

**REZ2015-00011**

## **Zoning**

**Amend Proffered Conditions  
(C-14C-06)**

**Brookland District**

400

Feet



PS March 2015

Ref: 759-765-0133





COMMONWEALTH OF VIRGINIA  
**COUNTY OF HENRICO**

John A. Vithoulkas  
County Manager

July 21, 2015

Mr. Harry Snipes  
11533 Nuckols Road  
Glen Allen, VA 23059

Re: Rezoning Case REZ2015-00011

Dear Mr. Snipes:

The Board of Supervisors, at its meeting on July 14, 2015, approved your request to amend proffered conditions accepted with rezoning case C-14C-06 on Parcel 759-765-0133 located on the south line of Nuckols Road at its intersection with Francistown Road.

The Board of Supervisors accepted the following proffered conditions, dated June 3, 2015, which further regulates the above described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

1. **Conceptual Plan.** Development of the Property shall be generally consistent with the conceptual site plan entitled "Meredith Branch Estates Site Plan" filed herewith (see case file).
2. **Architecture.** Various design elements will be incorporated to provide variety amongst individual homes, including, but not limited to, the following: varying colors of brick, brick accents (including, but not limited to, arches with or without keystones, soldier courses, quoin corners, and accent coloring different from any main brick coloring), varying colors of siding, varying window designs, and varying doorway designs. No homes with the same elevation shall be constructed next to each other.
3. **Exterior Materials.** At least fifty percent (50%) of all of the homes constructed shall have a minimum of fifty percent (50%) brick, stone or a cementitious, mortared stone-appearing product on their front elevation. Any homes utilizing all brick or all stone or all stone-appearing product on the front elevation shall have the brick or stone or stone-appearing product wrap at least 12 inches around the corner of the side elevation. Applicant shall maintain a record of the amount of such brick, stone or stone-appearing product used on the front elevation of each home and shall provide such list when and as requested by the County.
4. **Density.** There shall be no more than thirty-seven (37) homes developed on the Property.



5. **Minimum Size.** The minimum size of all homes constructed on the Property shall be 3,000 square feet of finished space. These square footage requirements shall be exclusive of garages and unfinished basements.
6. **Foundations and Front Steps.** All houses shall be constructed on foundations. Except for garage floors, slab foundations shall be prohibited. The exterior portion of a building below the first floor elevation which is visible above ground shall be faced with brick or stone or a cementitious, mortared stone-appearing product. Steps to the main entrance of all homes shall be faced with brick or stone or a cementitious, mortared stone-appearing product. Front stoops shall be brick or stone or a cementitious, mortared stone-appearing product with finished concrete or exposed aggregate landing.
7. **No Cantilevering.** There shall be no cantilevered features including, but not limited to, bay windows and chimneys.
8. **Fireplace Chimneys.** The exposed portion of a chimney shall be constructed of brick or stone or a cementitious, mortared stone-appearing product. The exposed portion of a flue for a direct-vent gas fireplace shall be constructed of the same material used on the adjacent siding and shall be built on a foundation that is constructed of the same material that is used on the adjacent foundation.
9. **Garages.** Each house on the Property shall be constructed with a two (2) car garage which shall have a minimum interior width of twenty-four (24) feet and a minimum interior depth of twenty (20) feet, exclusive of any interior stairs or built-in mechanical equipment. Fifty percent (50%) of all homes shall have a side or rear loaded garage. Each garage shall be constructed with the same exterior brick, stone, siding, and roofing material as the home on the same parcel.
10. **Entrance Feature/Fencing.** A decorative "wrought iron-style" fence with brick columns shall be provided along the Francistown Road and Nuckols Road frontages of the Property, such columns not to be spaced farther apart than fifty (50) feet. The fence shall turn the corners at the northwestern and southeastern front corners of the Property and extend a distance of twenty-five (25) feet to a column. Columns (excluding entrance feature) shall not exceed four (4) feet in height. Landscaping installed in conjunction with the entrance feature shall include an irrigation system. Such landscaping shall be planted in accordance with a landscape plan as approved by the Planning Commission. The foregoing landscaped entrance feature shall be substantially in accordance with the plan Entitled "Meredith Branch Estates Details & Plan Enlargements" filed herewith (the "Landscape Plan") (see case file).
11. **Driveways.** All driveways shall be paved. No driveway shall have direct access to Francistown or Nuckols Roads.
12. **No Access to Mill Pond Lane.** There shall be no vehicular access to or from Mill Pond Lane.
13. **Street Trees.** The neighborhood shall have a street tree landscape plan in which a minimum of two trees shall be planted upon home completion within ten (10) feet of the curb on each side of the roadway for fronts of lots, and no more than fifty (50) feet



apart on side lots. The trees shall have a minimum caliper of 2½ inches at the time of planting.

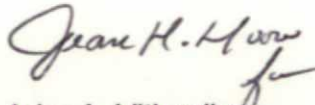
14. **Sidewalks.** Subject to obtaining all required governmental approvals and permits, a sidewalk shall be provided within the road right-of-way adjacent to one side of interior roadways, except for the cul-de-sac at the end of cul-de-sac streets, and shall be constructed to current County road standards and specifications for sidewalks. There shall be two (2) feet of green space between curbs and sidewalks.
15. **Mail Boxes and Lamp Posts.** All improved lots shall be required to have a post lamp and a separate or combined mail box with supporting post of design and installation as set forth in the Restrictive Covenants.
16. **Roads and Curb and Gutter.** Curb and gutter shall be used on all streets (including the twenty (20) foot private drive referenced in Proffered Condition 22) and shall be designed to meet the current County standard for either "roll top" curb and gutter which shall measure not less than three (3) feet from edge of pavement to back of curb, or six (6) inch standard curb and gutter.
17. **Underground Utilities.** Except for junction boxes, meters and existing overhead utility lines or for technical or environmental reasons, all utility lines shall be underground.
18. **Restrictive Covenants/Homeowners' Association.** Prior to or concurrent with the recordation of the first subdivision plat approved by the County and before the conveyance of any portion of the Property covered by said subdivision plat (other than for the dedication of easements, roads or utilities), a document shall be recorded in the Clerk's Office of the Circuit Court of Henrico County, Virginia, setting forth controls on the development and maintenance of such portions of the Property. In addition, there shall be a Homeowner's Association of the owners of lots in the subdivision that shall be responsible for the enforcement of the restrictive covenants, including, but not limited to, maintenance of the lots, common areas and the private access strip referenced in Proffer 22.
19. **Sod and Irrigation.** The front, side and rear yards of all homes constructed on the Property shall contain sod and individual lot irrigation systems.
20. **Burning Prohibition.** There shall be no onsite burning of cleared trees, stumps, branches or construction debris.
21. **Severance.** The unenforceability, elimination, revision or amendment of any proffer set forth herein, in whole or in part, shall not affect the validity or enforceability of the other proffers or the unaffected part of any such proffer.
22. **Francistown Road Frontage Lots.** Homes on lots adjacent to Francistown Road shall face Francistown Road and be accessed by a twenty (20) foot private access strip that shall be built to Henrico County public road standards except as to pavement width. Driveways for homes located at the ends of the private access strip shall be transitioned from the access strip substantially in conformance with the

plans attached hereto as Exhibits A and B (see case file) which depict alternatives for the lot at the northernmost end of the access strip. The driveway for the lot at the southernmost end shall be a reverse image thereof. Prior to issuance of any certificates of occupancy for any homes utilizing the access strip, the Applicant shall provide the Planning Office with certification from a licensed engineering firm that the roadway within the access strip was constructed according to the approved subdivision plat and in compliance with Henrico County road design standards and specifications (except as to pavement width) to include proper compaction of the sub-base soils, utility trenches, base stone and asphalt surface. There shall be no structures within ninety (90) feet of the existing right-of-way of Francistown Road except for the entrance feature, walls or fences. No homes shall have direct access to Francistown Road.

23. **Construction Access.** All construction access to the Property shall be from Francistown Road.
24. **Fences for Yards.** No fence shall exceed seventy-two (72) inches in height. Any fences or walls greater than forty-two (42) inches in height must be constructed of finished masonry or constructed with a combination of masonry piers and aluminum, metal, or cast iron pickets. No wooden stockade-type fences or chain link fences shall be permitted.

The Planning Department has been advised of the action of the Board of Supervisors and will revise its records.

Sincerely,



John A. Vithoulkas  
County Manager

pc: William F. Reid & Jacqueline M. Reid  
Director, Real Estate Assessment



NORTH

REIDS POINTE ROAD

REIDS POINTE

SHIMMERING LANE

25' LANDSCAPE STRIP

COMMON  
AREA

NUCKOLS ROAD

ARROWBROOK COURT

MEREDITH BRANCH DRIVE

SHOALS COURT

20' ACCESS STRIP  
25' LANDSCAPE STRIP

20' ACCESS STRIP  
25' LANDSCAPE STRIP

FRANCISTOWN ROAD

PONDS AT  
DANDRIDGE FAME  
SECTION A

MEREDITH BRANCH ESTATES  
SITE PLAN  
37 LOTS  
Brookland District  
Henrico County, Virginia  
Scale: 1"= 100' Date: March 17, 2015

8500 BELL CREEK ROAD  
MECHANICSVILLE, VA 23116  
(804) 569-7060  
FAX: (804) 569-7061

Consulting  
Engineers

**BAY**  
THE BAY COMPANIES

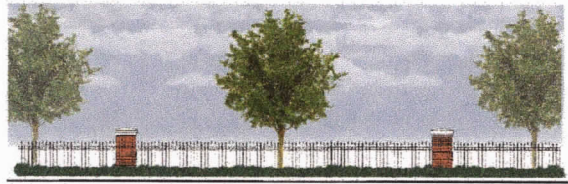
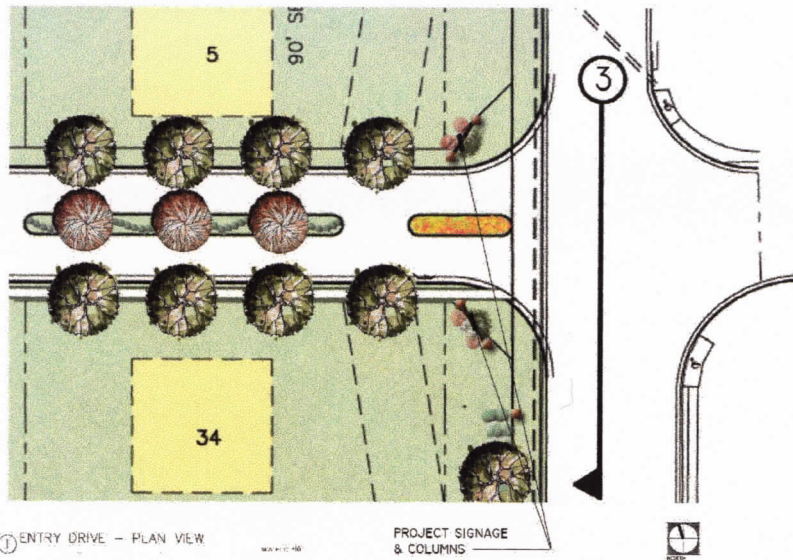
RICHMOND

JN: 14078

FILED: 14078\_exhibitA

REZ2015-00011

Landscape/Streetscape Planting Palette



Swamp White Oak



Pin Oak



Bald Cypress



Silver Linden



Green Ash 'Patmore'



Red Maple

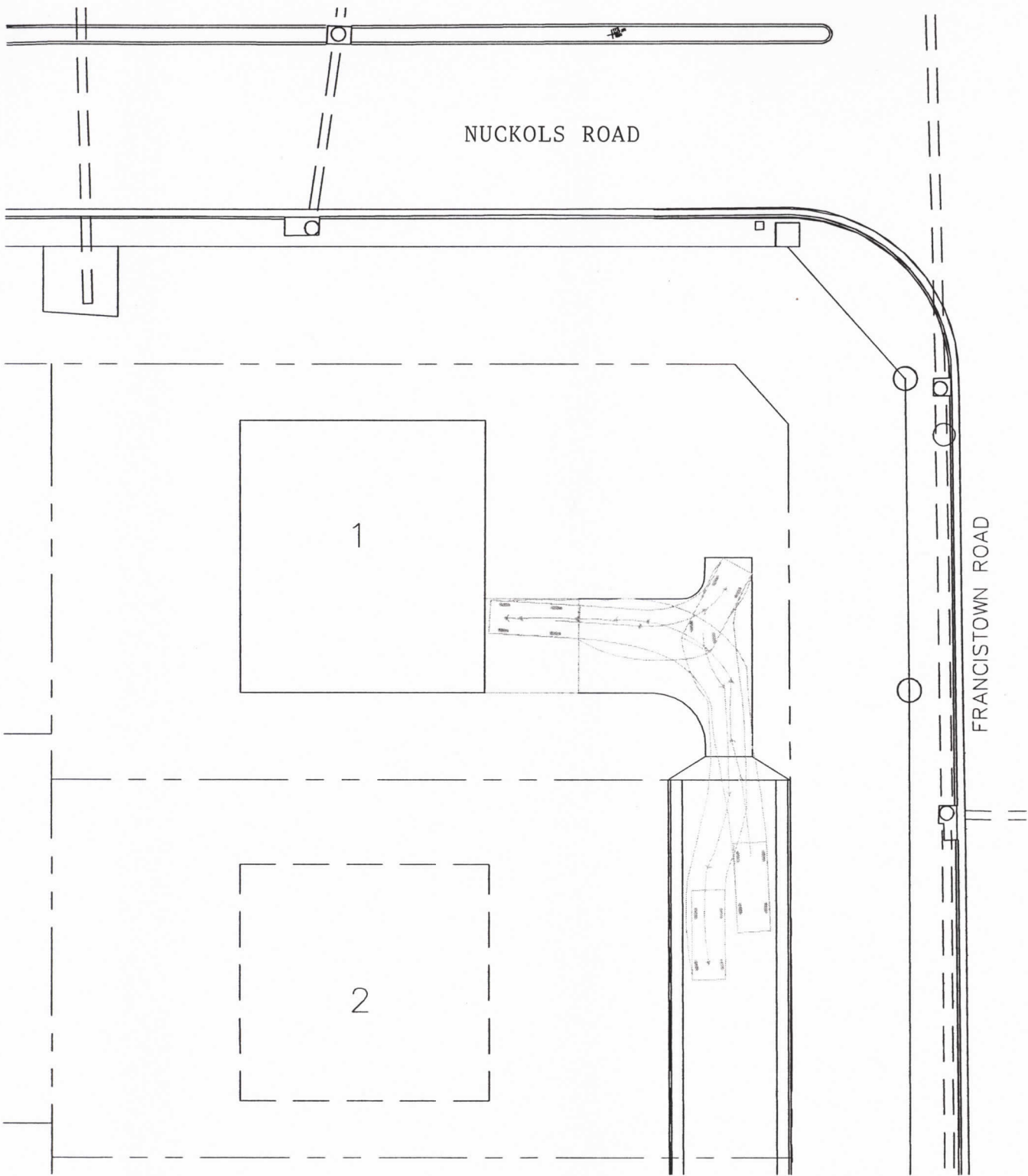


London Plane Tree



Sugar Maple





**Kimley-Horn  
and Associates, Inc.**

		P	feet
Width		: 7.00	
Track		: 6.00	
Lock to Lock Time		: 6.00	
Steering Angle		: 31.60	

**EXHIBIT A**

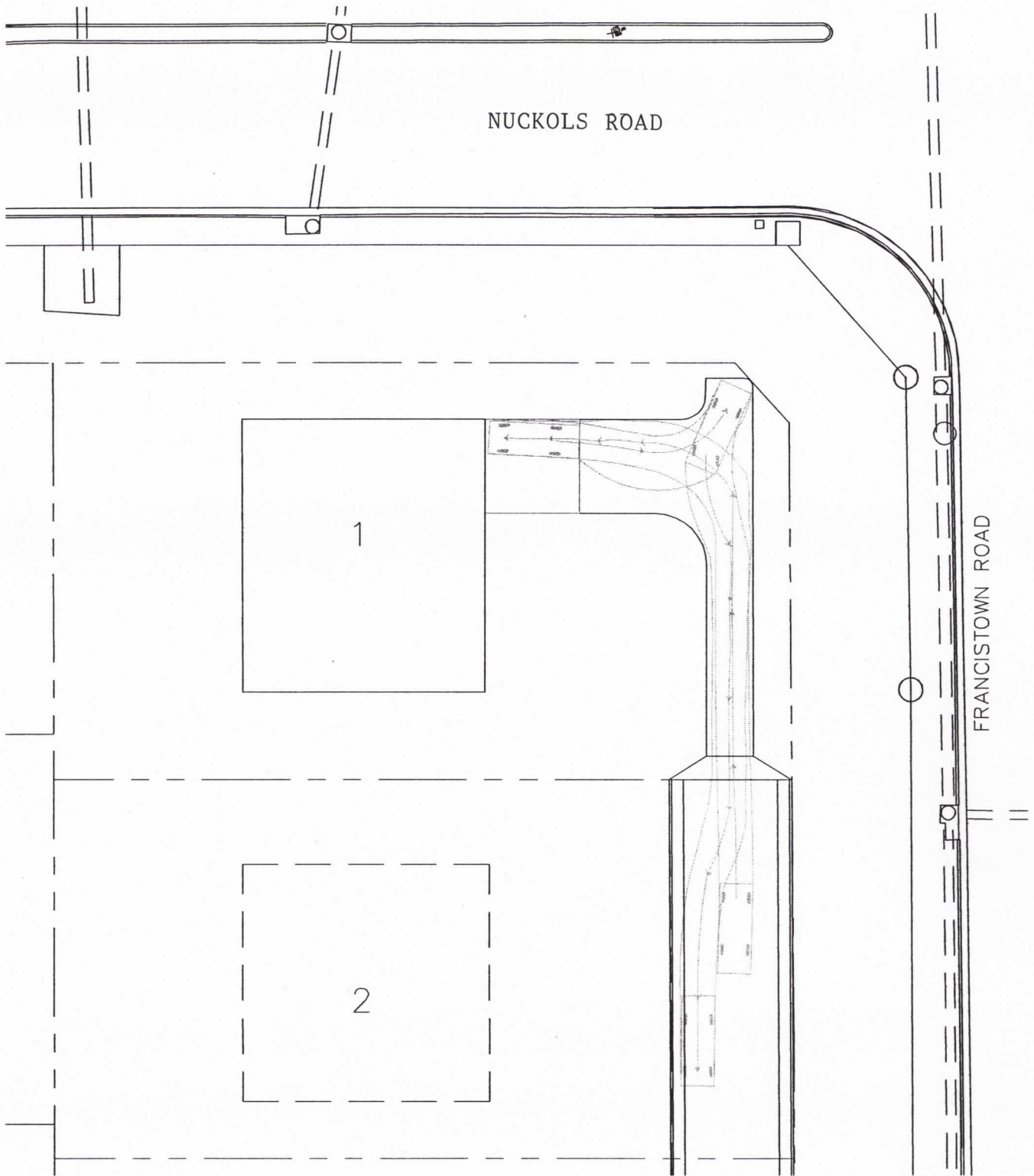
**C-14C-06**

**BEAZER  
HOMES**

DESIGNED	PC	SCALE	1"=30'
DRAWN	DHL	DATE	02/28/06
CHECKED	PC	JOB #	113031000

**1**





**Kimley-Horn  
and Associates, Inc.**

	19.00	P	feet
	Width	:	7.00
	Track	:	6.00
	Lock to Lock Time	:	6.00
	Steering Angle	:	31.60

**EXHIBIT B**

**C-14C-06**

*BEAZER  
HOMES*

DESIGNED	PC	SCALE	1"=30'
DRAWN	DHL	DATE	02/28/06
CHECKED	PC	JOB #	113031000