





COMMONWEALTH OF VIRGINIA  
**COUNTY OF HENRICO**

John A. Vithoulkas  
County Manager

November 20, 2018

Viking Land Development LLC  
Attn: Mr. Kenneth N. Bjelstrand  
8398 Shire Court  
Mechanicsville, VA 23111

Re: Rezoning Case REZ2018-00038

Dear Mr. Bjelstrand:

The Board of Supervisors at its meeting on November 13, 2018, approved your request to conditionally rezone from A-1 Agricultural District to R-2AC One-Family Residence District (Conditional) Parcels 811-700-4578, 811-700-4938, and 811-700-6627 containing 17.85 acres located on the west line of Willson Road, approximately 375' south of its intersection with Messer Road, described as follows:

Beginning at a point on the west line of Willson Road and 374'± south of the Southern Terminus of Messer Road being labeled POB on this plat; thence S 45°15'20" E 452.65'; thence along a curve to the right with a radius of 1132.02 and a length of 343.04'; thence S 53°58'10" W 952.87'; thence N 74°16'03" W 253.48'; thence N 42°46'55" W 227.10'; thence N 51°32'34" E 200.01'; thence S 60°56'47" E 323.60'; thence N 52°08'10" E 711.68'; thence N 45°15'20" W 30.25'; thence N 52°08'10" E 290.82' to the point and place of beginning and containing 17.85 acres of land.

The Board of Supervisors accepted the following proffered conditions, dated September 26, 2018, which further regulate the above described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

1. **Maximum Density.** The maximum number of building lots on the property shall not exceed twenty-seven (27).
2. **Dwelling Orientation.** Dwellings shall not be situated on a lot where the front of one dwelling fronts the rear of another dwelling.
3. **Utilities.** All utilities except for junction boxes, meters and existing overhead utility lines or for technical or environmental reasons, shall be installed underground.
4. **Landscaping.** All lots shall have front yard sod and irrigation. All corner lots shall have side yard sod and irrigation. Each lot shall have at a minimum a street tree of no less than 2" caliper. Corner lots shall have two street trees at a minimum. Evergreen trees shall be planted every 15 feet staggered on lots siding on Willson

Road. Trees may be planted within the required Minor Collector Road setback. Any fence on a lot siding on Willson Road shall be constructed of uniform, low-maintenance and durable material.

5. **Hours of Construction.** The hours of exterior construction, including heavy equipment, shall be between 7:00 A.M. and 7:00 P.M. daily, except in emergencies or where circumstances require extending the specified hours to complete work such as concrete pours or utility connections. No exterior construction shall commence prior to 10:00 A.M. on Sundays.
6. **Concept Plan.** The property will be developed similar to the attached concept plan, entitled Exhibit A (see case file), unless site conditions require alternative designs and/or if determined by the Director of Planning to be in keeping with the spirit and concept of the approved exhibit.
7. **Elevations and Exterior Materials.** The architectural appearance of the dwellings shall be generally consistent with the attached renderings, entitled Exhibit B (see case file), unless otherwise requested of and approved by the Director of Planning. Dwellings shall include brick, brick veneer, cementitious siding, vinyl with a minimum .042" thickness, stone, synthetic stone or similar masonry materials, or a combination of these. No dwelling shall be constructed on a slab. No architectural treatments on the first floor of the dwelling shall be cantilevered. Each dwelling shall include a covered front stoop or porch. Stoops and porches shall have foundation materials identical to the dwelling. Roof materials shall be 30-year dimensional shingles or better, standing seam metal and/or cedar shakes.
8. **Minimum House Size.** Dwellings shall have a minimum of 1,500 square feet of finished floor area and include, at a minimum, a one-car garage.
9. **Driveways.** All driveways shall be constructed of concrete, asphalt, pavers, cobblestone or other hard-surface materials. All lead walks shall be constructed of brushed concrete.
10. **Garages.** Each dwelling shall have a minimum of a 2-car attached garage. Garage doors on all dwellings shall have at a minimum 2 of the following - detailed boxes, windows, straps and/or hinges or other architectural design features or a combination of these features. Garage doors shall not have flat panels.
11. No lot shall have direct access to Willson Road except the existing lot at 6700 Willson Road or a new lot in the event the existing structure is removed.
12. **Sidewalks.** A sidewalk per Henrico County policy near schools shall be installed on Willson Road within the right of way adjacent to the property.
13. **Severance.** The unenforceability, elimination, revision or amendment of any proffer set forth herein, in whole or in part, shall not affect the validity or enforceability of the other proffers or the unaffected part of any such proffer.

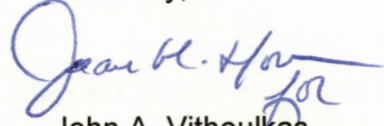
Viking Land Development LLC

November 20, 2018

Page 3

The Planning Department has been advised of the action of the Board of Supervisors and will revise its records.

Sincerely,

A handwritten signature in blue ink, appearing to read "John A. Vithoukas", with a stylized flourish at the end.

John A. Vithoukas  
County Manager

pc: Gary W. Hughes  
Theresa M. Hughes  
Robert F. Hughes, Jr.  
Karen D. Hughes  
Director, Real Estate Assessment  
Mr. Christopher Sorensen  
Mr. Justin Briggs

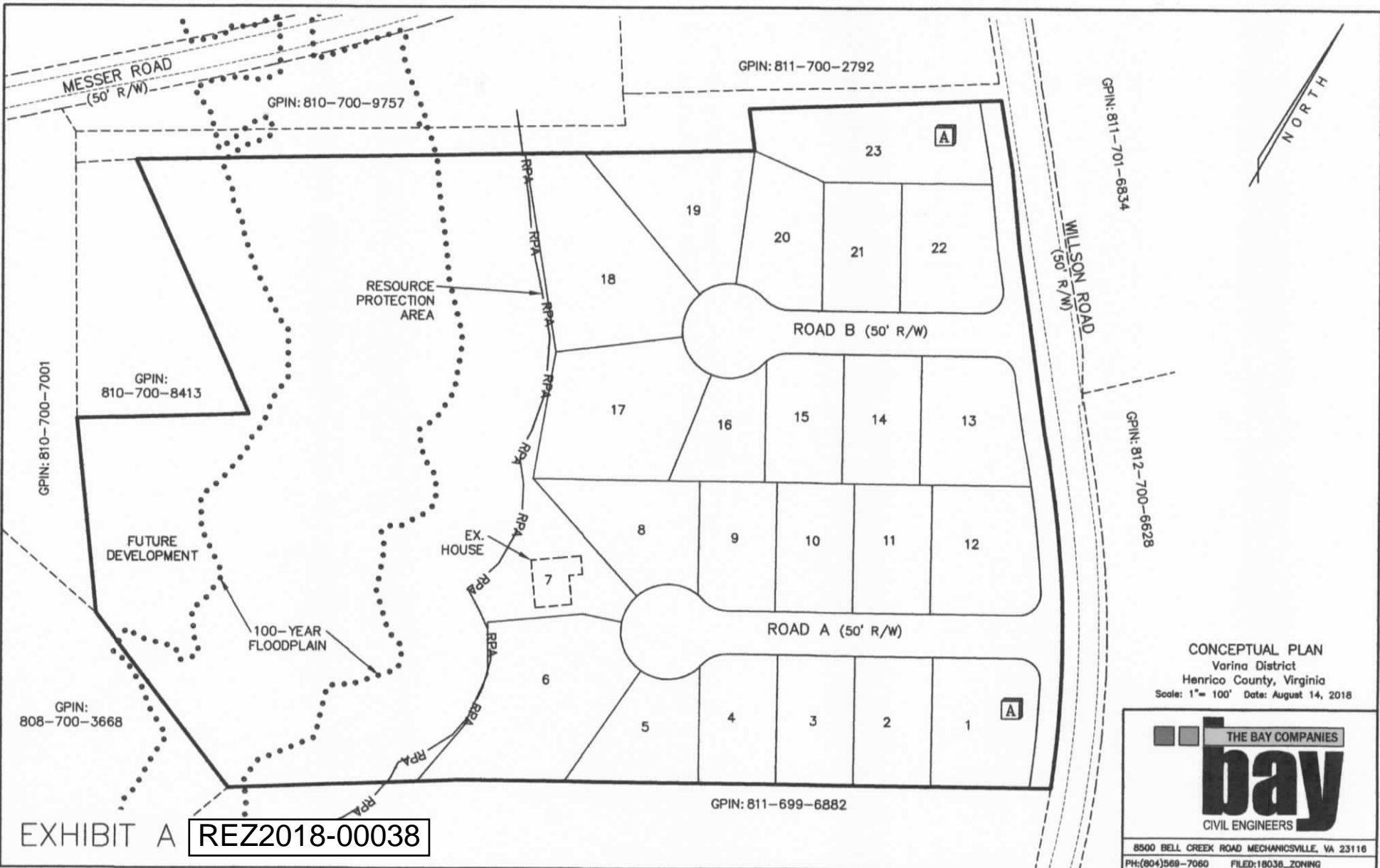


EXHIBIT A REZ2018-00038

CONCEPTUAL PLAN  
 Varina District  
 Henrico County, Virginia  
 Scale: 1"= 100' Date: August 14, 2018

**THE BAY COMPANIES**  
**bay**  
 CIVIL ENGINEERS

8500 BELL CREEK ROAD MECHANICSVILLE, VA 23116  
 PH: (804) 569-7060 FILED: 18036\_ZONING





## *The Brevard*

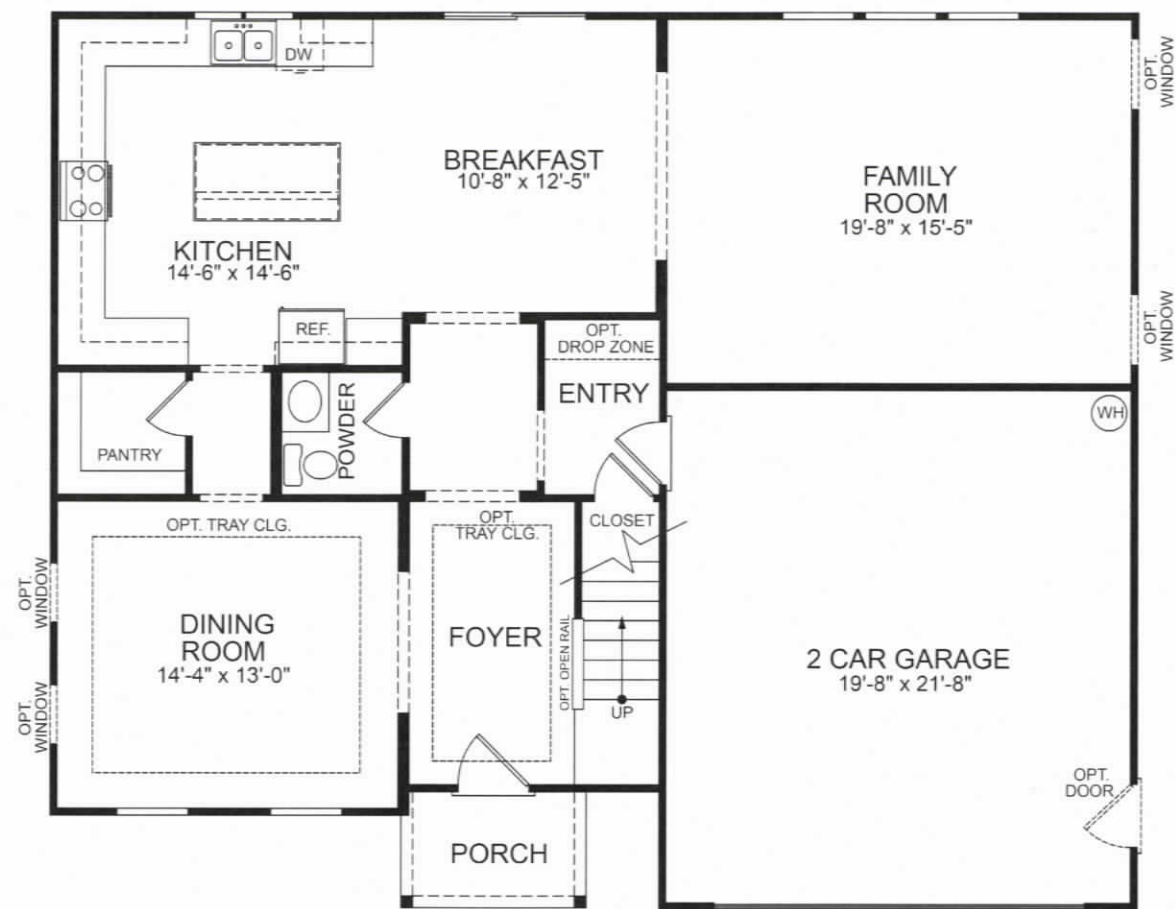
3 Bed/ 2.5 Bath  
2 Car Front Entry Garage

EXHIBIT B

REZ2018-00038

*Floorplans reflect typical approximate dimensions.  
Floor plan options not drawn to scale. Illustration may include optional features.  
Eastwood Homes reserves the right to make changes without notice.*

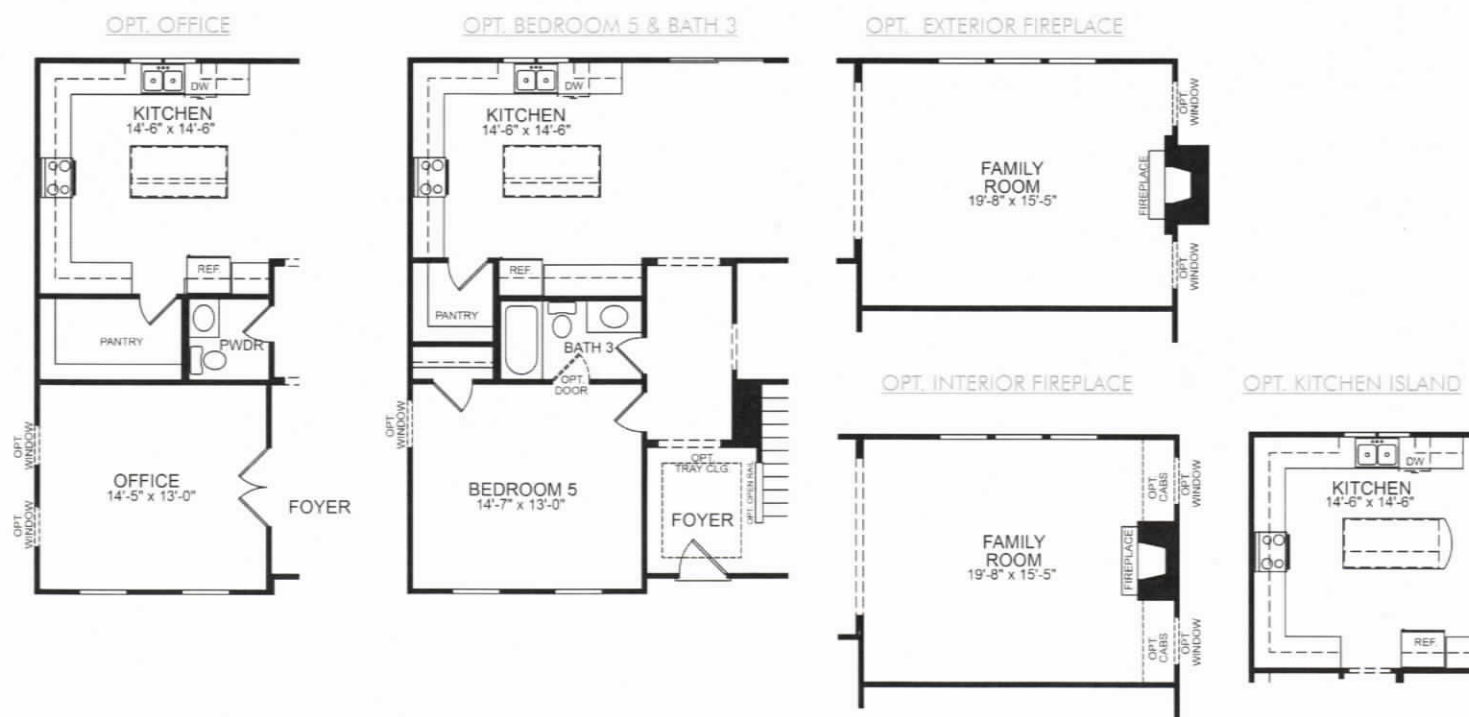
**The Brevard • First Floor Plan**



**The Brevard • Second Floor Plan**



**First Floor Options**



**Second Floor Options**



EXHIBIT B

REZ2018-00038





Elevation A

EXHIBIT B

REZ2018-00038







Elevation G



Elevation E



Elevation I

## *Cypress III*

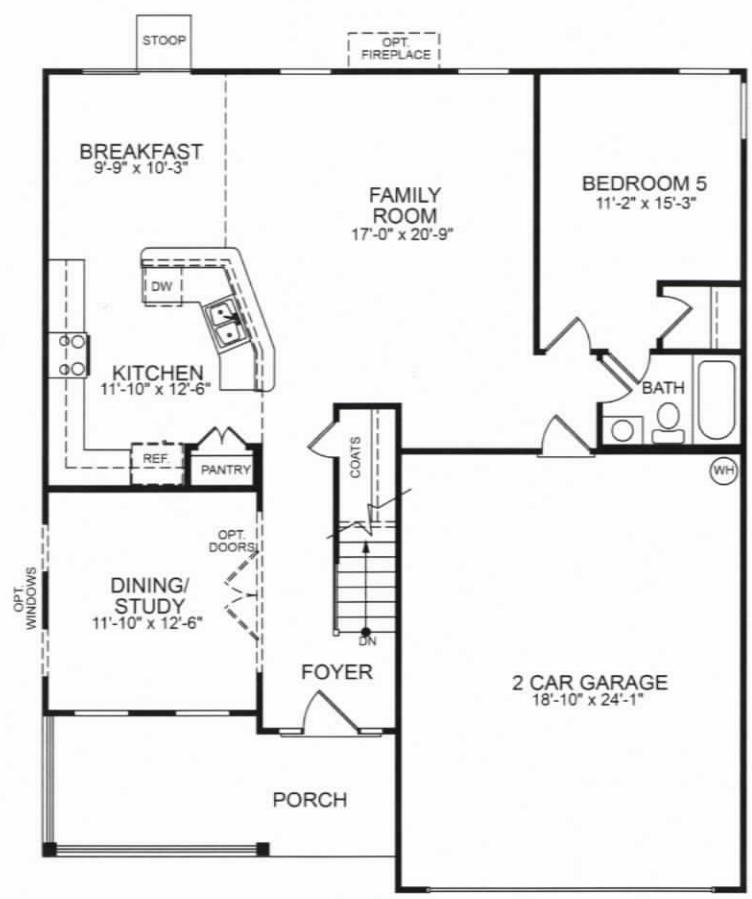
5 Bed/ 3 Bath  
2 Car Front Entry Garage

EXHIBIT B

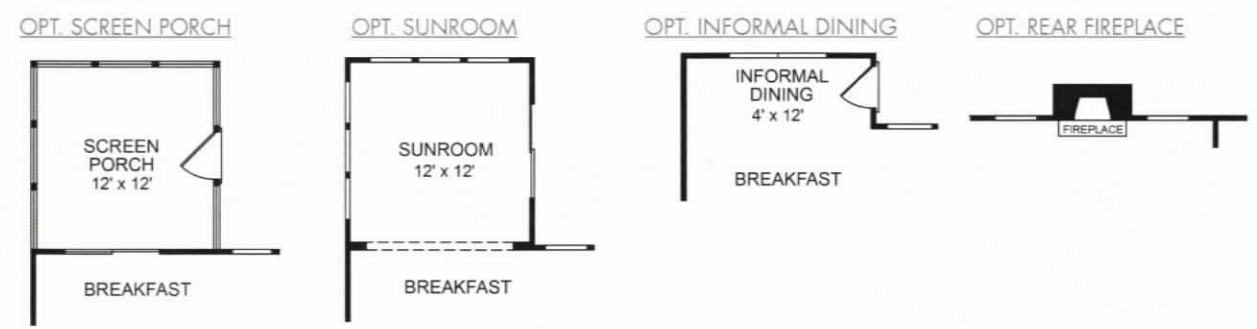
REZ2018-00038

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Cypress III • First Floor Plan



First Floor Options



Cypress III • Second Floor Plan

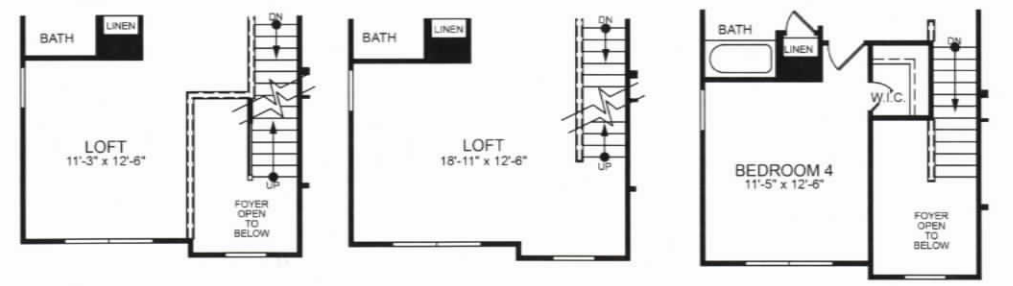


Second Floor Options

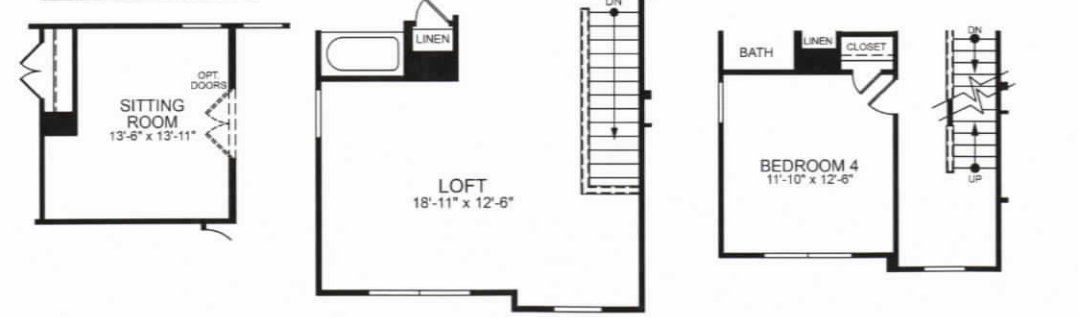
OPT. GARDEN TUB @ OWNER'S BATH    OPT. 5 PC. BATH @ OWNER'S BATH    OPT. LUXURY @ OWNER'S BATH



OPT. LOFT W/ OPEN FOYER    OPT. LOFT W/ BONUS ROOM OR BEDROOM 6 W/ BATH    OPT. BEDROOM 4 I/O LOFT W/ OPEN FOYER

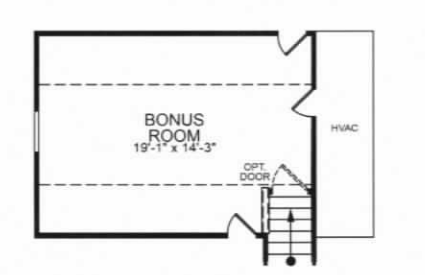


OPT. SITTING ROOM IN LIEU OF BEDROOM 2    OPT. LOFT IN LIEU OF BEDROOM 4    OPT. BEDROOM 4 I/O LOFT W/ BONUS ROOM OR BEDROOM 6 W/ BATH



Third Floor Options

OPT. 3RD FLOOR WALK-UP BONUS ROOM



OPT. 3RD FLOOR BEDROOM 6 & BATH

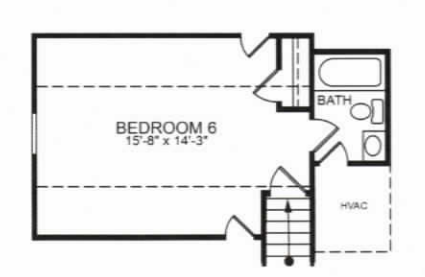


EXHIBIT B

REZ2018-00038





EXHIBIT B

REZ2018-00038







Elevation F

\*SHOWN WITH OPTIONAL DORMERS



Elevation C



Elevation D

## *The Davidson*

5 Bed/ 3 Bath

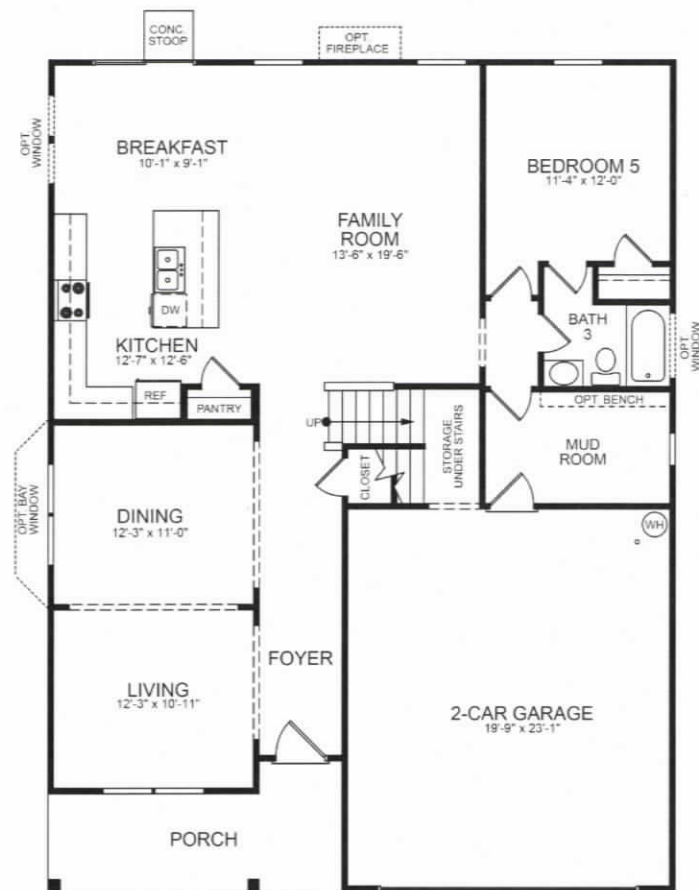
2 Car Front Entry Garage

EXHIBIT B

REZ2018-00038

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## The Davidson • First Floor Plan



## First Floor Options

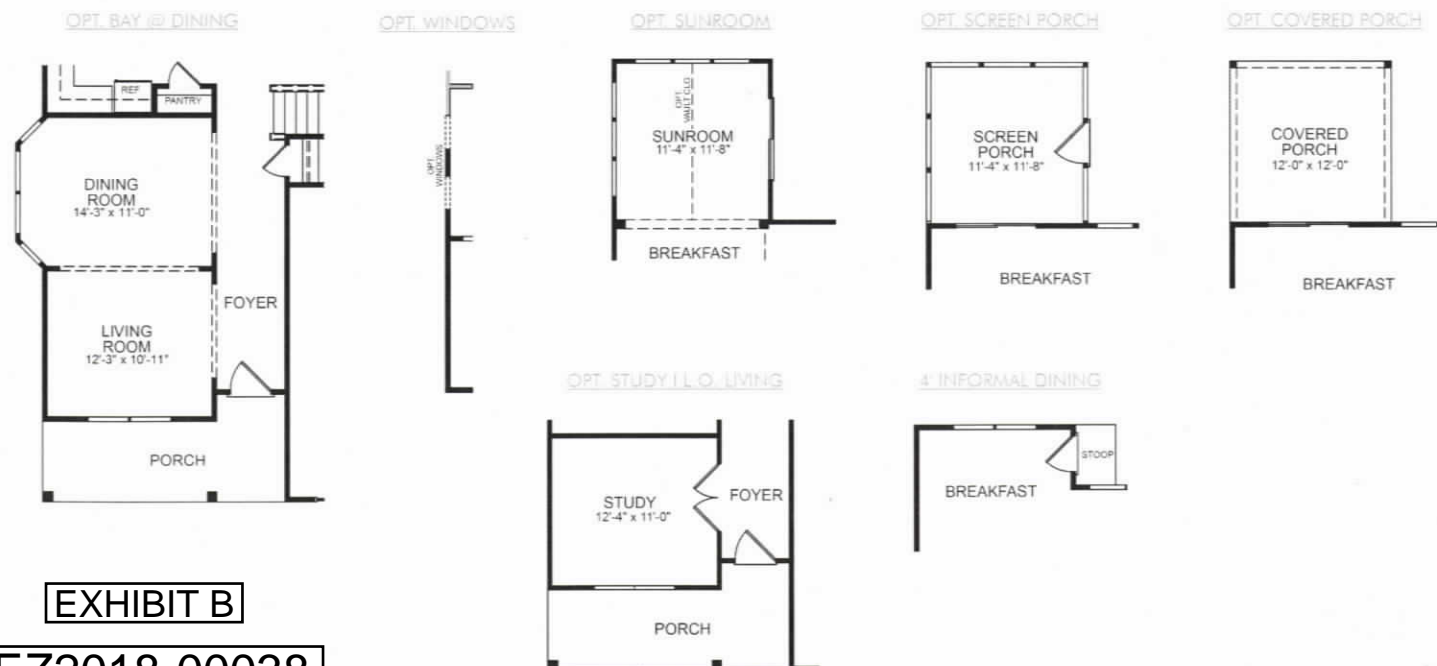
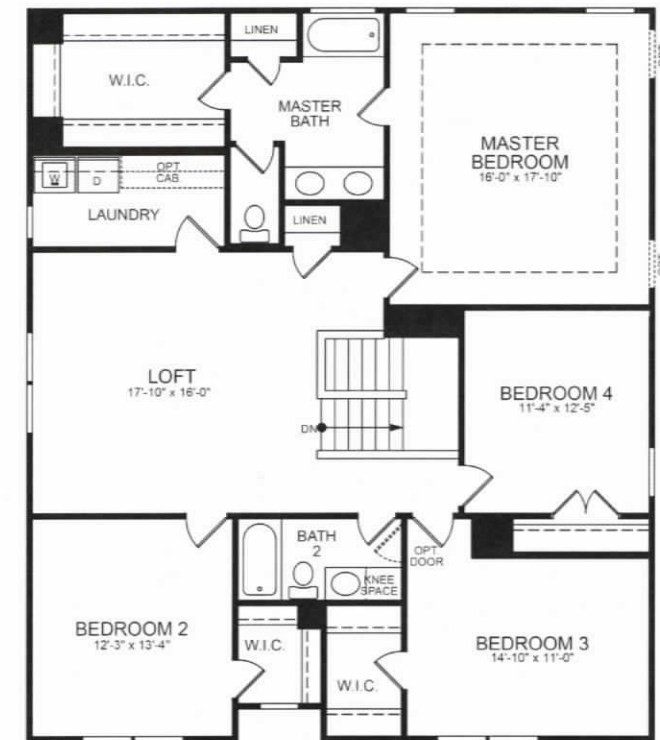


EXHIBIT B

REZ2018-00038

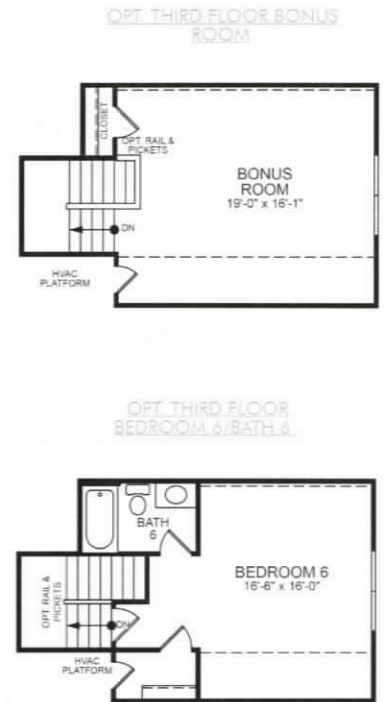
## The Davidson • Second Floor Plan



## Second Floor Options



## Third Floor Options







Elevation A



Elevation B



Elevation E

EXHIBIT B

REZ2018-00038







Elevation C



Elevation B



Elevation F

## *The Ellerbe*

3 Bed/ 2.5 Bath

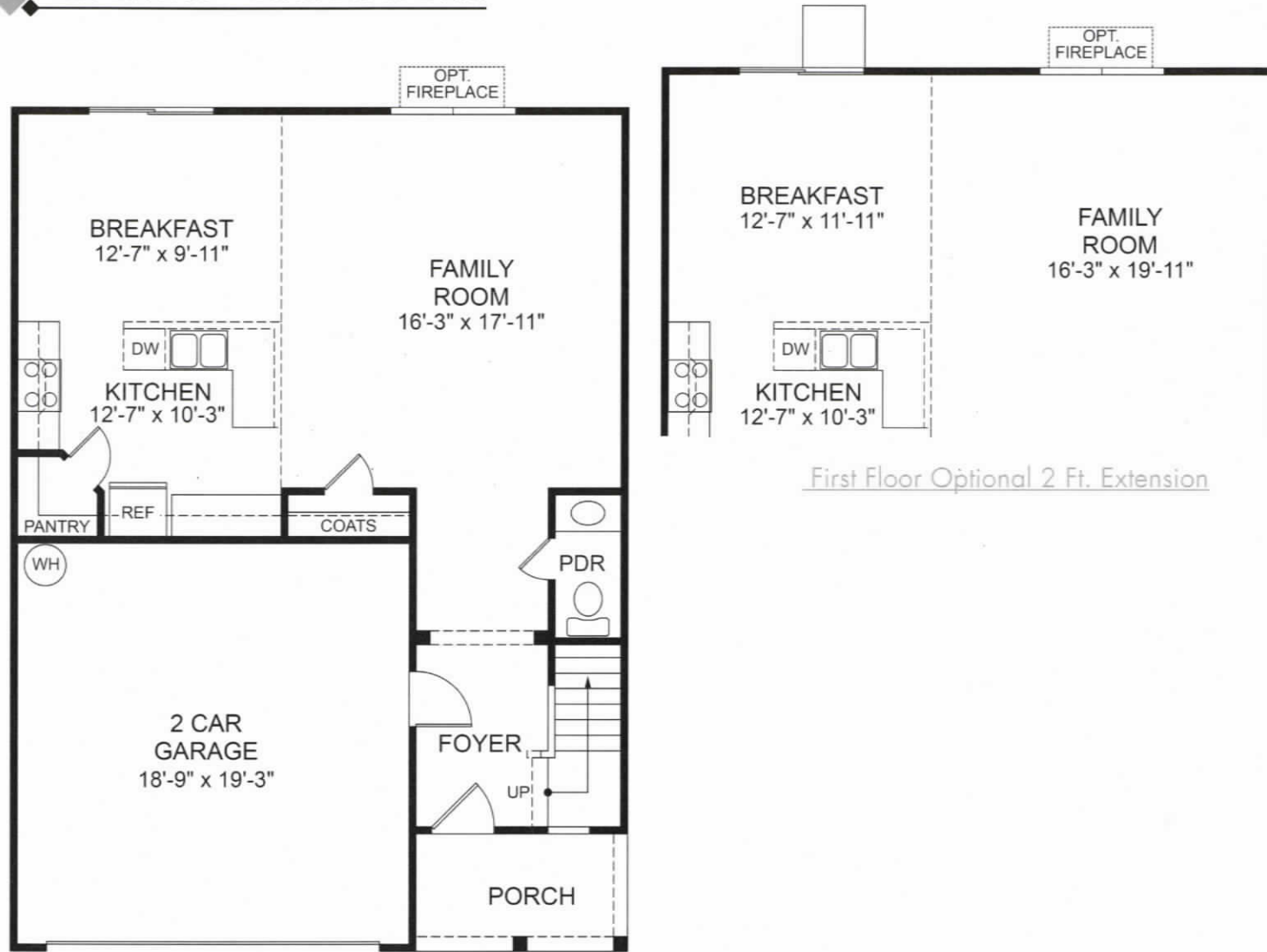
Front Entry Garage on Crawl Space Foundation

EXHIBIT B

REZ2018-00038

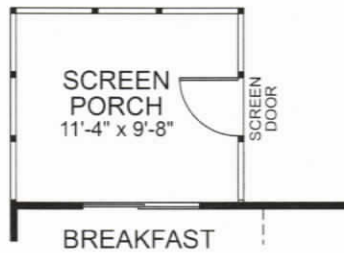
*Floorplans reflect typical approximate dimensions.  
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**The Ellerbe • First Floor Plan**

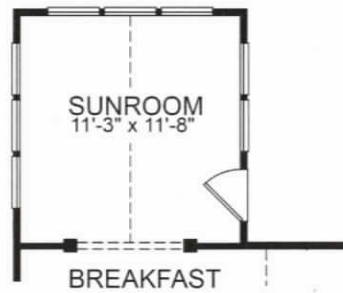


**First Floor Options**

OPT. SCREEN PORCH



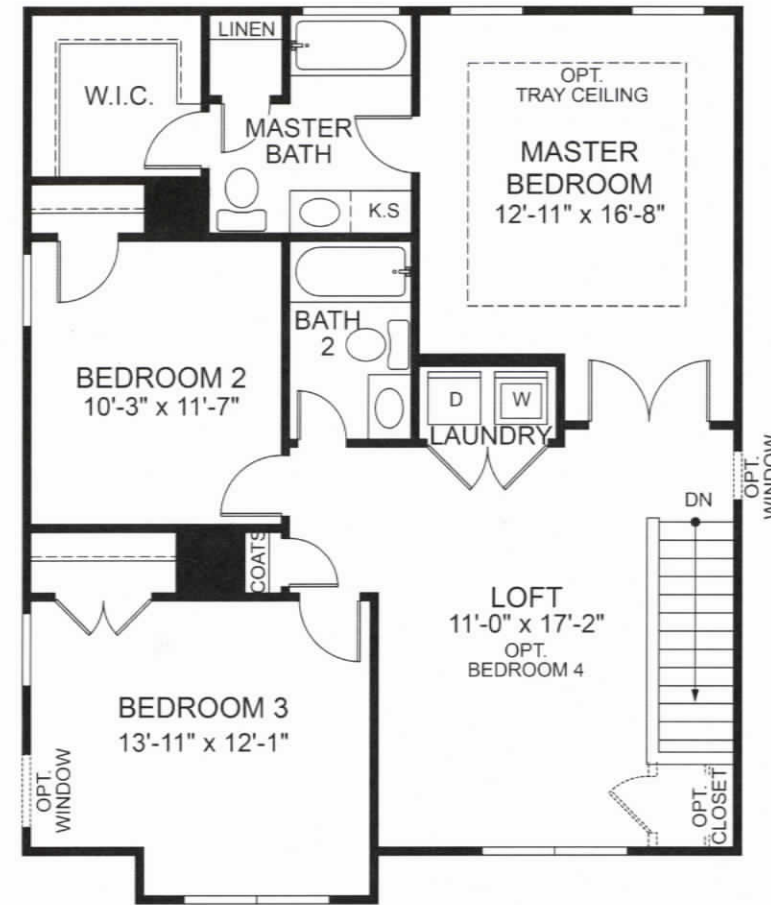
OPT. SUNROOM



OPT. SIDE FIREPLACE

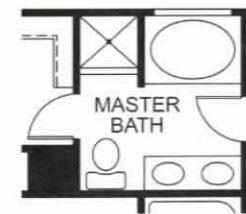


**The Ellerbe • Second Floor Plan**

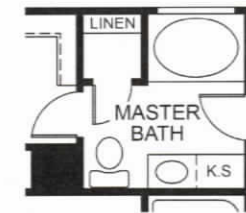


**Second Floor Options**

OPT. 5 PIECE BATH



OPT. GARDEN TUB/SHOWER BATH



OPT. 4TH BEDROOM



**Third Floor Options**

OPT. BONUS ROOM

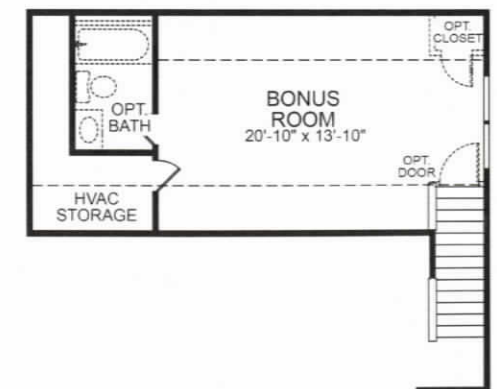


EXHIBIT B

REZ2018-00038





Elevation A



Elevation D



Elevation E

EXHIBIT B

REZ2018-00038







## *The Oxford*

3 Bed/ 2.5 Bath  
2 Car Front Entry Garage

EXHIBIT B

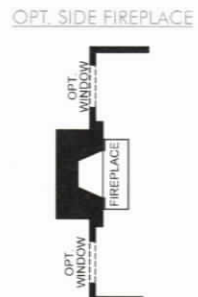
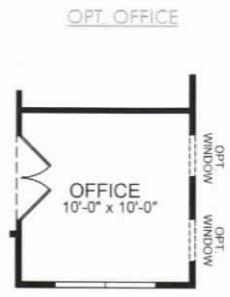
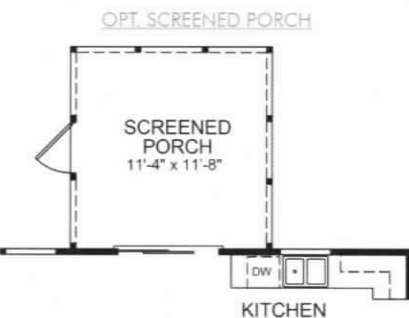
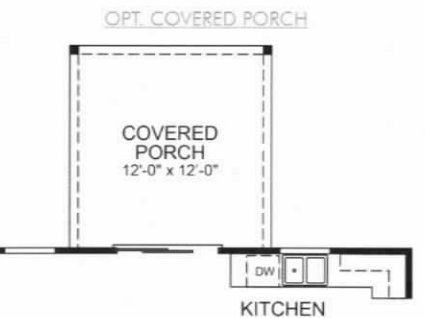
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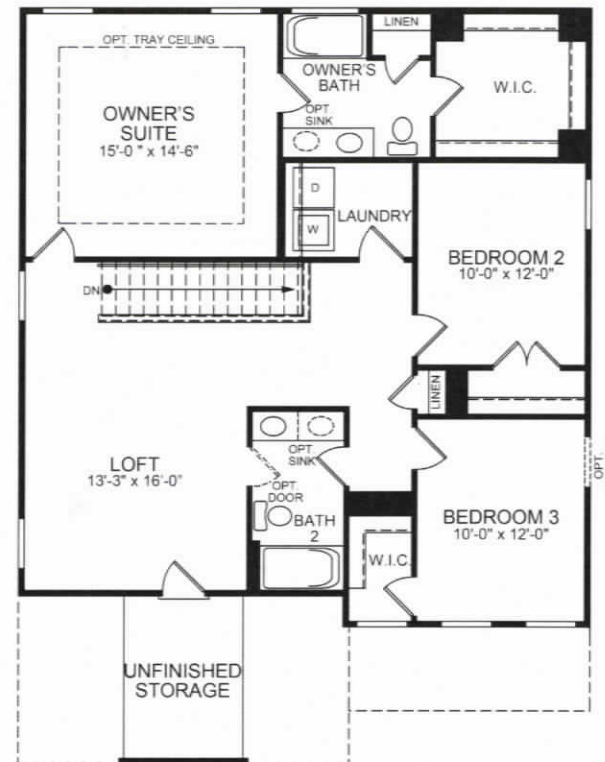
**The Oxford • First Floor Plan**



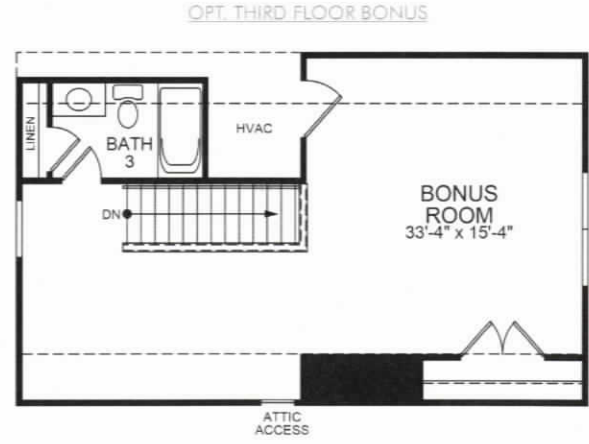
**First Floor Options**



**The Oxford • Second Floor Plan**



**Third Floor Options**



**Second Floor Options**

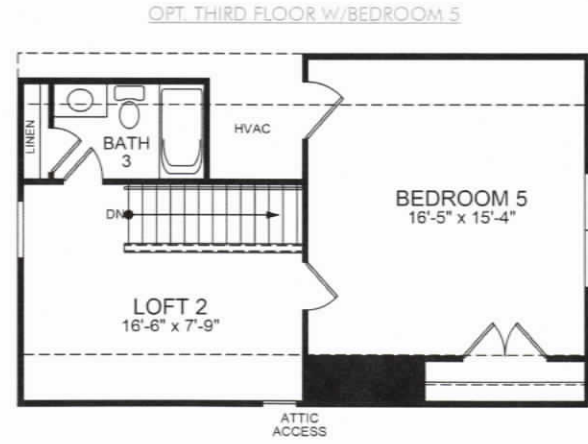
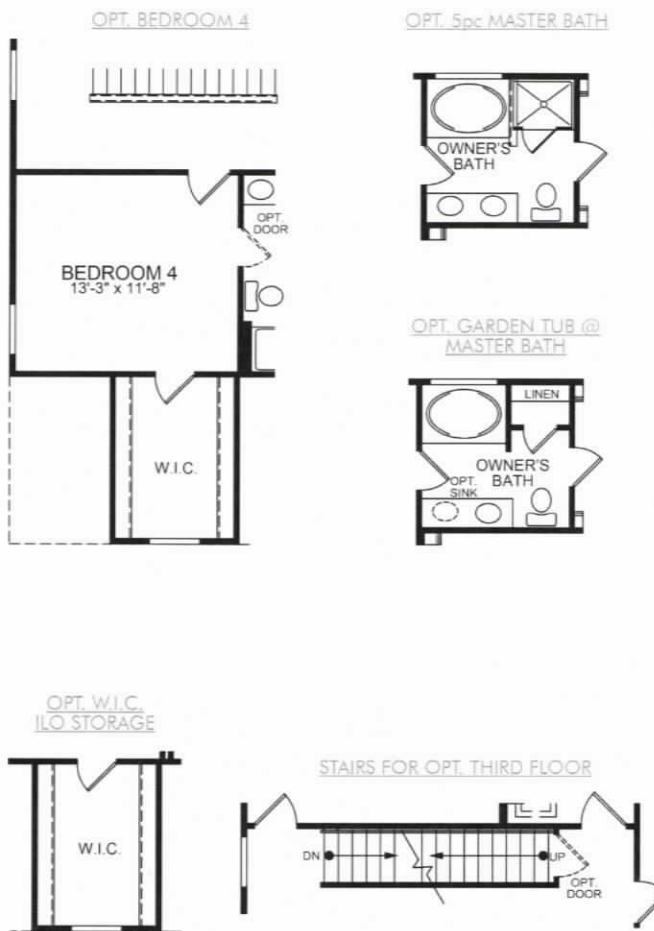






EXHIBIT B

REZ2018-00038

