



COMMONWEALTH OF VIRGINIA  
**COUNTY OF HENRICO**

John A. Vithoulkas  
County Manager

August 18, 2015

Mr. Michael & Mrs. Angela Kelly  
6813 Cluck Lane  
Henrico, VA 23231

Re: Rezoning Case REZ2015-00016

Dear Mr. & Mrs. Kelly:

The Board of Supervisors at its meeting on August 11, 2015, granted your request to conditionally rezone from A-1 Agricultural District to R-2AC One-Family Residence District (Conditional) Parcel 823-696-3910 containing 3.955 acres located on the northwest line of Henry Ward Boulevard approximately 490' north of Darbytown Road, described as follows:

Beginning at point marked by a found rod on the western line of Henry Ward Boulevard being 168.31' more or less south of the centerline of Stansfield Court; thence along the western line of Henry Ward Boulevard S 38°02'04" W 700.95' to a point marked by a rod to be set; thence leaving said road N 74°22'40" W 76.19' to a point marked by a rod to be set; thence N 00°41'23" W 576.42' to a point marked by a found pipe; thence S 85°40'31" E 56.13' to a point marked by a found pipe; thence S 84°50'35" E 141.80' to a point marked by a found rod; thence S 84°57'17" E 316.22' to the point and place of beginning containing 3.955 acres.

The Board of Supervisors accepted the following proffered conditions, dated July 28, 2015, which further regulate the above described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

1. **Foundations.** All new houses shall be constructed on a crawl space foundation, except for garages and basements. The exterior portion of all the dwelling foundations below the first floor level which are visible above grade, shall be brick or stone. Any dwellings with a fireplace other than direct vent gas fireplaces or appliances shall have masonry chimneys faced with brick or stone, similar to the foundation.



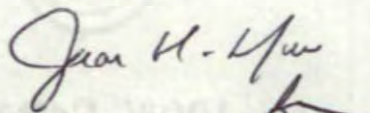
2. **Exterior Building Materials.** All building materials used on the exterior of all new dwellings shall be either brick, stone or cement board (Hardi Plank) or vinyl. All vinyl siding shall have a minimum thickness of .044. All new dwellings shall have a minimum of 30 year dimensional shingles for roof covering. All porch railings and or columns shall be made of vinyl or powder coated aluminum. Minimum porch columns shall be 6"x6" in size.
3. **Architecture.** No two homes side by side shall be the same floor plan or have the same exterior color scheme.
4. **Garages.** A minimum of 5 of the dwellings shall have garages and 60% of all garages shall either be side or rear load.
5. **Steps and Stoops.** Steps to the main entrance of homes shall be made of brick, stone or a composite type of decking. Risers shall be PVC if using the composite method. Dwellings with country front porches shall have piers made from brick or stone. The space beneath the porch and between the piers shall be enclosed with vinyl or PVC lattice. No salt treated material shall be visible from the front façade of any dwelling. Any salt treated country front porch floors shall be painted or stained. Salt treated decks will be permitted. All decks must be located behind the dwelling and must not be visible from the street. A minimum post size of 6"x6" shall be used for foundations and rail post on decks.
6. **Cantilevers.** There shall be no cantilevers on any portion of the first floor.
7. **Sidewalks.** All dwellings shall have a sidewalk from the front steps to the driveway. The sidewalk shall be constructed of concrete, stone in concrete or pavers. No "stepping stones" will be allowed.
8. **Minimum House Size.** The minimum finished and heated square footage of all dwellings shall be as follows; (A) One Story = 1,700 S.F.; (B) Two Story = 2,200 S.F.; (C) Cape = 2,200 S.F.
9. **Construction Hours.** Construction Hours shall be between 6:30 a.m. to 6:30 p.m. Monday through Fridays and 9:00 a.m. to 6:00 p.m. on Saturday, except in cases of emergencies.
10. **Clearing Limitations.** The clearing of trees shall be limited to that necessary for dwellings, driveways and customary accessory structures.
11. **Fences.** Chain Link, barbed wire, fences with metal posts and wire fences are prohibited.



12. **Driveways.** All driveways and parking areas shall be constructed of asphalt or concrete. The asphalt or concrete shall be applied within 180 days of issuance of a Certificate of Occupancy.
13. **House Style.** A minimum of 4 of the houses constructed on the lots will be two story or Cape style homes.
14. **Utilities.** All proposed utilities shall be placed underground with the exception of meters, transformers, pedestals and existing overhead lines.
15. **Exterior.** At least 3 of the homes constructed shall have a minimum of 33% brick or stone or a combination thereof, for covering on the front façade.
16. **Severance.** The unenforceability, elimination, revision or amendment of any proffer set forth herein, in whole or part, shall not affect the validity or enforceability of the other proffers or the unaffected part of any such proffer.
17. Homes shall be of a Colonial, Transitional, Craftsman, or similar style, and be generally consistent with the elevations illustrated in Exhibit A (see case file).
18. The maximum density will be 7 lots.

The Planning Department has been advised of the action of the Board of Supervisors and will revise its records.

Sincerely,



John A. Vithoulkas  
County Manager

pc: Director, Real Estate Assessment  
Tiffany S. Hinton, Ph.D., Dir. Research and Planning - Schools





EXHIBIT A  
1 OF 4

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EXHIBIT A  
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EXHIBIT A  
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EXHIBIT A  
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