



John A. Vithoukas
County Manager

COMMONWEALTH OF VIRGINIA
COUNTY OF HENRICO

February 17, 2015

Hanky, LLC
c/o Mr. Michael C. Hanky
8500 Bell Creek Road
Mechanicsville, VA 23116

Re: Rezoning Case REZ2014-00049

Dear Mr. Hanky:

The Board of Supervisors, at its meeting on February 10, 2015, approved your request to conditionally rezone from A-1 Agricultural District to B-2C Business District (Conditional) Parcel 750-755-0814 containing 3.65 acres located on the northeast line of Three Chopt Road approximately 420' north of its intersection with Gaskins Road, described as follows:

Beginning at a point on the east line of Three Chopt Road and 233'± north of the north line of Gaskins Road being labeled POB on this plat (see case file); thence N 26°50'40" W 188.92'; thence N 48°19'20" E 519.45'; thence along a curve to the left with a radius of 687.22', and a length of 82.20', thence S 32°45'58" E 154.85'; thence along the curve to the right with a radius of 250', and a length of 168.69'; thence S 33°52'36" W 111.23'; thence S 78°29'15" W 353.73' to a point and place of beginning and containing 3.65 acres of land.

The Board of Supervisors accepted the following proffered conditions, dated January 14, 2015, which further regulate the above described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

1. **Permitted Uses.** The only uses permitted on the Property shall be a fully enclosed self-storage facility with an accessory office and such uses as are customarily accessory and incidental thereto, and any principal use permitted in the O-1 district.
2. **Site Plan.** The site will be developed similar to the attached concept plan, entitled Exhibit A (see case file), unless otherwise requested and specifically approved by the Planning Commission at the time of Plan of Development or subdivision approval.
3. **Architecture.** The building elevations for Building A and B as shown on Exhibit A (see case file), shall be in substantial conformity to the architectural rendering labeled Exhibit B (see case file). The building elevations for Building C shall be substantially similar to the existing office building on GPIN 750-754-0386, as approved by the Planning Commission at the time of Plan of Development review.

4. **Exterior Materials.** The portions of all exterior wall surfaces of each building constructed on the Property shall include full standard brick or full standard brick and glass, with architectural treatments, to match Exhibit B (see case file), as approved by the Planning Commission at the time of Plan of Development review.
5. **Buffers.**
 - a. Three Chopt Road: A landscape buffer a minimum of fifty (50) feet in width shall be provided along the eastern right-of-way line of Three Chopt Road, as measured from the ultimate right-of-way line, and shall meet the County of Henrico Transitional Buffer Fifty (50) standards.
 - b. Interstate 64 and Gaskins Road: A buffer a minimum of twenty-five (25) feet in width shall be provided along the parcel's frontage with the western right-of-way line of Interstate 64 and the western right-of-way line of Gaskins Road, except in the area of the fire lane, which may be landscaped and/or retain existing vegetation as determined at the time of Plan of Development. Dead and diseased trees within the buffer shall be removed and replaced.
 - c. Transitional buffers: A buffer a minimum of twenty-five (25) feet in width shall be provided along the northern line of the property along GPIN 749-755-4576 and along the southern line of the property along GPIN 750-754-0386 and shall be supplemented to create a vegetated screen that meets the County of Henrico Transitional Buffer Twenty-Five (25) standards.
6. **Outside Storage.** Outside storage shall not be permitted.
7. **Hours of Operation.** The business hours of operation shall be limited to 6:00 a.m. to 10:00 p.m.
8. **Exterior Lighting.** Lighting fixtures shall not exceed twenty (20) feet in height as measured from the grade at the base of the lighting standard, unless otherwise requested, and specifically approved at the time of Plan of Development. Lighting shall be directed to minimize glare on public roads and adjacent properties.
9. **HVAC Screening.** Any heating, ventilation and air conditioning equipment and any utility meters shall be screened from public view at ground level at the perimeter of the Property with use of landscaping, a wall or other architectural feature similar to the exterior of the building on which it is located, or such other method as may be approved at the time of Plan of Development.
10. **Trash Receptacles.** Dumpster enclosures and trash receptacles, not including convenience cans and recycling receptacles, shall be constructed of finished masonry materials similar to the building (with the exception of gates and doors) where such dumpsters are not already screened or enclosed by a building, structure, or wall. Gates and doors shall be opaque, sturdy, and minimize visibility from public right-of-way. Support posts, gate frames, hinges and latches shall be of a sufficient size and strength to allow the gates to function without sagging or becoming a visual eyesore, as determined at the time of Plan of Development.
11. **Right-of-Way Dedication and Sidewalks.** A Henrico County standard sidewalk shall be installed along the property frontage along Three Chopt Road. Upon the request of the County, the Owner shall dedicate additional right-of-way on Three

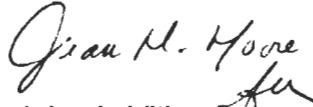
Chopt Road to accommodate widening to the ultimate right-of-way width and for sidewalks. Should the dedicated property not be utilized within thirty (30) years of the date of the dedication, title to the dedicated property will revert to the property owner or its successors in interest.

12. **Underground Utilities.** Except for junction boxes, meters and existing overhead utility lines or for technical or environmental reason, all new utility lines shall be underground.
13. **Parking of Trucks.** Any trucks owned by the operator or owner of the fully enclosed self-storage facility and used for the convenience of its occupants shall be parked in the truck spaces designated on Exhibit A (see case file), when not in use. A ten (10) foot high brick screen wall, constructed of finished masonry materials similar to the building, shall connect between Building A and Building B at the rear of the truck parking spaces.
14. **Security Alarms.** Outside speakers shall be prohibited. No external alarm bells or external warning devices that are audible beyond the boundary lines of the Property shall be permitted on the Property.
15. **Signage.** Detached signage shall be monument style, the base of which shall be of a material consistent with that on the building, shall be landscaped, and shall be limited in height to six (6) feet, to match Exhibit C (see case file). Any external lighting shall be screened pursuant to a lighting plan approved by the County. Attached building signage shall be prohibited along the parcel's frontage with the western right-of-way line of Interstate 64 and the western right-of-way line of Gaskins Road. Changeable message signs, portable or mobile signs, and inflatable or other attention getting devices shall be prohibited.
16. **BMPs/Retention Ponds.** Any retention ponds or BMP facilities on the Property shall be maintained in accordance with all applicable law, rules and regulations and any wet pond shall be aerated.
17. **Construction Activities.** Exterior construction activities shall be restricted to the hours of 7:00 a.m. to 7:00 p.m. Monday through Friday and 9:00 a.m. to 7:00 p.m. on Saturday with no construction activities on Sunday. During construction, a sign shall be posted on site in English and Spanish listing the hours of construction activity.
18. **Severance.** The unenforceability, elimination, revision or amendment of any proffer set forth herein, in whole or in part, shall not affect the validity or enforceability of the other proffers or the unaffected part of any such proffer.

Hanky, LLC
February 17, 2015
Page 4

The Planning Department has been advised of the action of the Board of Supervisors and will revise its records.

Sincerely,

A handwritten signature in black ink, appearing to read "John A. Vithoulkas".

John A. Vithoulkas
County Manager

pc: Mr. David M. Houston &
Mr. Cedric W. Houston III
Director, Real Estate Assessment

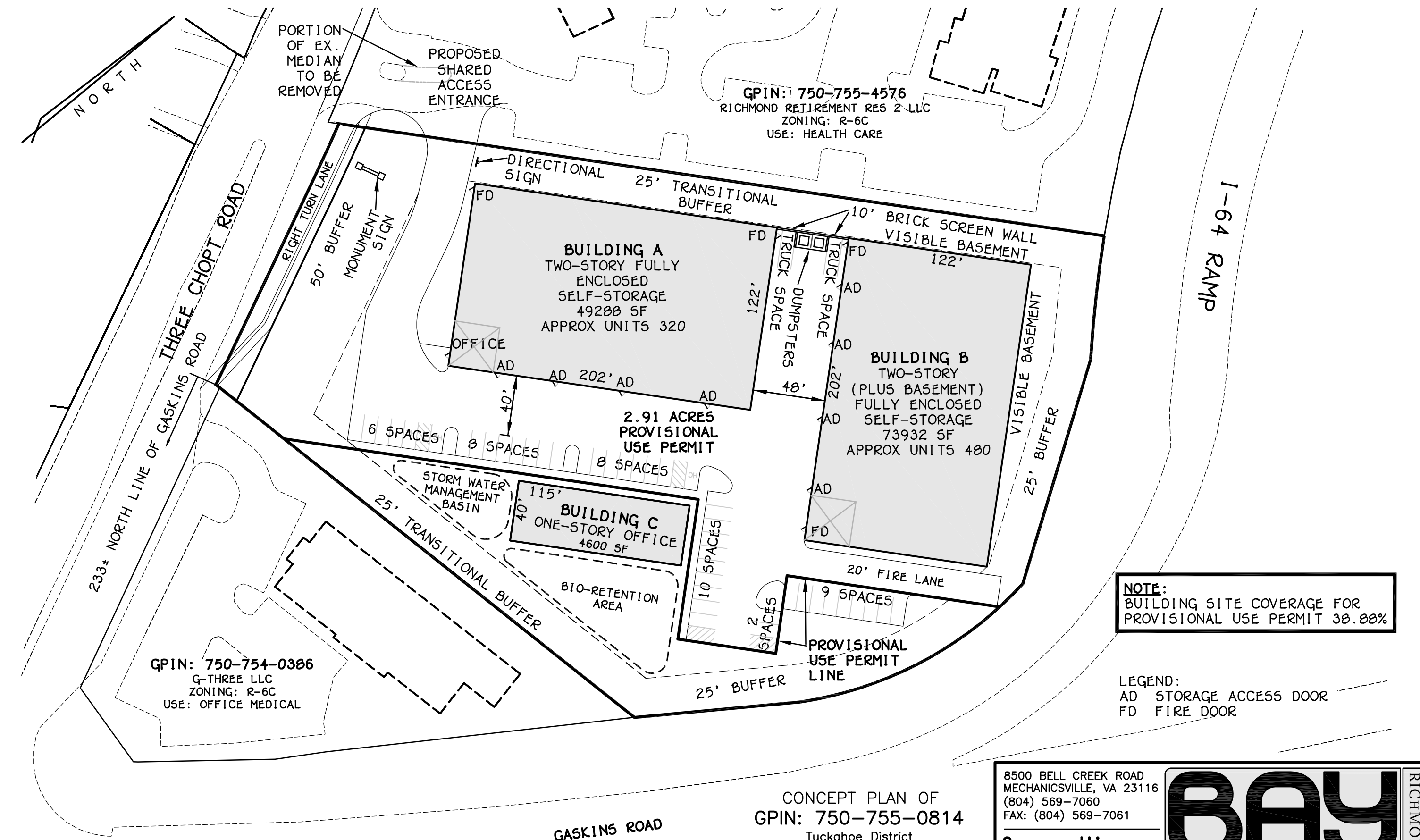


EXHIBIT A **REZ2014-00049**

011215

CONCEPT PLAN OF
GPIN: 750-755-0814
Tuckahoe District
Henrico County, Virginia
Scale: 1"= 60'
Date: December 12, 2014

8500 BELL CREEK ROAD
MECHANICSVILLE, VA 23116
(804) 569-7060
FAX: (804) 569-7061
Consulting Engineers
JN: 14039



BAY

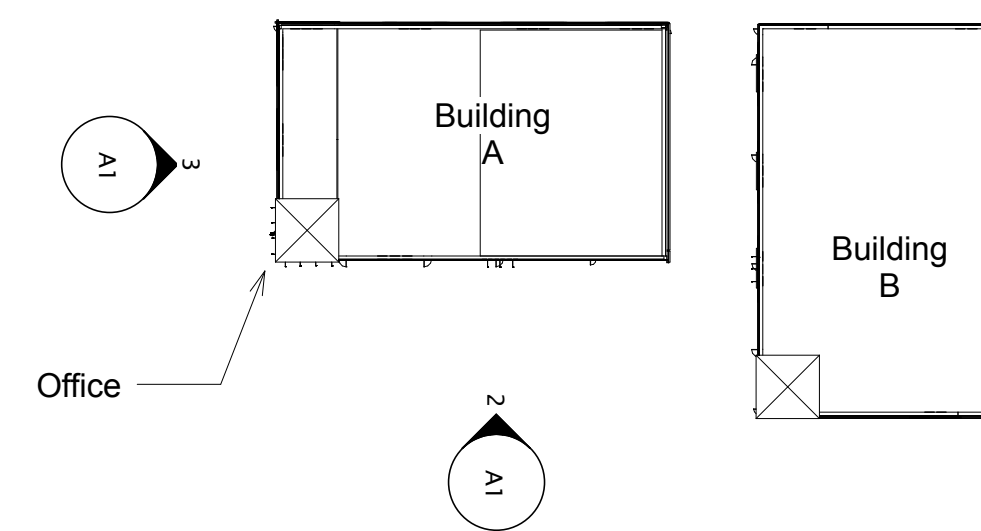
RICHMOND

THE BAY COMPANIES

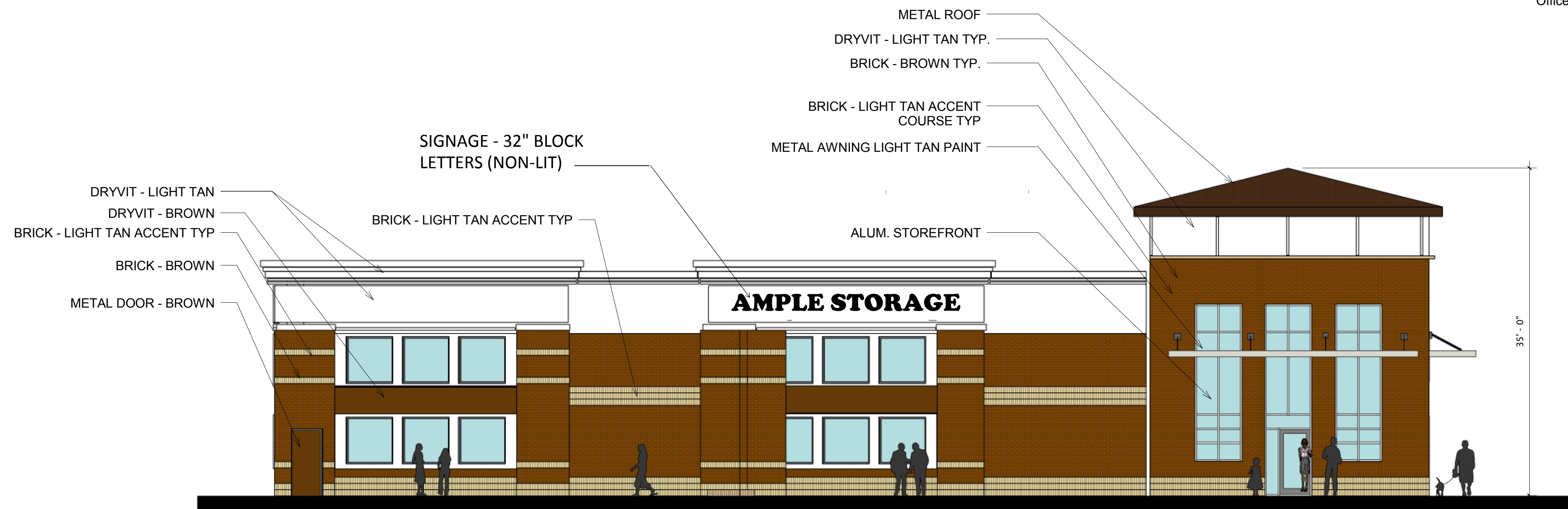
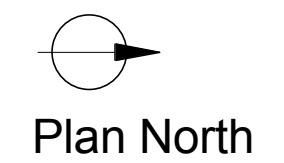
FILED: 14039_ZONING

NOTE:
BUILDING SITE COVERAGE FOR
PROVISIONAL USE PERMIT 38.88%

LEGEND:
AD STORAGE ACCESS DOOR
FD FIRE DOOR



VICINITY PLAN



3 Building A Street Elevation - West
A1 1/8" = 1'-0"



2 Building A Elevation South
A1 1/8" = 1'-0"

EXHIBIT B
1 of 3

REZ2014-00049

011215

Ample Storage Henrico

Three Chopi Rd
Henrico, VA

REVISIONS

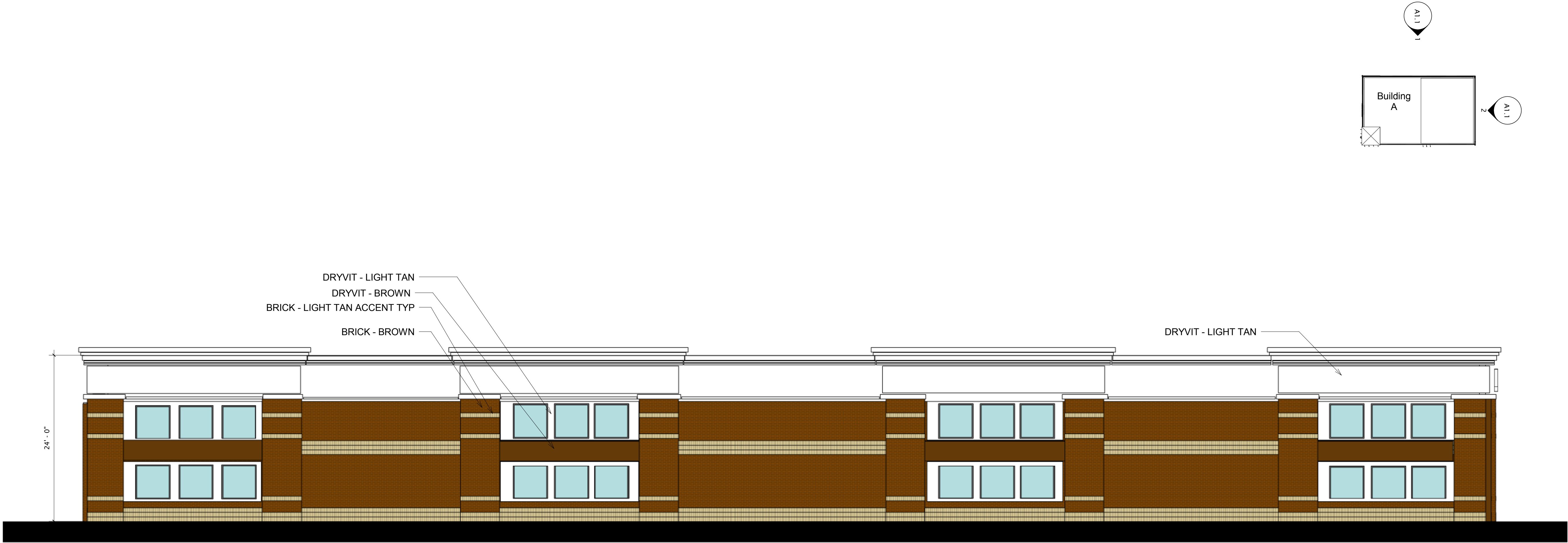
EXHIBIT B

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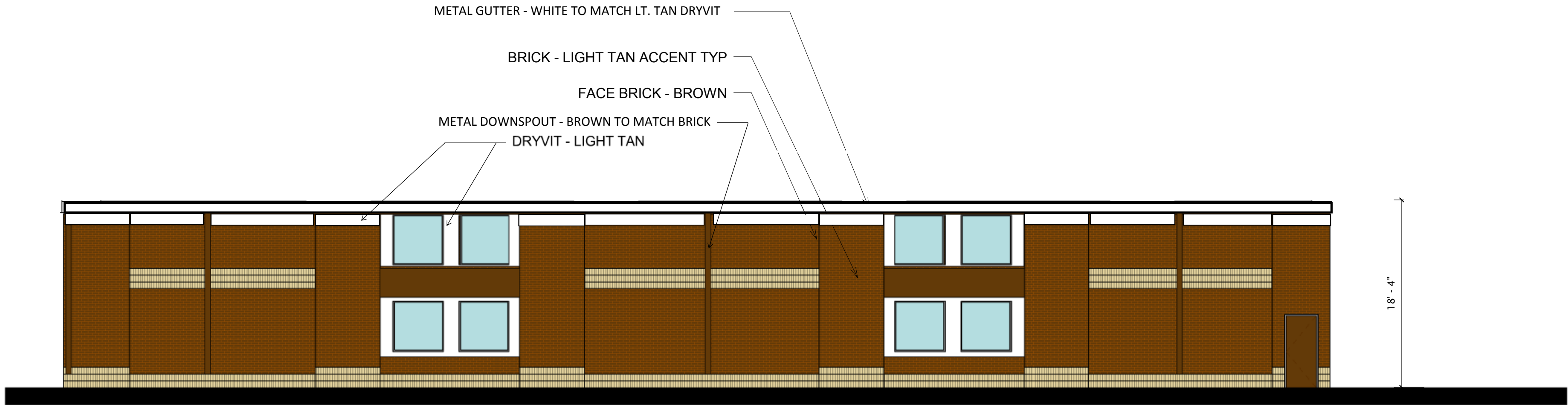
JOB NUMBER: 1444
DRAWN: GP
CHECKED: CN
DATE: 1-8-15

Building A Elevations

A1



1 Building A Elevation - North
A1.1 1/8" = 1'-0"

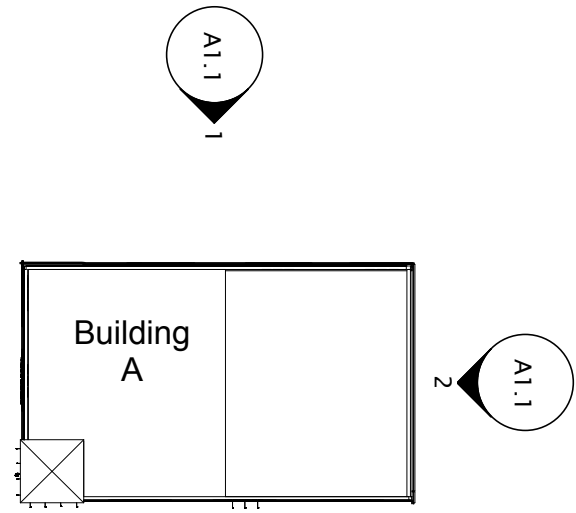


2 Building A Elevation - EAST
A1.1 1/8" = 1'-0"

EXHIBIT B
2 of 3

REZ2014-00049

011215



ROUGHTON-NICKELSON-DE LUCA
Architects, PA

Ample Storage
Henrico

Three Chopi Rd
Henrico, VA

REVISIONS

EXHIBIT
B

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JOB NUMBER: 1444
DRAWN: GP
CHECKED: CN
DATE: 1-8-15

Building A Elevation

A1.1

Ample Storage
Henrico

Three Chopi Rd
Henrico, VA

REVISIONS

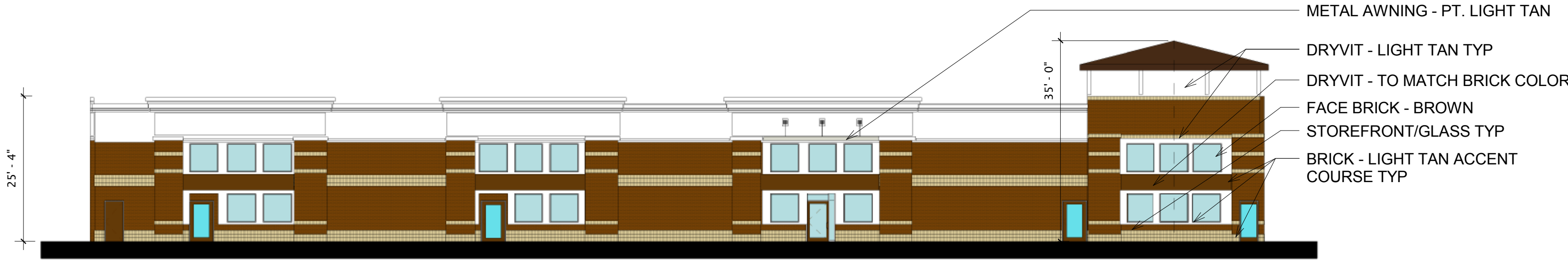
EXHIBIT
B

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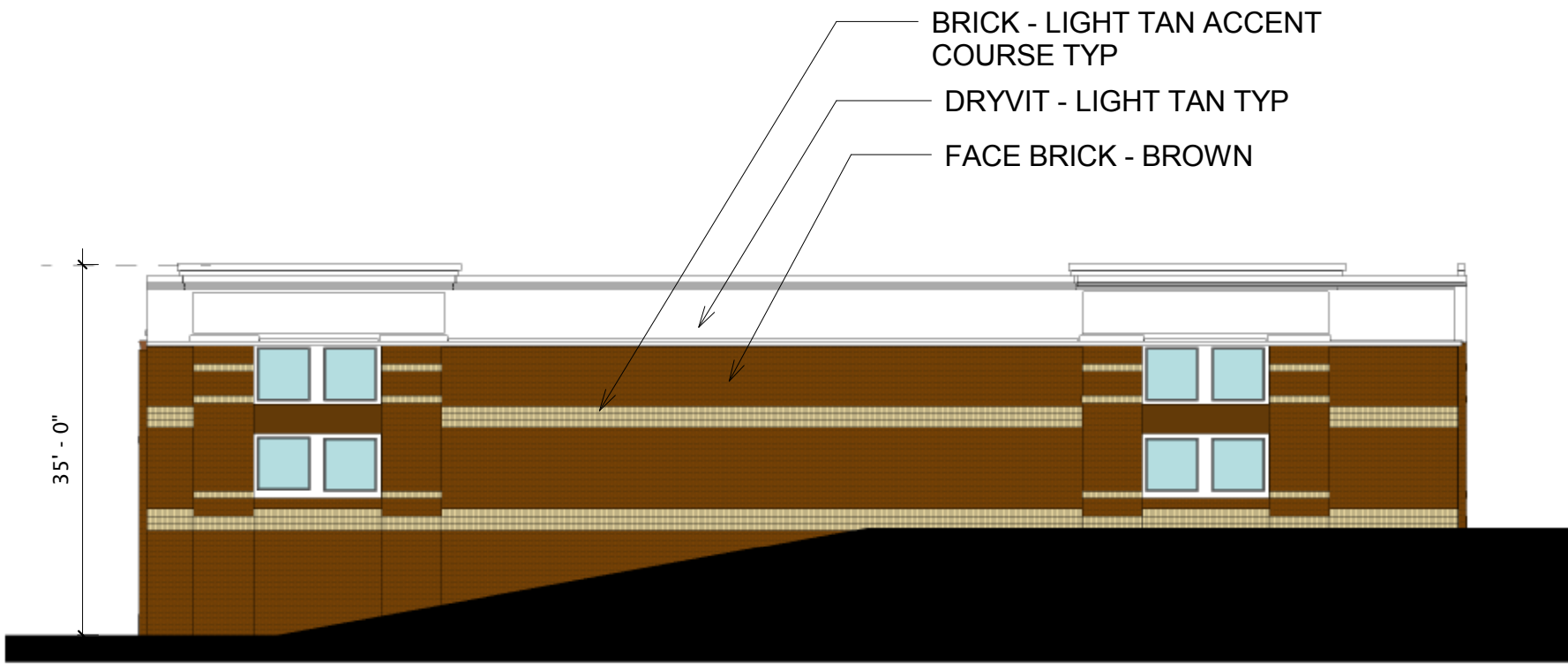
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CHECKED: CN
DATE: 1-12-15

Building B Elevations

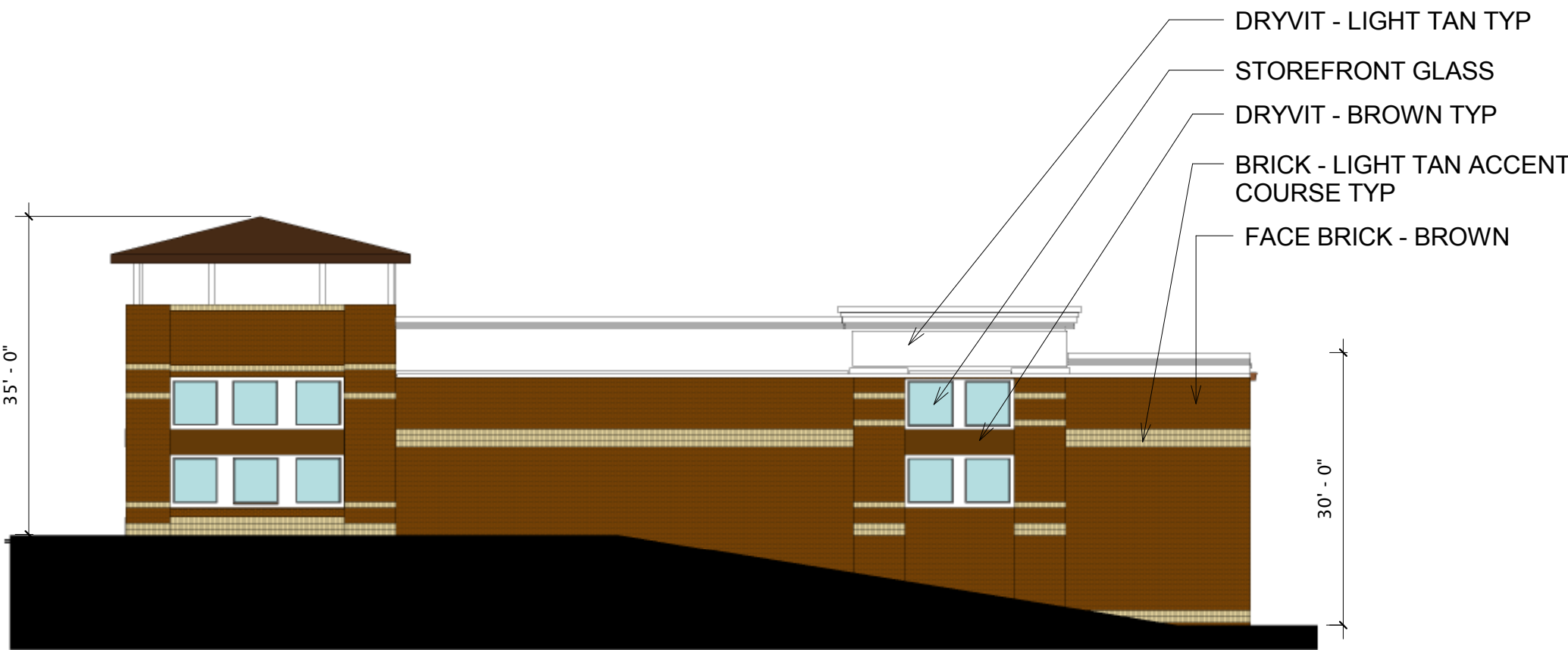
A2.1



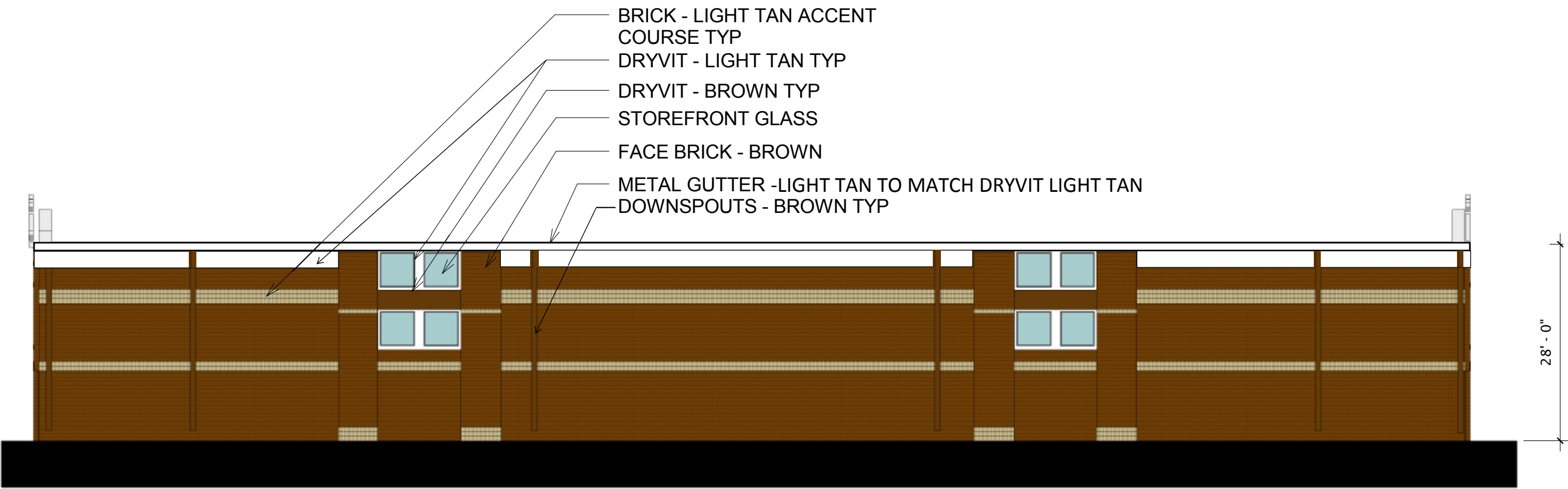
2 Building B ELEVATION - WEST
A2.1 1/16" = 1'-0"



1 Building B Elevation NORTH
A2.1 1/16" = 1'-0"



3 Building B Elevation SOUTH
A2.1 1/16" = 1'-0"



4 Building B North Elevation REAR - EAST
A2.1 1/16" = 1'-0"

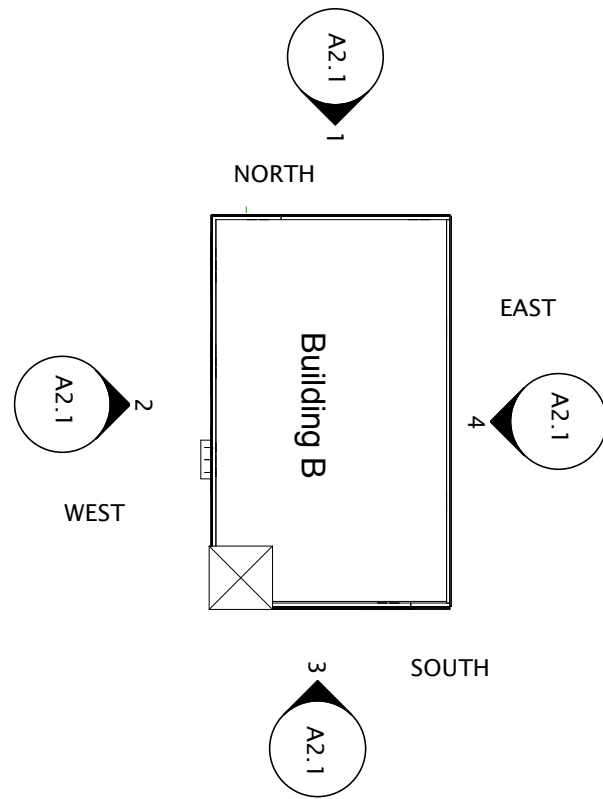
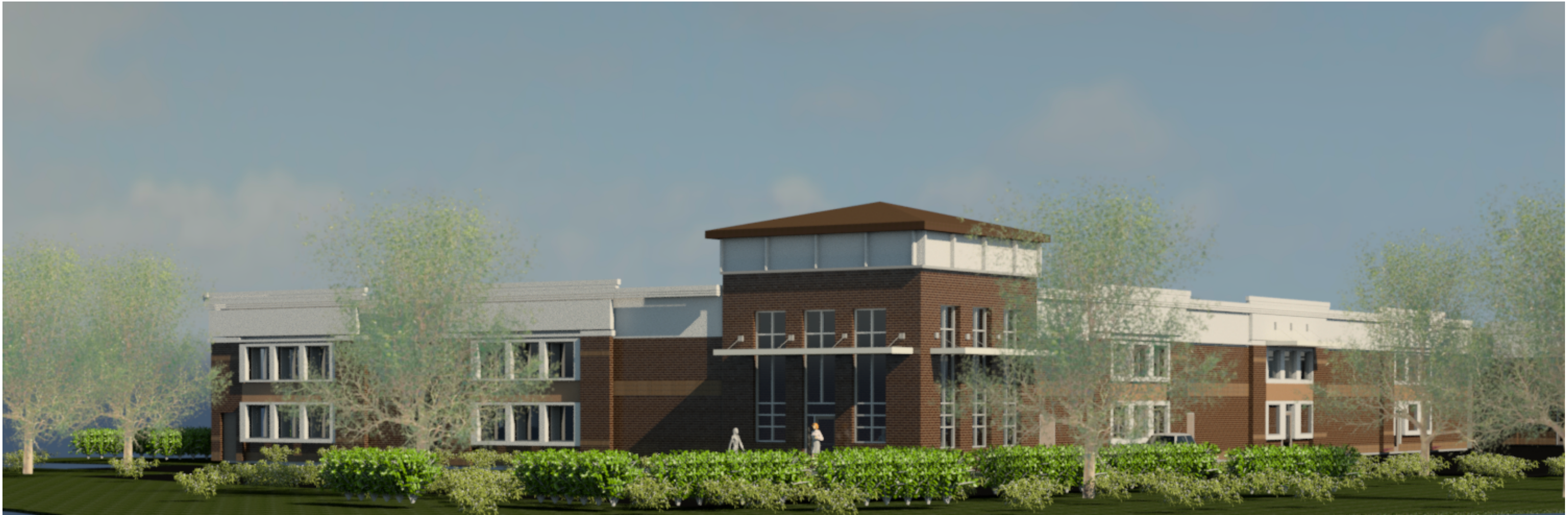


EXHIBIT B
3 of 3

REZ2014-00049

011215



Ample Storage Henrico
A3 Conceptual Rendering

Project No. 1444

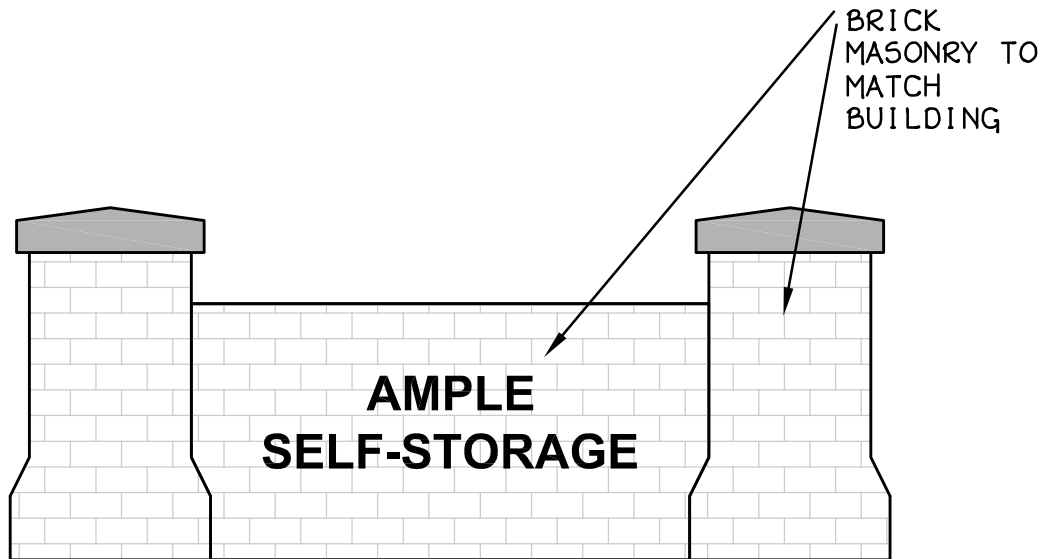
REZ2014-00049

ROUGHTON • NICKELSON • DE LUCA
Architects, PA

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Date 12/15/14

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Durham, NC 27707
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www.RNDpa.com



REZ2014-00049

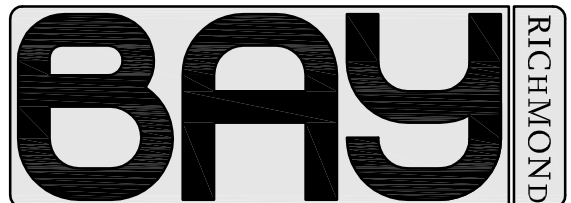
111414

EXHIBIT C

SIGN EXHIBIT
GPIN: 750-755-0814
"PROVISIONAL USE"
Tuckahoe District
Henrico County, Virginia
Scale: 1"= 100'
Date: November 14, 2014

8500 BELL CREEK ROAD
MECHANICSVILLE, VA 23116
(804) 569-7060
FAX: (804) 569-7061

**Consulting
Engineers**



THE BAY COMPANIES

JN: 14039

FILED: 14039_zoning