

REZ2018-00005

Zoning

Single-Family Residential
Three Chopt District

400 Feet

PS November 2017 Ref: 751-764-6608



COMMONWEALTH OF VIRGINIA
COUNTY OF HENRICO

John A. Vithoulkas
County Manager

June 19, 2018

John Chandler & Company, LLC
1100 Welborne Drive, Ste. 101
Henrico, VA 23229

Re: Rezoning Case REZ2018-00005

Dear Mr. Chandler:

The Board of Supervisors at its meeting on June 12, 2018, approved your request to conditionally rezone from A-1 Agricultural District to R-2AC One-Family Residence District (Conditional) Parcels 751-764-6432 and 751-764-6608 containing 3.59 acres located on the east line of Thorncroft Drive approximately 300' north of its intersection with Chicopee Road, described as follows:

Parcel ID: 751-764-6608

Commencing at a point situated on the eastern right of way line of Thorncroft Drive 323.75' north of the centerline of Chicopee Road and being POB "A" thence from the beginning of left curve from which the radius point bears N 74°50'48" W, northerly a distance of 144.16 feet along the curve concave to the west, having a radius of 582.77 feet and a central angle of 14°10'23"; thence S 89°01'10" E radial to said curve, a distance of 334.25 feet; thence S 07°22'38" E, a distance of 141.92 feet; thence N 89°22'10" W, a distance of 372.63 feet to the Point of Beginning. Containing 49,605 sq. ft.

Parcel ID: 751-764-6432

Commencing at a point situated on the eastern right of way line of Thorncroft Drive 467.91' north of the centerline of Chicopee Road and being POB "B" thence from the beginning of left curve from which the radius point bears N 89°01'10" W, northerly a distance of 82.55 feet along the curve concave to the west, having a radius of 582.77 feet and a central angle of 8°06'57"; thence N 07°08'08" W tangent to said curve, a distance of 222.46 feet; thence N 82°51'52" E, a distance of 323.58 feet; thence S 07°22'38" E, a distance of 351.93 feet; thence N 89°01'10" W, a distance of 334.25 feet to the Point of Beginning. Containing 106,765 sq. ft.

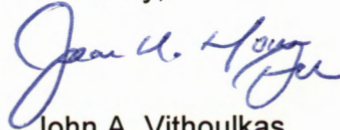
The Board of Supervisors accepted the following proffered conditions, dated May 11, 2018, which further regulate the above described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

The following proffers apply to this case:

1. **Min. Finished Area.** Homes shall be a minimum of 2,300 square feet.
2. **Foundations & Chimneys.** Foundations shall be finished in brick or stone veneer or stucco/parge coat. Other than direct vent fireplaces, no fireplace or chimney shall cantilever.
3. **Utilities.** All should be underground except for junction boxes and meters, or where technical or environmental reasons prohibit.
4. **Garages.** All shall be attached, min. one car, side or rear load.
5. **Driveways.** Acceptable materials are asphalt, concrete or pavers.
6. **Construction Hours.** Work can be in progress Monday through Friday, 7:30 AM until 6:00 PM. Saturday hours are 9:00 AM until 4:00 PM. If circumstances require extending these hours, they would be limited to utility connections, concrete pours or other similar circumstances.
7. **Density.** No more than (4) four buildable lots. All homes shall front Thorncroft.
8. **Log Cabin.** Prior to its deconstruction and removal, Henrico County is permitted to photo document the exterior.
9. **Lot Widths.** Lot widths shall be a minimum of (100') one hundred feet.
10. **Site Plan Conformance.** The development shall follow, within general conformance, the attached, proposed, survey plat dated 5-9-18 (see case file).
11. **Severance.** The inability to enforce, elimination, revision or amendment of any proffer set forth herein, in whole or in part, shall not affect the enforceability of the proffers or the unaffected part of any such proffer.

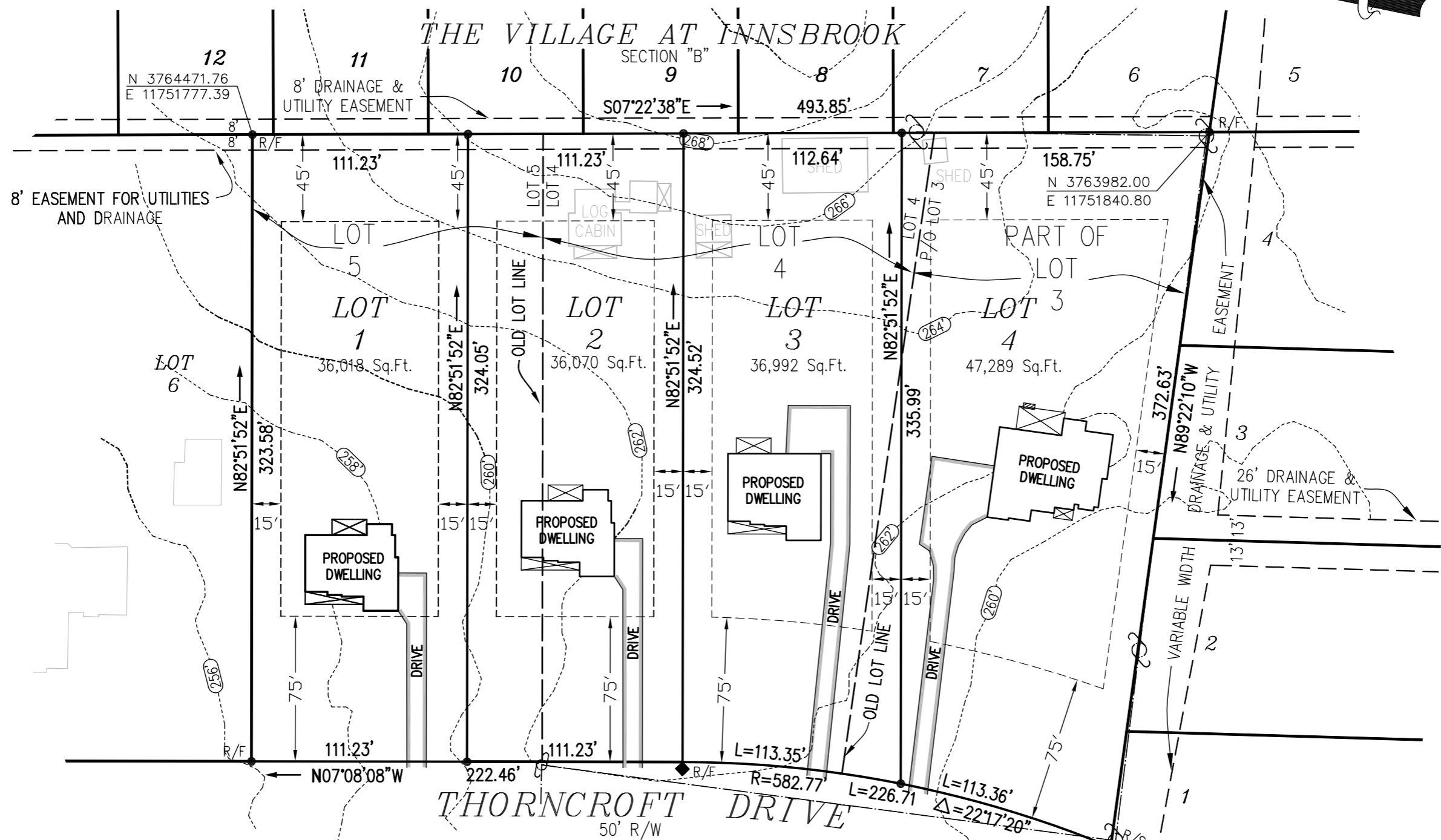
The Planning Department has been advised of the action of the Board of Supervisors and will revise its records.

Sincerely,

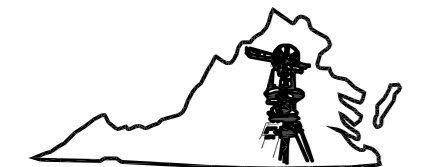


John A. Vithoulkas
County Manager

pc: Director, Real Estate Assessment
Tiffany S. Hinton, Ph.D., Dir. Research and Planning - Schools



SKETCH SHOWING THE PROPOSED
RESUBDIVISION OF PART OF LOT 3,
LOT 4 AND LOT 5, BLOCK "C", SECTION "A",
"OAKLAND HILLS" IN THE THREE CHOPT
DISTRICT OF HENRICO CO., VA.



Virginia Surveys
P.O. BOX 118
CHESTERFIELD, VA 23832
(804) 748-9481
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REVISED: 5-9-18
REVISED: 4-23-18
DATE: 11-16-17

CERTIFIED BY JEFFREY K. FLOYD
VIRGINIA CERTIFICATE NO. 001905

SCALE: 1"=60'
JOB NO. 171011758



(IN FEET)
1 inch = 60 ft.

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