

SUBJECT PROPERTY

REZ2016-00036

Zoning

Amend Proffered Conditions

(C-8C-07)

Tuckahoe District

400

Scale bar and North arrow

PS August 2016

Ref: 745-740-6503



John A. Vithoulkas
County Manager

November 15, 2016

Gaskins & Patterson, Inc.
4901 Libbie Mill East Boulevard
Suite 200
Henrico, VA 23230

Re: Rezoning Case REZ2016-00036

Dear Sirs:

The Board of Supervisors, at its meeting on November 9, 2016, approved your request to amend proffers accepted with Rezoning case C-8C-07 on Parcels 745-739-4198, -4395, -4692, -4889, -5186, -6476, -6779, -7081, -7385, 745-740-3007, -3305, -3703, -4125, -4623, -4921, -5320, and part of 745-740-6503 located on the north line of Derbyshire Road approximately 1145' east of its intersection with N. Gaskins Road.

The Board of Supervisors accepted the following proffered conditions, dated October 4, 2016, which further regulate the above described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

4. **Buffers.** All of the buffer areas set forth in Proffers 2 and 3, inclusive, shall permit, to the extent requested or required: (a) utility easements required by Virginia Power, Richmond Gas, Verizon and Henrico County or their successors; (b) drainage, sanitary sewer and site distance easements required by government bodies; (c) pedestrian access ways, (d) retaining walls, and (e) fences along Derbyshire Road. Dead, diseased, unsightly or fallen trees and undergrowth may be removed, taking care to not damage remaining healthy trees in the buffer, and shall be replaced with trees which, when they reach maturity, will be of comparable size and height to the trees which they replaced as determined at the time of Landscape Plan review. Supplemental plantings and landscaping, as approved at the time of Landscape Plan review, shall be provided and permitted in all of the aforesaid buffer areas, provided that these plantings and the processes used to plant them do not damage or threaten damage to any remaining healthy trees in the buffer. Specific supplemental plantings and landscaping as shown on the landscape plans approved as part of POD 2015-00250 (see case file), as may be amended with the approval of the Planning Commission, shall be provided and permitted in the buffers referenced in Proffers 2 and 3, provided that these plantings and the processes used to plant them do not damage or threaten damage to any remaining healthy trees in the buffer. Any supplemental landscaping which falls, dies or becomes diseased, shall be removed and replaced with material which, when it reaches maturity, will be of comparable size and height to the material which it replaces. Any easements permitted under this Proffer 4 shall run generally perpendicular to the property line at the point nearest the easement, unless already existing or otherwise specifically permitted or required at the time of the Plan of Development. Areas disturbed for required utility and drainage

easements shall be restored to the maximum degree permitted by utility companies and Henrico County (as determined at the time of Plan of Development) and shall thereafter be maintained by the Owner of the Property. If any required easements necessitate activity within the property lines of adjoining property owners, the desires of those property owners with regard to repair or reclamation of the affected portions of their property shall be sought, considered and (unless they are clearly unreasonable) implemented by the developer at no expense to the property owner.

5. **Fences.** Any fence built on townhome lots backing up to Derbyshire Road shall be built to the north of the buffer. The finished side of any fence built within the common area along Derbyshire Road shall face Derbyshire Road, such fence being not less than ten (10) feet from the right-of-way line of Derbyshire Road. Any fence built parallel to the eastern boundary of the Property shall be constructed on the west side of the buffer. Chain link fences shall be prohibited. The footing and gate posts of any fence built on townhome lots shall be set in concrete and the style and materials shall be uniform for each housing type.

The Planning Department has been advised of the action of the Board of Supervisors and will revise its records.

Sincerely,



John A. Vithoulkas
County Manager

pc: GSC Associates, LLC
Ryan M. Andrew
Leroy F. Millette, Jr.
M. Elizabeth Millette
Timothy A. Skansi
Brenda R. Skansi
James W. Theobald, Esquire
Director, Real Estate Assessment



REZ2016-00036 090916

Project: GRAYSON HILL - PHASE 5

Location: Henrico County, Virginia

Scale: 1" = 20'

Sheet #: L100

DATE: 08.03.16

REVISION DESCRIPTION:

DATE:

REVISION DESCRIPTION:

DATE:

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BUFER AMMENDMENT LANDSCAPE PLAN

Urban Design | Town Planning | Landscape Architecture

Drawings were prepared at the Cite Design Office
 310 N. Adams Street, Richmond, VA 23220
 P.804.340.2848 F.804.340.2656

datedesign

STATUS: CONCEPTUAL DESIGN.



Project: GRAYSON HILL - PHASE 5

Location: Henrico County, Virginia

Scale: 1" = 20'

Sheet #: L100

Project Title: BUFFER AMMENDMENT LANDSCAPE PLAN

REVISION DESCRIPTION	DATE
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 310 N. ADAMS STREET, RICHMOND, VA 23220
 P.804.340.2848 F.804.340.2656

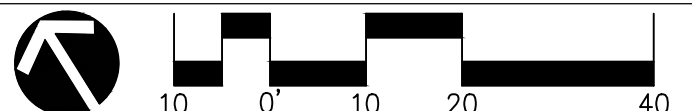
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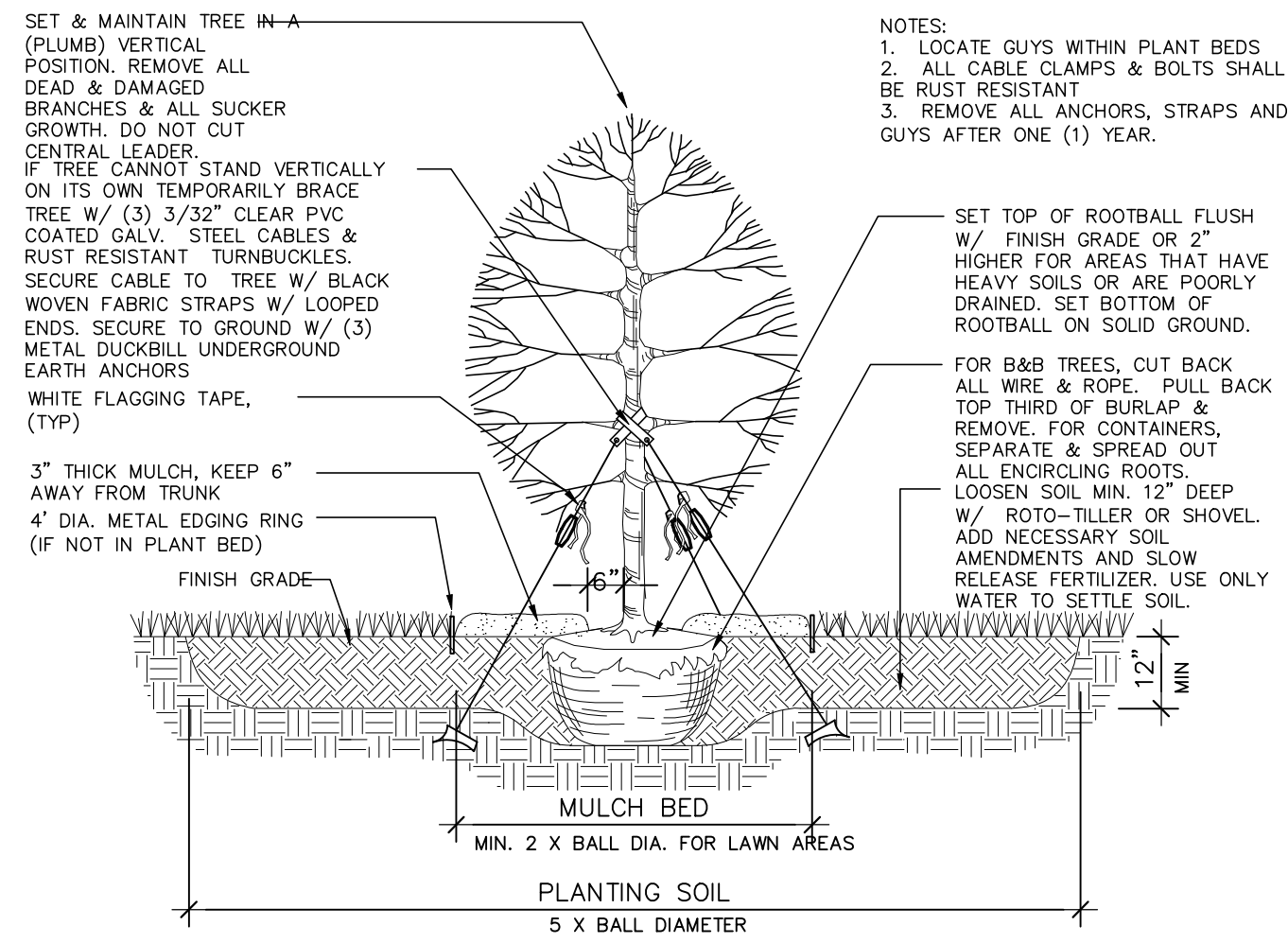
STATUS: CONCEPTUAL DESIGN.
NOT FOR CONSTRUCTION

REZ2016-00036

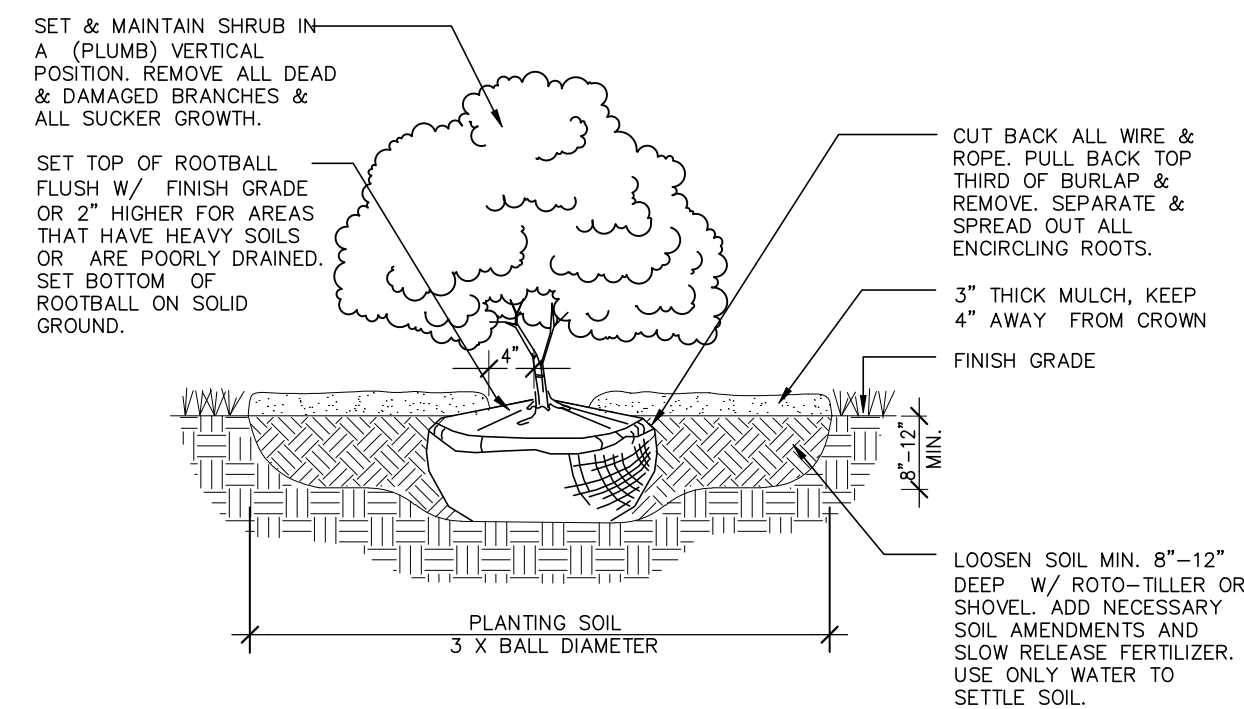
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TREE PLANTING
NOT TO SCALE



SHRUB PLANTING
NOT TO SCALE

Planting Notes:

- The utilities shown are for the contractor's convenience only. There may be other utilities not shown on these plans. The landscape architect assumes no responsibility for the locations shown and it shall be the contractor's responsibility to verify the locations of all utilities within the limits of work. Contractor shall contact "Miss Utility" and have all underground utilities marked prior to any land disturbance operations.
- Contractor shall verify plant material quantities shown on plan with totals in planting schedule. Notify Landscape Architect of any discrepancies prior to final bidding.
- All plant materials shall be guaranteed for one full year to be in a healthy growing condition. Plant materials which do not fulfill this guarantee shall be replaced at no cost to the owner. Replacement shall be guaranteed throughout the original guarantee period. Plants that die shall be replaced immediately.
- Contractor is responsible for watering all plant material during installation and until final inspection and acceptance by owner. Contractor shall not assume irrigation system is fully operational at completion of planting installation.
- Contractor is responsible for contacting Miss Utility prior to beginning of construction for location of all utility lines. Trees shall be located a minimum of 5 feet from sewer/water connections.
- All plant materials, topsoil, mulch, fertilizers, soil amenities, planting supplies and methods shall be subject to LA approval. Rejected materials shall be removed from the site without delay.
- All plant materials and planting methods shall conform to A.A.N. Standards.
- Contractor shall layout and mark location for all plant material, planting, and improvements shown and request in field approval from LA.
- Beds to contain shrubs or ground cover shall be tilled to a depth of 6" and the soil conditioned by adding clean, well rooted manure. If existing soil is considered to be unusable by owner, beds shall be treated to eliminate weeds and weed seeds.
- All planting bed areas shall be covered with a 3" min. layer of medium texture shredded hardwood mulch unless otherwise noted.
- All substitutions of plant material shall be requested in writing to the landscape architect and approved in writing by the owner.
- All planting operations shall be under the supervision of an experienced plantsman.
- For trees balled in wire baskets, cut and remove top and sides of basket after installation.
- Landscape Architect reserves the right to reject any plants and materials that are in an unhealthy or unsightly condition, as well as plants and materials that do not conform to A.A.N. Standards. See American Standard For Nursery Stock (current edition).
- Soil shall be free of all weeds.
- Any area within the limit of work that is disturbed shall be either re-seeded or mulched to match existing conditions.
- Landscape areas to be irrigated. Irrigation plans to be designed by others.

GRAYSON HILL PHASE 5 BUFFER PLANT SCHEDULE						
EVERGREEN TREES						
QTY	KEY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	NOTES
3	TON	<i>Thuja occidentalis 'Nigra'</i>	Nigra Arborvitae	6-8' MIN.	3 1/2 - 5'	B&B, full well formed to ground, uniform, symmetrical branching, full specimen.
SHRUBS						
QTY	KEY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	NOTES
28	IGS	<i>Ilex glabra 'Shamrock'</i>	Shamrock Inkberry Holly	18" min.	15 - 18"	3 gal., healthy, full well formed, rooted & established in container
GRASSES						
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COLOR	NOTES
42	PVS	<i>Panicum virgatum 'Shenandoah'</i>	Shenandoah Switchgrass	3 GAL.		Planted 24" o.c., healthy, full well formed, rooted & established in container
GENERAL NOTES						
Mulch to be shredded hardwood bark mulch. To match existing mulch used.						
Disturbed areas shall be reseeded to match existing.						

Plant Schedule Explanatory Notes:

- The following plant palette is prepared as a selection of planting materials.
- Where an abbreviation is shown, the following notes apply:
 Quan. - quantity of plant materials required for the project.
 (Note: contractor responsible to verify quantities indicated. Plan shall take precedence over schedule).
 Abbrv. - Botanical abbreviation
 Botanical/common - name of plant material
 Height - height of plant material
 Spread - diameter of plant material
 Cont. - container type in which plant material is encased upon site delivery (size shall take precedence over container).
 Spacing - distance from center of each plant (plan shall take precedence over schedule)
 Cal. - caliper/diameter of trunk (refer to specs for more information - caliper shall take precedence over height and spread)
 Notes - specific notes further specifying or describing plant material
- The contractor shall locate all proposed and existing utilities prior to the beginning of work. The contractor shall repair any damage to utilities that are disturbed as a result of the work.
- The contractor shall maintain all grassed areas, including the repair of erosion areas, until the grass has reached the level of final acceptance and throughout maintenance contract period, if applicable.
- All areas that are disturbed by construction inside or outside the limit of work shall be repaired, graded, and grassed.
- All plant beds shall receive double shredded hardwood mulch at a depth of 3".
- All existing trees to be saved will have tree barricades installed around them prior to beginning of demolition. All work in those areas is to be done by hand. Fences shall be maintained and kept in place at all times.
- Provide erosion control where slopes are greater than 3:1 and where erosion is reoccurring.
- All tree, shrub, and ground cover materials shall be planted within 24 hours after delivery.
- Apply weed germination inhibitor ("Preen" or equal) to all plant bed areas.
- Any plants located in direct sun shall be nursery sun grown.



LANDSCAPE SCHEDULE AND PLANT NOTES

Project: GRAYSON HILL - PHASE 5

Location: Henrico County, Virginia

URBAN DESIGN | TOWN PLANNING | LANDSCAPE ARCHITECTURE

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