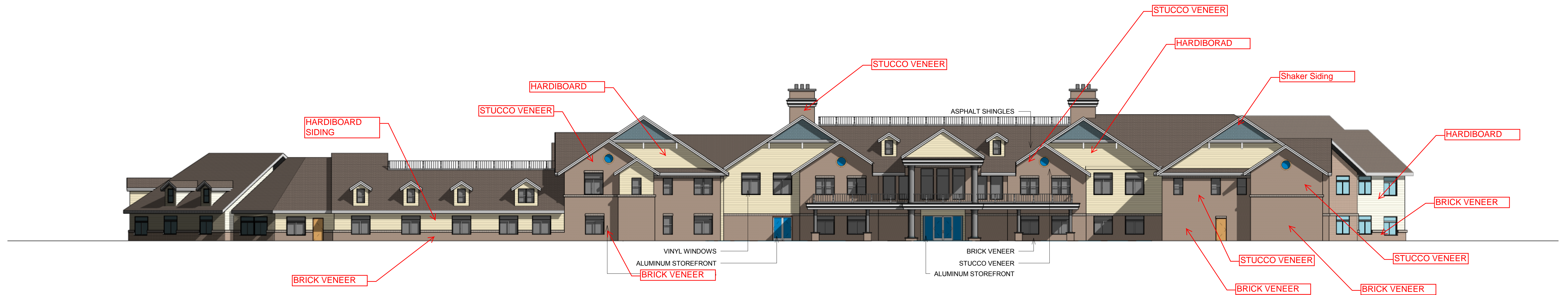


EXHIBIT B

NEW BRIDGE ASSISTED LIVING

Sandston, Virginia

REZ2014-00040

032615



**Suggested Freestanding Sign Design**



**Suggested fencing if any used.**