

**REZ2017-0009**

**Zoning**

**Commercial**

Tuckahoe District

400

Feet



PS January 2017

Ref: 741-741-6996



COMMONWEALTH OF VIRGINIA  
COUNTY OF HENRICO

John A. Vithoukas  
County Manager

April 18, 2017

Adams & Wilson Development  
835 Lowcountry Boulevard  
Mt. Pleasant, SC 29464

Re: Rezoning Case REZ2017-00009

Dear Sirs:

The Board of Supervisors at its meeting on April 11, 2017, granted your request to conditionally rezone O-2 Office District to B-2C Business District (Conditional) Parcel 741-741-6996 containing 0.586 acres located at the southeast intersection of Patterson Avenue (State Route 6) and Pump Road, described as follows:

All those certain lots, pieces or parcels of land lying and being in Tuckahoe Magisterial District, Henrico County, Virginia, designated as Parcel "A" and Parcel "B" on that certain plat of survey entitled "Plat of Several Parcels of Land on the East Side of Pump Road Between Patterson Avenue and Castle Road," dated July 18, 1978 and made by J.K., Timmons & Associates, Inc., a copy of which is attached to and recorded with a Deed in Deed Book 2008, Page 1316 and incorporated herein by this reference.

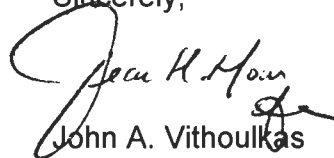
The Board of Supervisors accepted the following proffered conditions, dated March 22, 2017, which further regulate the above described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

1. **Concept Plan.** The property shall be developed in general conformance with the conceptual rendering attached hereto entitled "Take 5 Oil - 10571 Patterson Avenue - Site Plan - Option 1 ", dated August 17, 2016, prepared by American Engineering - Southeast PA, Inc. (see case file), which Concept Plan is conceptual in nature and may vary in detail, unless otherwise requested by the owner and specifically approved at the time of Plan of Development.
2. **Building Exterior.** The building constructed shall be substantially similar to the elevation attached to this rezoning case (see Exhibit "A"), unless revisions to these elevations are specifically requested by the Planning Commission during the Plan of Development review and approval.
3. **Prohibited Uses.** The following uses shall not be permitted on the property:
  - a. Fast food restaurants
  - b. Billiard parlors
  - c. Recycling collection facilities

- d. Towing services
  - e. Gun shop sales and repairs
  - f. Motels
4. **Speakers.** No public address or speaker systems outside of any building shall be permitted.
  5. **HVAC Units.** HVAC Units shall not be located on the exterior of the building.
  6. **Dumpster Enclosure.** Dumpster shall be enclosed in masonry materials except for gates. Gates shall be of opaque materials. The screening materials shall be of CMU material matching the building.
  7. **Exterior Lighting.** All lighting standards on the premises shall be no more than twenty (20) feet in height. Lighting shall be reduced to minimum security levels after hours.
  8. **Signage.** There shall be one (1) ground-mounted monument style sign on-site, not to exceed 8' in height.
  9. **Severability Clause.** The unenforceability, elimination, revision or amendment of any proffer set forth herein, in whole or in part, shall not affect the validity or enforceability of the other proffers or the unaffected part of any such proffer.

The Planning Department has been advised of the action of the Board of Supervisors and will revise its records.

Sincerely,

  
John A. Vithoulkas  
County Manager

pc: ARCOPR II, LTD.  
Mr. Scott Stone  
Ms. Sara Shirley  
Director, Real Estate Assessment  
Police, Special Services



Site Plan - Option 1

Take 5 Oil - 10571 Patterson Avenue

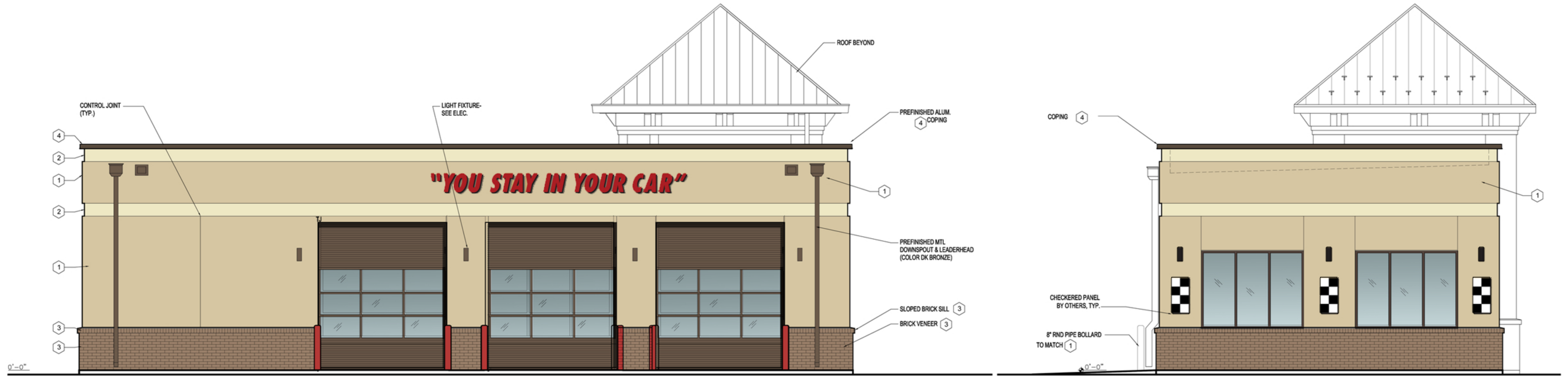
Patterson Avenue, Henrico County, Virginia



REZ2017-00009

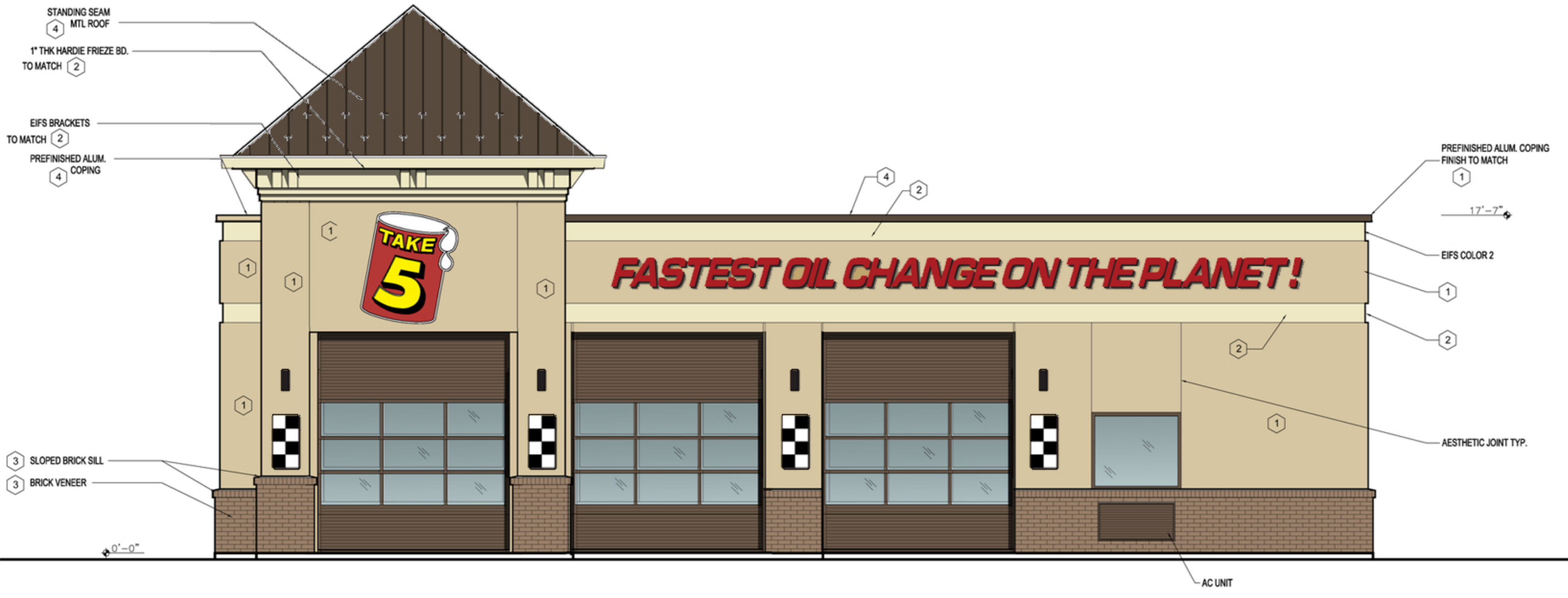
Scale: 1" = 25'-0"  
 August 17, 2016

EXHIBIT A: TYPICAL BUILDING ELEVATION

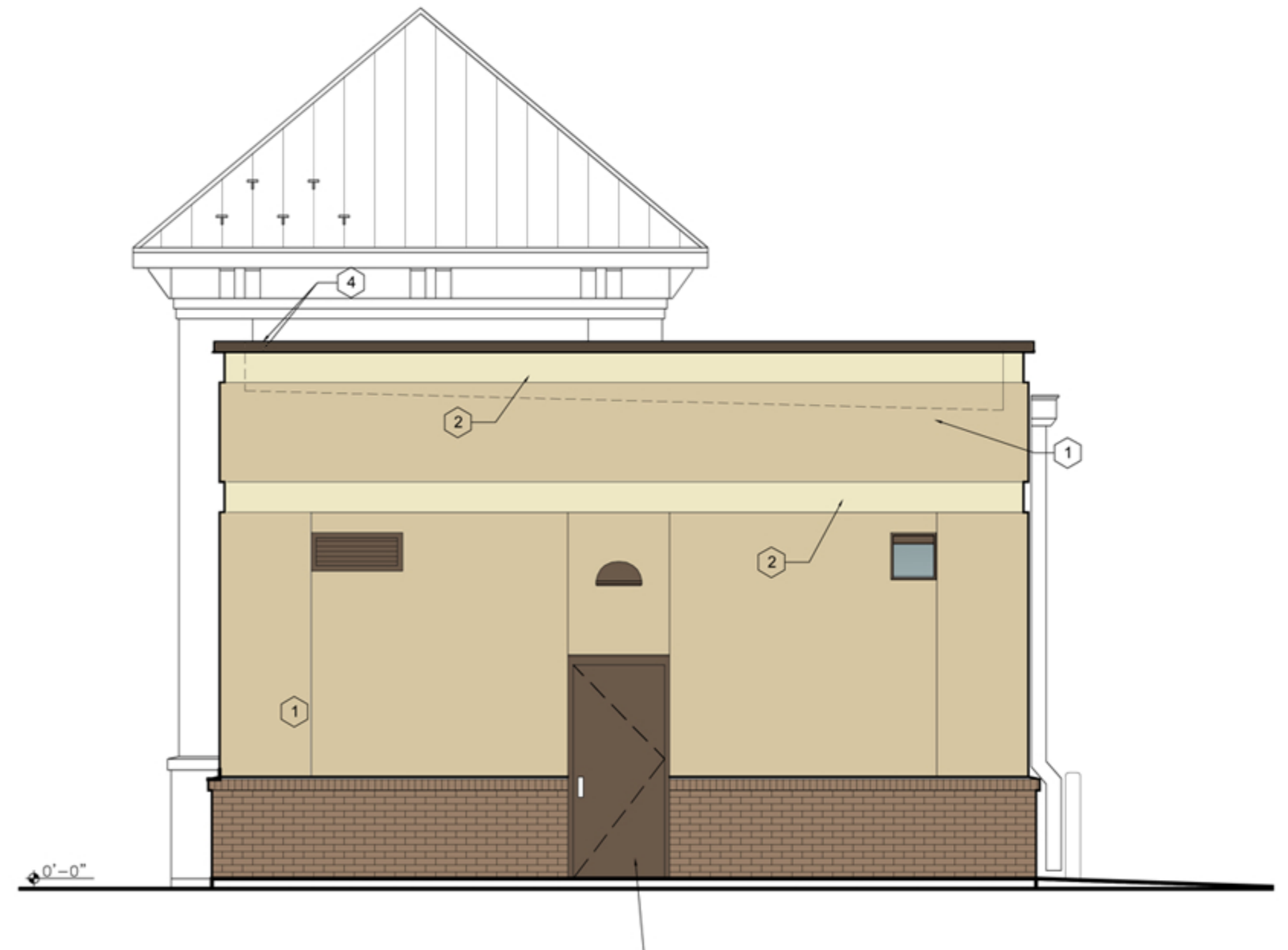


1 WEST ELEVATION  
A-200 1/4"=1'-0"

3 SOUTH ELEVATION  
A-200 1/4"=1'-0"



2 EAST ELEVATION  
A-200 1/4"=1'-0"



4 NORTH ELEVATION  
A-200 1/4"=1'-0"

EXTERIOR FINISH SCHEDULE

NO.	AREA	TYPE	COATS	COLOR
1	EIFS MAIN COLOR	-	-	COLOR SELECTED BY ARCHITECT MATCH SW COLOR #7693, STONEBRIAR
2	EIFS ACCENT BAND	-	-	COLOR SELECTED BY ARCHITECT MATCH SW COLOR #7678, COTTAGE CREAM
3	BRICK	-	-	COLOR SELECTED BY ARCHITECT HENRY BRICK CO. MFG. "OLE CAHABA"
4	COPING / CORNICE	-	-	COLOR SELECTED BY ARCHITECT FIRESTONE KYNAR 500 'EXTRA DARK BRONZE'
5	EIFS SECONDARY COLOR	-	-	COLOR SELECTED BY ARCHITECT MATCH SW COLOR #6871, POSITIVE RED

EXHIBIT A

REZ2017-00009

TAKE 5 OIL CHANGE

FOR: TAKE 5 OIL CHANGE  
METAIRIE LA

1212 KENILWORTH AVENUE  
NORTH CHARLOTTE, NC 28204  
PHONE: 704.376.0600  
WWW.CHILDREY-ROBINSON.COM

**CHILDREY ROBINSON ASSOCIATES**  
ARCHITECTURE

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SEATS

REVISIONS

REV.	DESCRIPTION

DATE: 03-02-17

SHEET NUMBER: ELEVATIONS

A-200

Z:\000 PROJECT DRAWING FILES\T - V PROJECTS\TAKE 5 LEXINGTON SC\BASE 072116.DWG