

REZ2017-00016

Zoning

Retail Shops

Fairfield District

400

Feet

PS April 2017

Ref: 784-752-5293



John A. Vithoulkas
County Manager

COMMONWEALTH OF VIRGINIA
COUNTY OF HENRICO

July 18, 2017

GMB Trading, LLC
7010 Three Chopt Road
Richmond, VA 23226

Re: Rezoning Case REZ2017-00016

Dear Sirs:

The Board of Supervisors, at its meeting on July 11, 2017, approved your request to conditionally rezone from O-1 Office District to B-1C Business District (Conditional) Parcel 784-752-5293 containing .644 acres located at the northwest intersection of Brook Road (U.S. Route 1) and Ridge Road, described as follows:

BEGINNING at a point at the intersection of the west line of Brook Road (U.S. Route 1) and north line of Ridge Road; thence along said north line of Ridge Road S 84°22'44" W 170.11' to a found rod on the east line of a 16' alley; thence along said east line of a 16' alley N 05°40'00" W 165.00' to a found rod; thence S 84°22'44" W 170.12' to a found rod on the west line of Brook Road; thence along said west line of Brook Road N 05°40'00" W 165.00' to the point and place of beginning.

The Board of Supervisors accepted the following proffered conditions, dated June 13, 2017, which further regulate the above described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

1. **Conceptual Plan.** The Property shall be developed in general conformance with the conceptual rendering entitled "7500 BROOK ROAD, SCHEMATIC LAYOUT, HENRICO COUNTY, VIRGINIA", prepared by SILVERCORE Land Development Consultants, and dated May 15, 2017 (the "Concept Plan") (see case file), Sheet 1 of 2, which is conceptual in nature and the exact locations, footprints, configurations, size, and details of the drives, roads, buildings and other improvements shown on the Concept Plan are illustrative and may be subject to change and may be updated from time to time as required for final engineering design, compliance with governmental regulations or as otherwise approved at the time of plan of development review of the Property.
2. **Landscaping.** A landscape strip a minimum of ten feet in width shall be provided as generally shown on the Concept Plan as "10' TRANSITIONAL BUFFER", which shall be planted per the transitional buffer 10 requirements of the Henrico County Code, provided that the buffer along Brook Road shall be planted to the

requirements set forth in the West Broad Street Overlay District pursuant to Section 24-92.3(e)(2) of the Henrico County Code, all as generally shown on the Concept Plan (see case file), Sheet 2 of 2, subject to such revisions as may be approved at the time of Plan of Development review. Sidewalks, drive entrances, utility easements, fencing/walls and signage shall be permitted within such buffer.

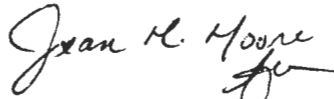
3. **Wall.** A screening wall constructed of stone, brick or other masonry product such as textured precast concrete product, a minimum of six (6) feet in height, shall be provided parallel to the rear (western) property line. Both sides of such wall are to be of a color and pattern similar to the building to be constructed, unless a different material, color or texture is requested and specifically approved at the time of Plan of Development review.
4. **Elevations.** Any building constructed on the Property shall be generally compatible with respect to building materials and architectural style with those shown on the conceptual elevations entitled "ELEVATIONS", prepared by MICHAEL PELLIS ARCHITECTURE, and dated June 6, 2017 (see case file), which elevations are conceptual in nature and may be revised as approved by the Planning Commission at the time of Plan of Development review.
5. **Best Management Practice.** Any Best Management Practice (BMP) structures shall be located outside of the required buffers, except as a landscaping amenity, water-related feature or incorporated as a rain-garden type BMP with landscaping and if specifically permitted at the time of Plan of Development review. Any above-ground wet BMP structure shall include an aeration feature to move water within such structure.
6. **Loading Docks.** Any loading docks, not to include doors for at-grade deliveries, shall be screened from public view at ground level as approved at the time of Plan of Development review by use of a wall, landscaping, or such other method as may be approved at the time of Plan of Development review.
7. **Trash and Recycling Receptacles.** Dumpsters, central trash and recycling receptacles (not including convenience cans) shall be screened from public view with a masonry enclosure compatible with the architectural design of the building at ground level at the boundary of the property as approved at the time of Plan of Development review. The gates and doors on the refuse screen shall be of a substantial and durable material as approved at the time of Plan of Development review. Convenience cans shall be within or part of a decorative container. Trash pickup shall be limited to the hours between 8:00 AM and 5:00 PM Monday through Saturday.
8. **Parking Lot Cleaning.** Parking lot cleaning shall be limited to the hours between 8:00 AM and 5:00 PM Monday through Saturday, exclusive of snow removal.

9. **Drainage and Utilities.** Except for junction boxes, meters, pedestals, transformers, transmission mains, relocated and/or existing overhead utility lines or for technical or environmental reasons, all new utility lines shall be underground.
10. **Parking Lot Lighting.** Parking lot lighting standards within the Property shall not exceed fifteen feet in height as measured from the grade of the lighting standard, except as otherwise approved at the time of Plan of Development review. Parking lot lighting shall be produced from concealed sources of light and shall not exceed one-half (1/2) foot candle at the boundaries of the Property.
11. **Road Amenities.** Sidewalks shall be installed or refurbished in or adjacent to the rights-of-way for Brook Road and Ridge Road parallel to the boundary line of the Property, unless otherwise prohibited by law or government regulation. Street level lighting shall be provided along the sidewalk on Brook Road as may be required at the time of Plan of Development review.
12. **Speakers.** No public address, speaker or paging systems shall be audible beyond the boundary line of the Property.
13. **Use Restrictions.** The following uses shall be prohibited:
 - a. Funeral home, mortuary and/or undertaking establishment;
 - b. Hospital or clinic for small animals, dogs, cats, birds and the like;
 - c. Parking lots, commercial;
 - d. Recycling collection facility;
 - e. Bars, for which purposes of this restriction shall mean a business establishment whose primary business is the sale of alcoholic beverages for on-premises consumption. This restriction shall not prohibit the sale of alcoholic beverages in restaurants as licensed by the Virginia Department of Alcoholic Beverage Control; and
 - f. Establishments whose primary business is check cashing and/or the making of payday loans as defined and regulated by Sections 6.2-2100 et seq. and 6.2-1800 et seq. of the Code of Virginia (1950), in effect as of the date of the approvals of these proffers (the foregoing shall not preclude banks, savings and loans or similar financial institutions that are not regulated by the foregoing Virginia Code sections).
14. **Signage.** Any detached signs shall be ground mounted, monument-type signs and shall not exceed six (6) feet in height.
15. **Construction Hours.** The hours of exterior construction, including operation of bulldozers and other earthmoving equipment, shall be between 7:00 a.m. and 7:00 p.m., Monday through Friday, between 8:00 a.m. and 5:00 p.m. on Saturday, and between 10:00 a.m. and 4:00 p.m. on Sunday, except in emergencies or where unusual circumstances require extending the specific hours in order to complete work, including, but not limited to, concrete pours or utility connections.

16. **Hours of Operation.** Hours of operation will be permitted between the hours of 6:00 a.m. and 10:00 p.m.
17. **Directional Signage.** Directional signage will be installed at the exit of the site prohibiting a right turn exiting the site, unless otherwise prohibited by law or government regulations.
18. **Severance.** The unenforceability, elimination, revision or amendment of any proffer set forth herein, in whole or in part, shall not affect the validity or enforceability of the other proffers or the unaffected part of any such proffer.

The Planning Department has been advised of the action of the Board of Supervisors and will revise its records.

Sincerely,



John A. Vithoulkas
County Manager

pc: AG Bertozzi Estate
Andrew M. Condlin, Esquire
Director, Real Estate Assessment

REV.	DATE	DESCRIPTION

DESIGN CONTACT: Jeff Staub
DRAWING SCALE: 1" = 20'
DATE: 5/15/2017

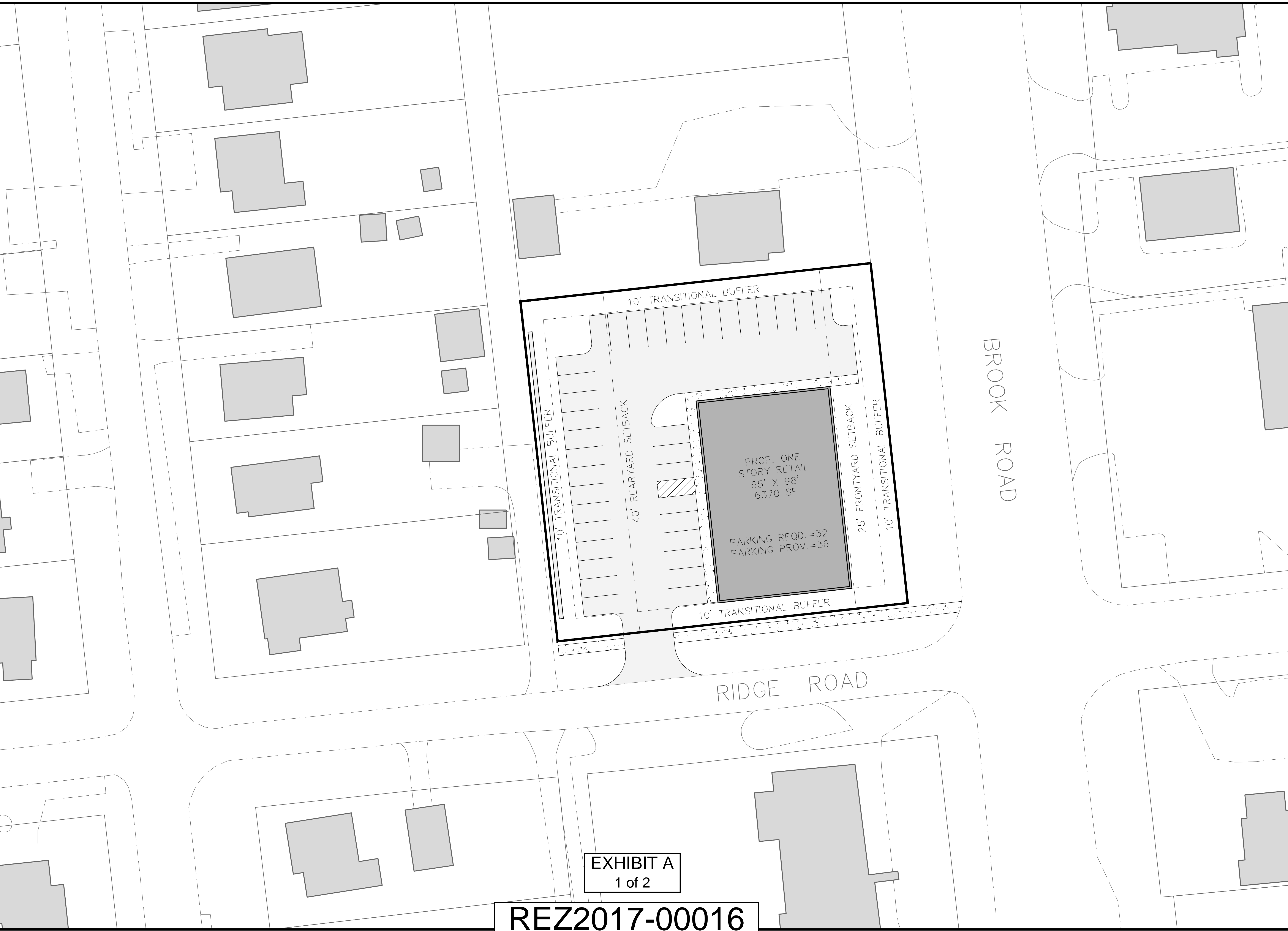
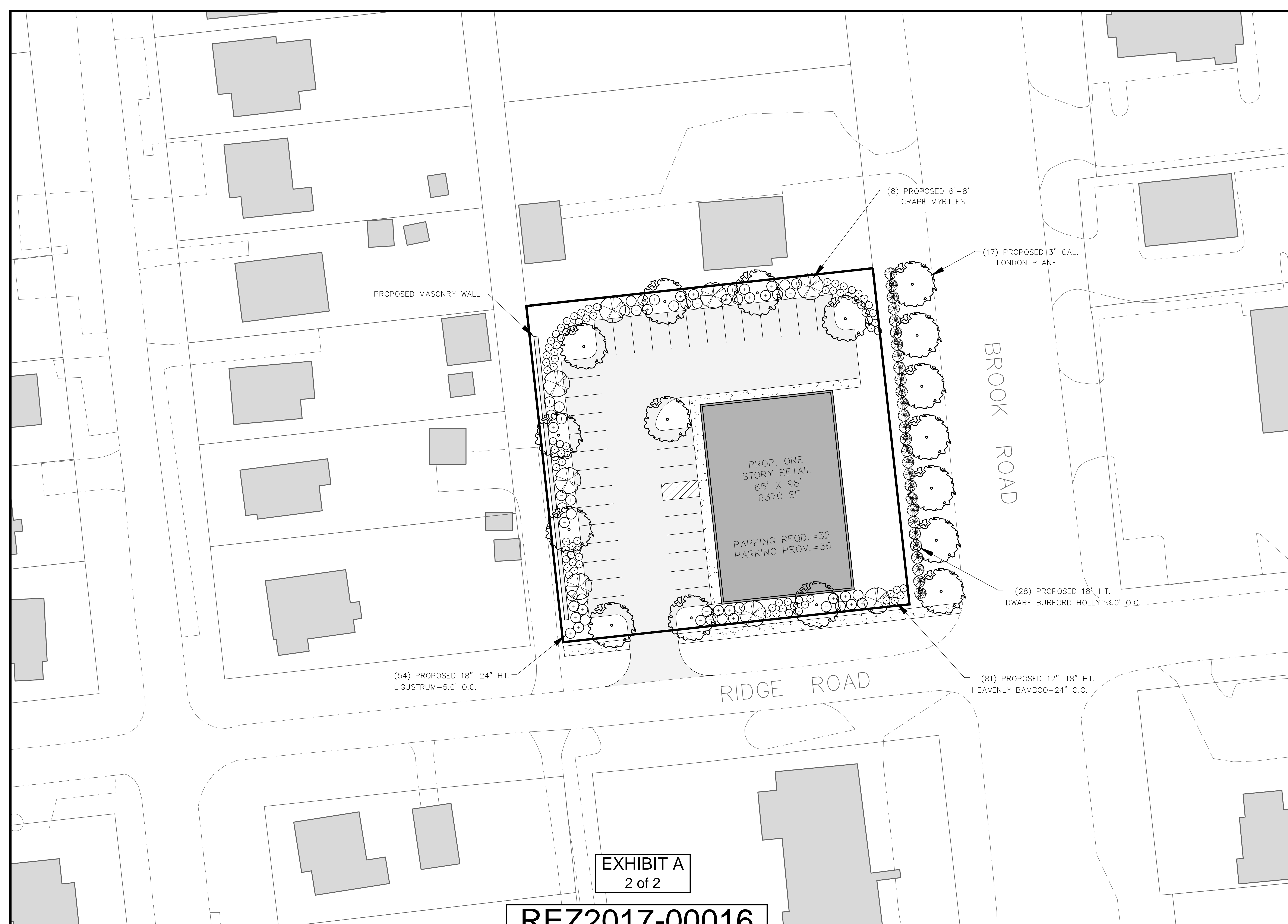



EXHIBIT A
1 of 2

REZ2017-00016





SILVERCORE
LAND DEVELOPMENT CONSULTANTS
7110 FOREST AVENUE – SUITE 204 RICHMOND, VA 23226 (804) 282-6900

7500 BROOK ROAD
SCHEMATIC LANDSCAPE
HENRICO COUNTY, VIRGINIA

REV.	DATE	DESCRIPTION

DESIGN CONTACT: Jeff Staub
DRAWING SCALE: 1" = 20'
DATE: 5/15/2017

SHEET
2 of 2

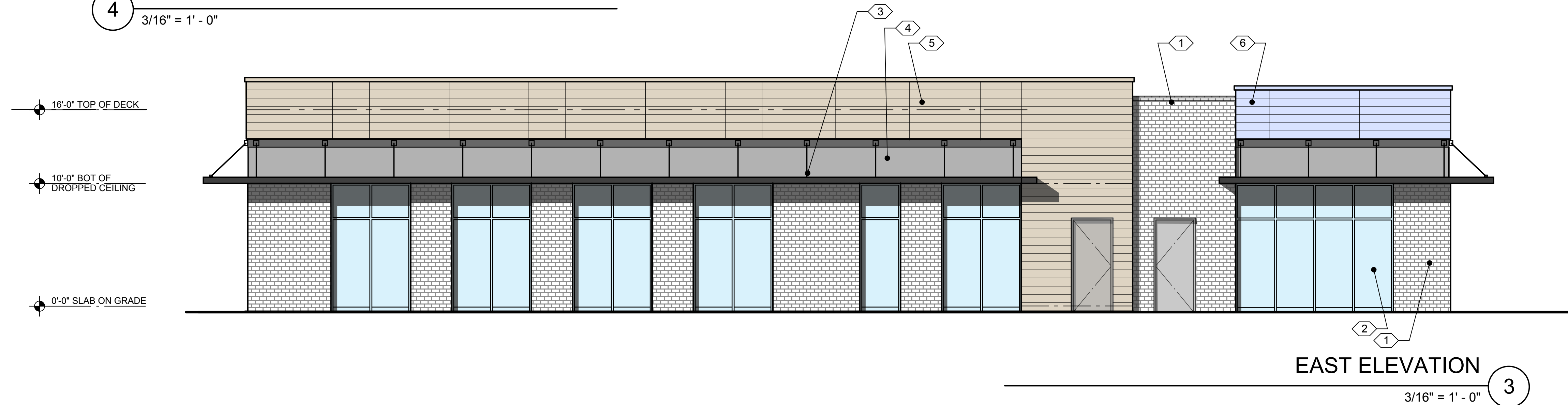
JOB #: 170209

EXHIBIT A
2 of 2

REZ2017-00016



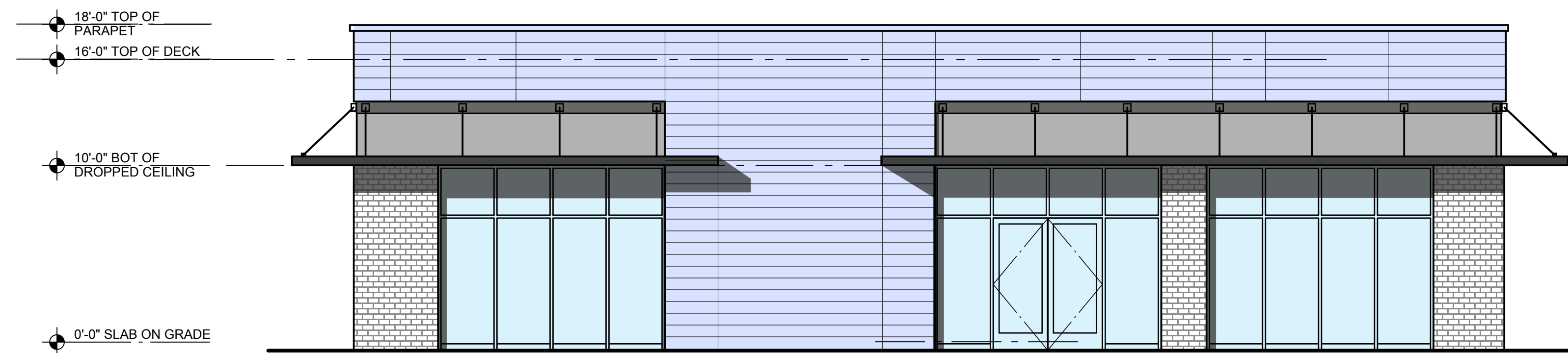
4 SOUTH ELEVATION
3/16" = 1' - 0"



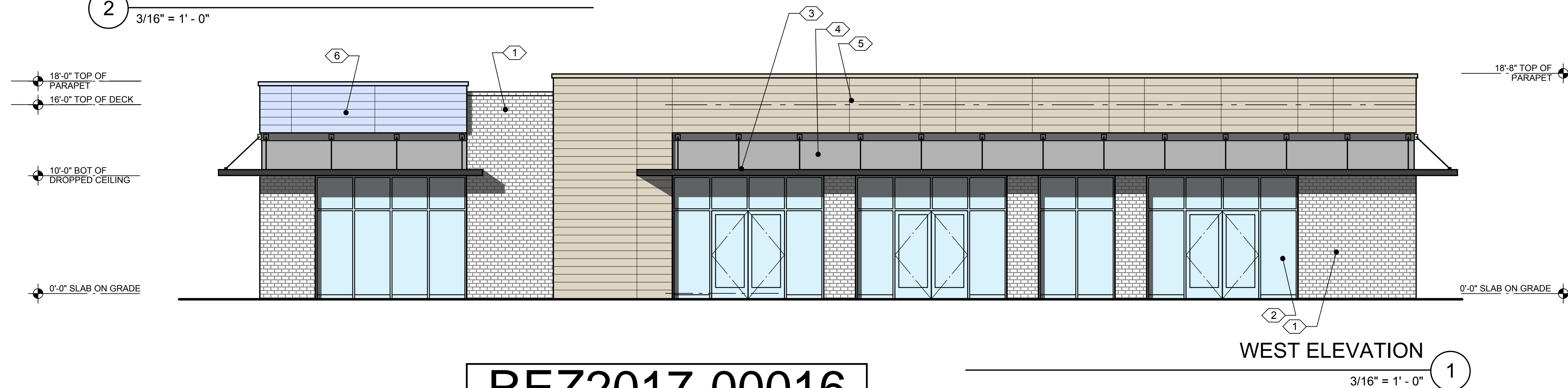
EAST ELEVATION

3/16" = 1' - 0"

3



2 NORTH ELEVATION
3/16" = 1' - 0"



WEST ELEVATION

3/16" = 1' - 0"

1

ELEVATION KEY NOTES

- 1 BRICK VANNER
- 2 ALUMINUM FRAMED GLASS STOREFRONT
- 3 METAL CANOPY WITH CABLE SUSPENSION SYSTEM
- 4 PANELS GREY - TRESPA, MEG OR METAL PANELS
- 5 PANELS BROWN - TRESPA, MEG OR METAL PANELS
- 6 PANELS BLUE - TRESPA, MEG OR METAL PANELS

REZ2017-00016

PROJECT:
NEW RETAIL/OFFICE BUILDING:
7500 BROOK ROAD, HENRICO, VIRGINIA

OWNER:
GMB TRADING LLC
7500 BROOK ROAD, HENRICO, VIRGINIA

ELEVATIONS

REVISIONS

N/A
N/A
N/A
N/A
N/A

A2.1

DATE
JUNE 6, 2017

MICHAEL PELLIS ARCHITECTURE
www.michaelpellis.com
804.212.9024
201 W. 7th St., Richmond, VA 23224