

Parcels or Portions thereof identified on this sheet are within the Airport Safety Overlay District and are subject to Special Regulation

**REZ2020-00046**

**Zoning**  
 Urban Mixed Use  
 Fairfield District  
 400

PS October 2020 Ref: 803-737-0018





COMMONWEALTH OF VIRGINIA  
COUNTY OF HENRICO

John A. Vithoukas  
County Manager

February 16, 2021

Henrico Plaza, LLC  
c/o Zac Frederick  
600 Ridge Top Road  
Richmond, VA 23229

Re: Rezoning Case REZ2020-00046

Dear Mr. Frederick:

The Board of Supervisors at its meeting on February 9, 2021, approved your request to conditionally rezone from R-6 General Residence District and B-2 Business District to UMUC Urban Mixed Use District (Conditional) Parcels 803-737-0018 and 803-737-5815 containing 27.416 acres located on the west line of Mechanicsville Turnpike (U.S. Route 360), approximately 675' north of its intersection with E. Laburnum Avenue, described as follows:

BEGINNING at the point of intersection of the western boundary of the right of way line of Evans Road and the northern boundary of the right of way line of U.S. Route 360 (Mechanicsville Turnpike), thence proceeding along the northern boundary of the right of way line of Mechanicsville Turnpike in a southwesterly direction the following nine (9) courses and distances: S 28°39'50" W 352.61 feet to a point; thence N 61°20'10" W 18.00 feet to a point; thence S 28°39'50" W 25.00 feet to a point; thence S 61°20'10" E 18.00 feet to a point; thence S 28°39'50" W 2.00 feet to a point; thence S 35°30'24" W 100.72 feet to a point; thence S 28°37'35" W 110.61 feet to a point; thence S 61°24'19" E 12.00 feet to a point; thence along a curve to the left having a radius of 68,809.93 feet, a delta angle of 0°23'10" and an arc length of 463.79 feet to a point;

Thence leaving the northern boundary of the right of way line of Mechanicsville Turnpike in a northwesterly direction the following four (4) courses and distances: N 49°54'41" W 388.71 feet to a point; thence N 50°24'11" W 261.59 feet to a point; thence S 27°47'19" W 338.93 feet to a point; thence S 05°30'55" E 162.32 feet to a point on the northern boundary of the right of way line of Adams Road;

Thence proceeding along the northern boundary of the right of way line of Adams Road in a northwesterly direction N 82°36'51" W 30.60 feet to a point; thence leaving the northern boundary of the right of way line Adams Road in a northwesterly direction the following three (3) courses and distances: N 05°30'55" W 659.99 feet to a point; thence N 05°28'05" E 808.12 feet to a point; thence S 82°35'05" E 1027.92 feet to a point on the western boundary of the right of way line of Ravenswood Road;



Thence proceeding along the western boundary of the right of way line of Ravenswood Road in a southwesterly direction S 08°05'33" W 254.30 feet to a point on the western boundary of the right of way line of Evans Road; thence proceeding along the western boundary of the right of way line of Evans Road in southeasterly direction S 61°27'07" E 197.36 feet to a point; thence S 16°23'47" E 16.97 feet to a point, said point being the Point and Place of Beginning, containing 27.416 acres, more or less.

The Board of Supervisors accepted the following proffered conditions, dated February 9, 2021, which further regulate the above described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

**Applicable to the Project.**

1. **Pattern Book.** The Property shall be developed in general conformance with the Land Bay Plan, illustrations and information set forth in the Henrico Plaza Pattern Book dated February 2021 and filed herewith, or as it may be updated from time to time (the "Pattern Book") (see case file), which illustrations and information are conceptual in nature and may vary in detail. In the event a plan of development or subdivision plan is not in general conformance with the foregoing, deviations may be approved in any plan of development, subdivision approval or any other time permitted by the Director of Planning upon the Director finding that the deviations are generally in keeping with the spirit and concept of the Pattern Book, except the layout of the Commercial Outparcel Land Bay, as identified in the Land Bay Plan in the Pattern Book, and the site entrance located therein may be adjusted as determined by the owner without violating the spirit and concept of the Pattern Book.
2. **Overall Residential Density.** There shall be no more than 580 residential units developed on the Property.
3. **Mixture of Uses.** There shall be a minimum of 10,000 square feet for commercial uses.
4. **Buffers.**
  - a. A buffer a minimum of twenty five feet (25') in width shall be provided along the northern and western boundary lines of the project where such lines are shared with a lot with a residential home as of the date of the approval of this rezoning request. The existing 6' concrete wall shall remain within this buffer area. The applicant will repair existing unsightly cracks in the wall, such repairs to include structural repairs where needed, and the surface of the wall facing the project will be repainted. The surface of the wall facing the neighbors will be painted with masonry sealer and paint. This buffer shall be planted based on a 35' transitional buffer with a wall, as such required



planting scheme is more particularly set forth in the Pattern Book on page 20 (see case file).

- b. A variable width buffer shall be provided along the southern boundary line of the project as generally shown on the right side of page 19 of the Pattern Book (see case file). This buffer area shall be planted with a planting scheme using the plants required in a 10' transitional buffer, as such planting scheme is determined at the time of the plan and development review.

**5. Prohibited Uses.** The following uses shall be prohibited on the Property:

- a. No more than one automotive filling and service station;
- b. billiard, bagatelle, video game or a bingo parlor, unless accessory to a permitted use;
- c. flea markets or antique auctions;
- d. billboards;
- e. recycling facilities;
- f. funeral homes, mortuaries, crematories and/or undertaking establishments;
- g. dance halls;
- h. truck stops;
- i. gun shop, sales and repair;
- j. sign painting shops;
- k. theaters;
- l. communication towers;
- m. adult businesses as defined by Section 24-3 of the Henrico County Code;
- n. establishments whose primary business is check cashing and/or the making of payday loans as defined and regulated by Sections 6.2-2100 et seq. and 6.2-1800 et seq. of the Code of Virginia (the foregoing shall not preclude banks, savings and loans or similar financial institutions that are not regulated by the foregoing Virginia Code sections);
- o. pawn shops;
- p. non-accessory laundromats;
- q. storage of travel trailer, travel vans, campers, boats and truck camper tops;
- r. parking structure;
- s. car title loan operations;
- t. fuel sales;
- u. motels or motor lodges; and
- v. dialysis centers.



6. **Outdoor Music.** Outdoor music shall not be permitted on the Property between the hours of 10:00 p.m. and 7:00 a.m.
7. **Construction Activity.** The hours of exterior construction on the Property, including operation of bulldozers and other earthmoving equipment, shall be between 7:00 a.m. and 7:00 p.m., Monday through Friday, and between 8:00 a.m. and 4:00 p.m. on Saturday, except in emergencies or where unusual circumstances require extending the specific hours in order to complete work such as concrete pours, asphalt pours, or utility connections. No exterior construction shall occur on Sunday. Primary construction access to the Property shall be from Mechanicsville Turnpike. All clearing, grading and construction contracts will contain these provisions. Signs, in both English and Spanish, stating the above-referenced provisions shall be posted and maintained at all entrances prior to any land disturbance activities on the Property.
8. **Construction Access.** Evans Road and Ravenswood Road shall not be used as a construction entrance.
9. **Crime Prevention.** Prior to occupancy of any structure containing commercial or office uses, the applicant and the Crime Prevention Unit of the Division of Police shall conduct a security survey of the property with such uses. The applicant shall implement mutually agreed upon security recommendations.
10. **Amenities.** In the Open Space Land Bay, as shown on the Land Bay Plan in the Pattern Book (see case file), the owner of the Property shall provide, at a minimum, a clubhouse, with a minimum square footage of 5,000 square feet, a playground and a swimming pool, all of which shall be for use by all residents in the For-Sale Townhome Land Bay and the Multi-Family Housing Land Bay, as both are shown on the Land Bay Plan in the Pattern Book. A certificate of occupancy shall be obtained for the clubhouse prior to the issuance of a certificate of occupancy for, the earlier of, the 240<sup>th</sup> certificate of occupancy issued within the Multi-Family Housing Land Bay, as identified in the Land Bay Plan in the Pattern Book or the 60<sup>th</sup> townhome dwelling unit within the For-Sale Townhomes Land Bay, as identified in the Land Bay Plan in the Pattern Book. The pool and playground shall be constructed simultaneously with the clubhouse, weather permitting. In addition, the Project shall contain additional amenities as provided on Page 18 of the Pattern Book. The location of these additional amenities is illustrated on Page 18 of the Pattern Book. The final determination of these additional amenities shall be made by the owner prior to final plan of development approval. The final determination of the location of these additional amenities may be adjusted within the Project prior to final plan of development approval. If a dog park is selected as an additional amenity, it shall be constructed with a fenced area within which the dogs may run so the dogs are not running-at-large.



11. **Basins.** Above-ground stormwater basins, if needed, shall not be located in a buffer and shall be designed as an aesthetic amenity that are compatible with the spirit and intent set forth in the Pattern Book (see case file). Above-ground wet stormwater basins with a water depth greater than 12" shall be aerated. Underground stormwater detention may be located within 25' of the public right of way.
12. **Private Roads.** All roads within the project shall be private.
13. **Street Trees.** Street trees shall be planted 35' feet on center along both sides of road types A, B, C, E, and G identified on Page 14 of the Pattern Book (see case file), as determined at the time of plan of development review; provided, however, that the east side of road type C where it is adjacent to the Commercial Outparcel Land Bay, as identified in the Land Bay Plan in the Pattern Book, shall be designed with an 8' wide streetscape planting strip inclusive of the sidewalk and incorporating trees, shrubs, groundcovers, and ornamental grasses to help screen the service entrances and utility connections/meters for new commercial buildings in the Commercial Outparcel Land Bay from the adjacent ground view in the Multi-Family Housing Land Bay, as both land bays are identified in the Land Bay Plan in the Pattern Book, with such design to be determined at the time of plan of development review. The boulevard island within road type A, identified on Page 14 of the Pattern Book, shall be planted with street trees 35' on center and with other shrubbery, groundcovers and ornamental grasses as determined at the time of plan of development review. Street trees shall measure a minimum of three and one half inches at the time of planting. Parking areas shall be landscaped in general conformance with the illustrative layout on Page 12 of the Pattern Book as determined at the time of plan of development review. These planting requirements shall be modified, and plant spacing requirements shall be increased, to avoid utility conflicts, to avoid easements for sight-distance and/or slopes benefiting the County or VDOT, to avoid driveways, to accommodate sidewalks, and to avoid or accommodate other design features of the Project.
14. **Residential Phasing.** At least 30 townhome dwelling units shall have been constructed within the For-Sale Townhomes Land Bay, as identified in the Land Bay Plan in the Pattern Book (see case file), before the 242<sup>nd</sup> certificate of occupancy is issued within the Multi-Family Housing Land Bay, as identified in the Land Bay Plan in the Pattern Book.
15. **Future Bus Stop.** Upon written request from the County, the owner of the Property shall dedicate land a maximum of sixteen feet (16') in width and twelve feet (12') in depth, generally in the location noted on the Land Use Plan in the Pattern Book (see case file) for the construction of a bus stop. In the event of dedication, but no construction of the bus stop within fifteen years of the date of



dedication, the dedicated land shall be conveyed back to the owner of the adjacent land.

**16. Exterior Road Frontage Streetscape.**

a. Sidewalks. Subject to all applicable governmental approvals, a five foot (5') wide sidewalk for pedestrian access shall be constructed along the Property's frontage along Route 360, Evans Road, and Ravenswood Road.

b. Evans Road and Ravenswood Road Landscaping. Street trees shall be planted 35' on center where the property fronts Evans Road, and Ravenswood Road, along with a row of evergreen shrubbery to provide screening of any adjacent parking areas. This planting requirement shall be modified, and plant spacing requirement shall be increased, to avoid utility conflicts, to avoid easements for sight-distance and/or slopes benefiting the County or VDOT, to avoid underground stormwater detention, to accommodate sidewalks, and to avoid or accommodate other design features of the Project. Shrubby shall be at least two feet high when planted and maintained at a height not to exceed three and a half feet. Street trees shall measure a minimum of three and one half inches at the time of planting. The location of these plantings shall be determined at the time of plan of development review. Plantings installed around the underground stormwater detention shall be in compliance with manufacturer instructions and shall not void any warranty or present the risk of damage to the underground system.

c. Mechanicsville Turnpike Landscaping.

i) Where the Age-Restricted Multi-Family Housing Land Bay, as identified in the Land Bay Plan in the Pattern Book (see case file), fronts on Mechanicsville Turnpike, landscaping shall be installed in general conformance with the landscape illustration attached hereto as Exhibit A. This planting requirement may be modified, but the number of plants not reduced, and plant spacing requirement may be adjusted, as required by the Department of Public Utilities or the Department of Public Works, to avoid easements for sight-distance and/or slopes benefiting the County or VDOT, to accommodate sidewalks, and to accommodate other design features of the Project. Such adjustments shall be determined at the time of plan of development review and approval. Shrubby shall be at least two feet high when planted and maintained at a height not to exceed three and a half feet. Canopy street trees shall measure a minimum of three and one half inches at the time of planting. Ornamental street trees shall measure a minimum of two and one half inches at the time of planting. The exact location of these plantings shall be determined at the time of plan of development review.



- ii) Where the Commercial Outparcel Land Bay, as identified in the Land Bay Plan in the Pattern Book (see case file), fronts on Mechanicsville Turnpike, street trees shall be planted 35' on center, along with a row of evergreen shrubbery to provide screening of any adjacent parking areas. This planting requirement shall be modified, and plant spacing requirement shall be increased, to avoid utility conflicts, to avoid easements for sight-distance and/or slopes benefiting the County or VDOT, to accommodate sidewalks, and to avoid or accommodate other design features of the Project. Shrubby shall be at least two feet high when planted and maintained at a height not to exceed three and a half feet. Canopy street trees shall measure a minimum of three and one half inches at the time of planting. Ornamental street trees shall measure a minimum of two and one half inches at the time of planting. The location of these plantings shall be determined at the time of plan of development review.
17. **Parking Lot Lighting.** Parking lot lighting fixtures shall not exceed twenty (20) feet in height as measured from the grade at the base of the lighting standard. Parking lot lighting shall be produced from concealed source style fixtures and shall be directed in a way to minimize glare on public roads and adjacent properties. Direct embedded light poles and standards shall be prohibited.
18. **Cemetery and Plaque.** The open space provided around the existing cemetery shall be improved in general conformance with the illustration provided in the Pattern Book on page 19 (see case file). The existing plaque along Route 360 shall be restored and relocated to this open space area.
19. **Transportation Improvements.** Unless otherwise approved at the time of Plan of Development, the developer shall dedicate and construct the following transportation improvements. In the event of dedication, but no construction of the associated improvement within fifteen years of the date of dedication, the dedicated land shall be conveyed back to the owner of the adjacent land.
- a. **U.S. 360 at Site Driveway / Neale Street:** Extend the existing southbound right-turn lane on U.S. 360 to 200 feet of storage. At the traffic signal, replace the existing metal strain poles and spanwires with metal poles and mastarms, provided that the developer shall not be required to dedicate any land it does not own to accomplish this replacement. The existing cabinet and controller will be retained with the traffic signal pole upgrade.
- b. **U.S. 360 at Right-in / Right-out Driveway:** Construct a southbound right-turn lane on U.S. 360 with 100 feet of storage and 100 feet of taper, if the driveway is a right-in, right-out entrance or a right-in entrance.



- c. U.S. 360 at Laburnum Avenue: Update signal timing plans at U.S. 360 and Site Driveway / Neale Street, U.S. 360 and Laburnum Avenue, U.S. 360 and Byron Street, U.S. 360 and Dill Road, and U.S. 360 and Harvie Road to improve coordination between the signals at these intersections.
20. **Compactor, Dumpster and Trash Receptacle Screening.** Compactors, dumpsters and trash receptacles, not including convenience containers, shall be screened from public view at ground level at the perimeter of the Property, with a masonry wall on three (3) sides complementary to the building it serves. The fourth (4th) side shall have a gate or door that is of a substantial and durable material as determined at the time of Plan of Development review. Support posts, gate frames, hinges and latches shall be of a sufficient size and strength to allow the gates to function without sagging or becoming a visual eyesore. The location of these improvements shall be determined at the time of plan of development review for the applicable land bay.
21. **Glen Lea Fence.** A 6' high black vinyl coated chain link fence shall be erected in the following locations (the "Fence"): (i) commencing at the southern end of the western masonry wall and extending along the property line of the Property to a point at the southern end of the existing fence around the cell tower site (as of the time of rezoning); and (ii) commencing at the eastern end of the existing fence around the cell tower site (as of the time of rezoning) and extending eastward along the property line of the Property and terminating at a point between the Multi-Family Housing Land Bay and the Commercial Outparcel Land Bay, as both are identified in the Land Bay Plan in the Pattern Book (see case file). In the event that Glen Lea Shopping Center, Henrico County Tax Parcel GPIN 802-736-8028, is redeveloped and designed in a way to better coordinate pedestrian movements with Henrico Plaza, the Fence may be modified to include one or more openings or gates for pedestrian passage between the two parcels, as determined and shown on the plan of development for the redevelopment of Glen Lea Shopping Center. In the event that Glen Lea Shopping Center, Henrico County Tax Parcel GPIN 802-736-8028, is redeveloped and designed in a way to provide a vehicular connection to the road located between the Commercial Land Bay and the Multi-Family Land Bay, as both are shown on the Land Bay Plan in the Pattern Book, within Henrico Plaza, the Fence may be modified to include an opening for vehicular passage between the two parcels, as determined and shown on the plan of development for the redevelopment of Glen Lea Shopping Center.
22. **Three-Bedroom Units.** There shall not be more than 96 three-bedroom apartment units in the Multi-Family Housing Land Bay and the Age-Restricted Multi-Family Housing Land Bay, as both are identified in the Land Bay Plan in the Pattern Book (see case file).



23. **Severance.** The unenforceability, elimination, revision or amendment of any proffer set forth herein, in whole or in part, shall not affect the validity or enforceability of the other proffers or the unaffected part of any such proffer.

**Applicable to Commercial Uses**

24. **B-2 Hours of Service.** Any non-residential use on the Property shall comply with the B-2 hours of service contained in Ordinance Section 24-61(I), along with the ability to request a provisional use permit for hours of service to the general public up to 24 hours per day in accordance with Ordinance Sections 24-120 and 24-122.1.
25. **Location of Non-Residential Uses.** Excluding parking, no commercial use on the Property shall be located within 150' of an off-site residential dwelling existing at the time of approval of this rezoning request.
26. **Screening of Service Entrances.** Parking lot landscaping shall be located in a manner so as to obscure the view of service entrances and utility connections/meters of commercial buildings in the Commercial Outparcel Land Bay from the ground level view of residential buildings in the Multi-Family Housing Land Bay, as both land bays are identified in the Land Bay Plan in the Pattern Book (see case file). This landscape screening shall supplement the screening provided in Proffer 13 above to the extent necessary as determined at the time of plan of development review for the applicable commercial building.

**Applicable to Townhome Uses**

27. **Units in a Row.** There shall not be more than eight (8) townhome dwelling units in a building.
28. **Height.** Townhome units located immediately adjacent to the northern and western property line, in the area shown on the Land Use Plan in the Pattern Book (see case file), shall be limited to two stories in height.
29. **Garage.** Each townhome shall have at least a one car garage.
30. **Driveways.** Driveways shall be constructed of either cobblestone, brick, asphalt, pre-cast pavers, concrete or other similar materials approved by the Director of Planning. Gravel may be used between driveways serving townhomes with rear-loaded garages in lieu of grass.
31. **HVAC Units.** HVAC units located between driveways serving rear-loaded garages shall be screened with a low-maintenance, architectural fence on the side of the units facing the rear yard. Other HVAC units shall be screened with low-maintenance, architectural fence on two sides to screen the units from the



view of roads. HVAC units located in a rear yard with a wall or fence between the HVAC unit and adjacent properties need not be screened.

32. **Foundations.** The exposed exterior portions of all foundations below the first floor level shall be finished with brick, brick veneer, stone, stone veneer or cultured stone. On the front, side and rear elevations of each building, there shall be a minimum of twelve (12) inches of brick, brick veneer, stone, stone veneer or cultured stone visible above grade. For reasons associated with required site grading, the requirements of this proffer may be modified or waived by the Director of Planning for individual side or rear facades.

### **Applicable to Multi-Family Uses**

33. **Security Cameras.** The owner or operator of the multifamily buildings shall provide and be responsible for the installation, operation, and maintenance of the functioning security camera and video system of professional grade and quality and rated for surveillance of areas mutually agreed upon between the Owner and the Crime Prevention Unit of the Police Division. Security camera locations and views shall be mutually agreed upon at the time of the security survey in coordination with Section 9 of these conditions. The security camera system shall, at a minimum, include:
- a. At minimum, five-megapixel cameras with night vision capturing pedestrian and vehicular access points, multi-family parking areas, and other areas mutually determined.
  - b. Recordings of all activities under surveillance shall be preserved for a period of one (1) month by the applicant or owner/operator. Authorized representatives of the Henrico County Police Division shall have full and complete access to all recordings upon request.

### **Applicable to Age-Restricted Multi-Family Use**

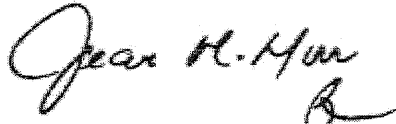
34. **Age Restriction.** Except as otherwise prohibited by the Virginia Fair Housing Law, the federal Housing Law, and such other applicable federal, state, or local legal requirements, any development within the Age-Restricted Multi-Family Housing Land Bay, as shown on Land Bay Plan in the Pattern Book shall be administered in such a manner as to restrict occupancy of residential dwelling units to 'housing for older persons' as defined in the Virginia Fair Housing Law and shall have no persons under 19 years of age residing therein. Further, the Applicant, prior to construction of the multifamily building in this land bay, shall prepare and record restrictive covenants that define the qualification for initial and subsequent occupancy of any age restricted unit within this land bay and shall further restrict households to include at least one (1) person who is age 55 years or older with no persons under 19 years of age residing therein. This



restriction shall be recorded among the land records of Henrico County, Virginia and encumber this land bay prior to the occupancy of any age restricted unit.

The Planning Department has been advised of the action of the Board of Supervisors and will revise its records.

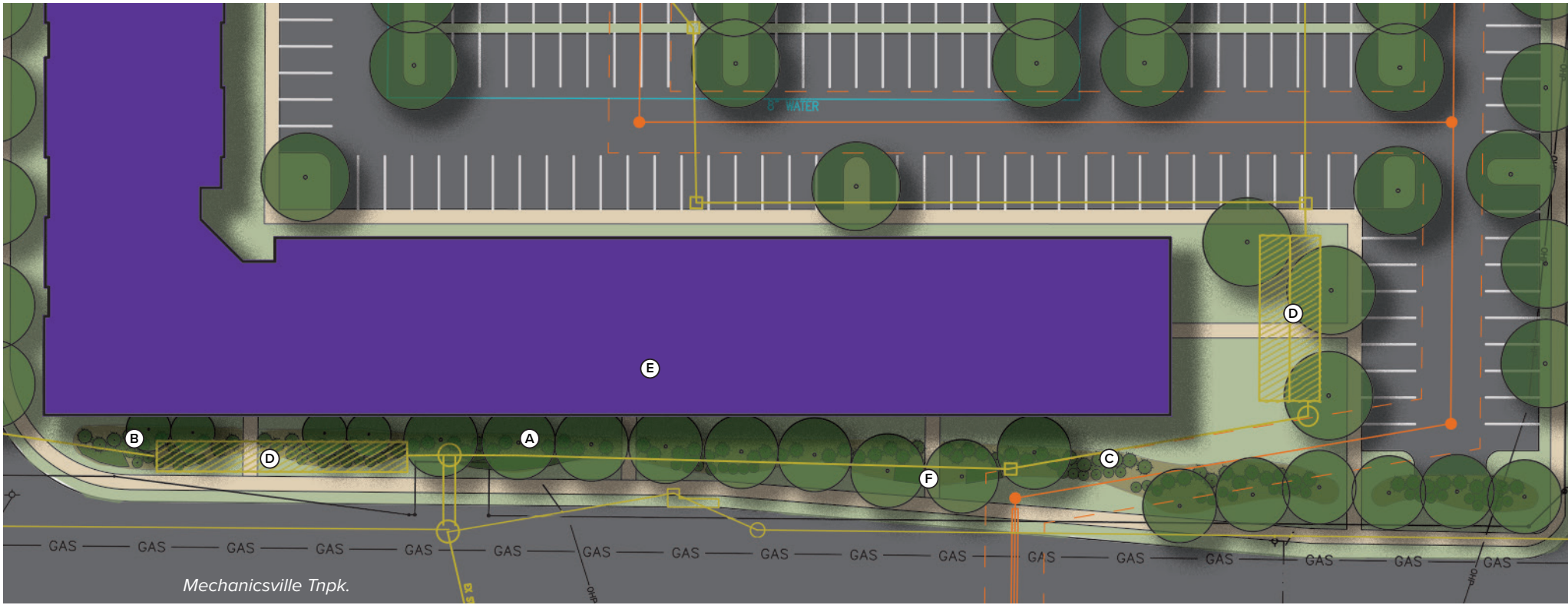
Sincerely,

A handwritten signature in black ink, appearing to read "John A. Vithoukias". The signature is fluid and cursive, with a prominent initial "J" and a stylized "A" at the end.

John A. Vithoukias  
County Manager

pc: GBR Henrico LLC & Plaza 360 Resources LP  
Jeffrey P. Geiger  
Director, Real Estate Assessment  
Mr. Justin Briggs, Schools  
Police, Special Services





Plan



Elevation

- |   |   |
|---|---|
| (A) Large tree (4 per 100 LF) (typ.)                | (E) Age-restricted multi-family building  |
| (B) Small tree (4 per 100 LF) (typ.)                | (F) Conceptual sidewalk connection (typ.) |
| (C) Continuous evergreen hedge (30-36" max. height) | — Storm sewer                             |
| (D) Underground storm chamber (typ.)                | — Sanitary sewer (and easement)           |





# Henrico Plaza

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**PATTERN BOOK**  
HENRICO, VA

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February 2021

REZ2020-00046



Developer:



Landscape Architects/Master Planners:



Attorneys:



Civil Engineers:



Architects:



Traffic Engineers:



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## introduction

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# introduction

location



1" = 1 mile





- Business/Industrial
- ① Walgreens
- ② Family Dollar
- ③ 7-Eleven
- ④ Autozone Auto Parts
- ⑤ Save-A-Lot
- ⑥ Dollar General
- Civic
- ⑦ Henrico Fire Station
- Gas station/convenience store
- Park
- Restaurant
- Community (schools, churches, lodges)
- Henrico Plaza site
- Existing bus stop



REZ2020-00046



introduction

existing conditions







## master plan

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Only 2-story townhomes in this area

Existing cemetery to remain

Existing historical plaque to be relocated into open space, adjacent to parking

Min. 25' setback with landscaping based on 35' Transitional Buffer reduced to reflect use of existing 6' wall

Conceptual sidewalk route along streets

Lights (street lights or pedestrian-scale lights as approved) (To show general intent along internal roadways only; additional lights may be placed in parking lots or along roadways)

Location of potential bus stop pull off bay

Proposed Uses	Use Acreage	Units	Density	Parking
Residential (multi-family)	9.35 ac	300 (max.)	max. 25.94 du/ac.	<i>See Shared Parking Demand Analysis for details on parking</i>
Residential (age-restricted multi-family)	3.57 ac	165 (max.)		
Residential (for-sale townhomes)	8.86 ac	115 (max.)		
Common Area	3.21 ac			
Commercial Outparcels	2.46 ac		Commercial: 10,000 SF min.	
<b>Total Site</b>	<b>27.45 ac</b>			
Required Common Area (10%)	2.75 ac			
Provided Common Area/Open Space	3.21 ac			
Site/Building Coverage Ratio	21.4%			

Proposed Uses	Min. Lot Width	Min. Setback
Residential (multi-family)	150 ft.	2 ft. (front), 0 ft. (from parking), 5 ft. (side)
Residential (age-restricted multi-family)	150 ft.	10 ft. (front), 0 ft. (from parking), 5 ft. (side)
Residential (for-sale townhomes)	16 ft.	5 ft. (front), 10 ft. (side) 20 ft. (rear)
Commercial Outparcels	140 ft.	10 ft. (front)





- Existing cemetery to remain
- Existing historical plaque to be relocated into open space, adjacent to parking
- Min. 25' setback with landscaping based on 35' Transitional Buffer reduced to reflect use of existing 6' wall

- Commercial Outparcels
- Multi-Family Housing
- Age-Restricted Multi-Family Housing
- Clubhouse
- For-Sale Townhomes
- For-Sale Townhomes (2-story)
- Open Space
- Buffer or Forested Area

See proffer exhibit for landscape details along Mechanicsville Tnpk.  
Location of potential bus stop pull off bay





## typical street sections

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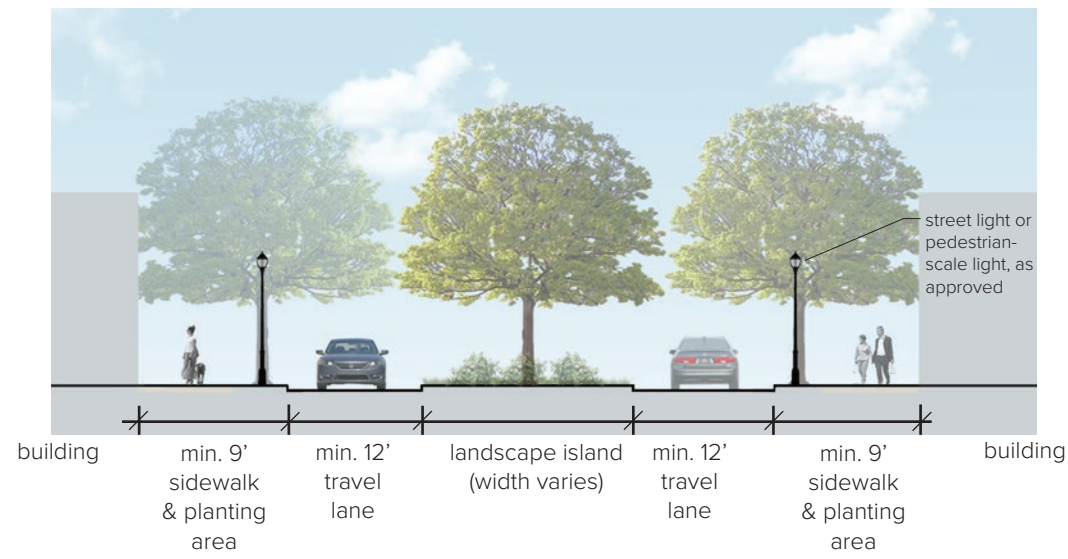




- Type A: Entrance boulevard (private)
- Type B: 1-way street with angled parking (private)
- Type C: 2-way street with parallel parking (both sides) (private)
- Type D: Residential alley (not shown on diagram) (private)
- Type E: 2-way street with parallel parking (one side) (private)
- Type F: 2-way access with perpendicular parking (private)
- Type G: 2-way street without parking (private)

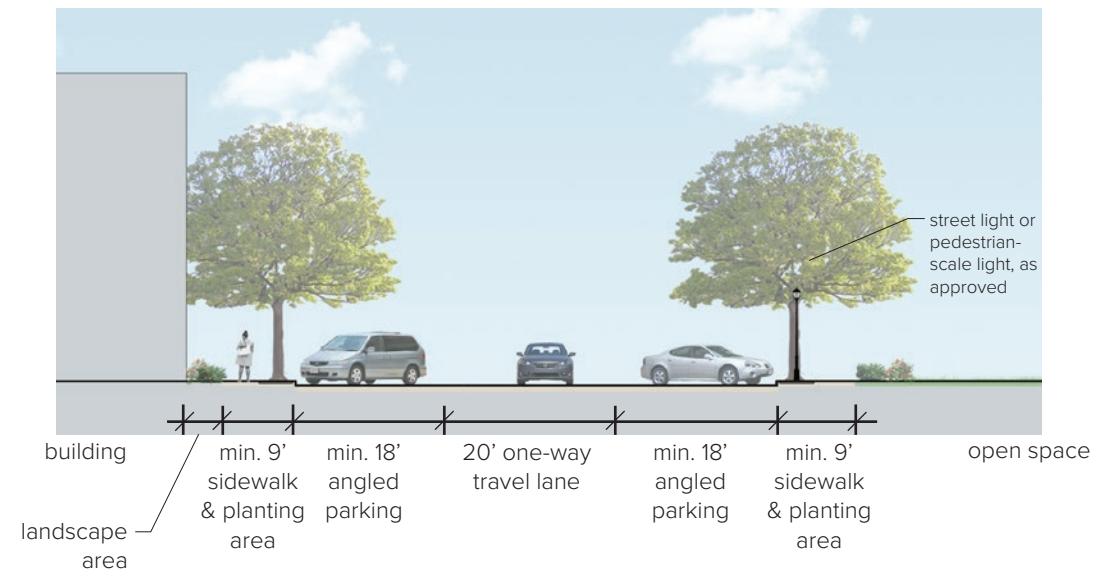




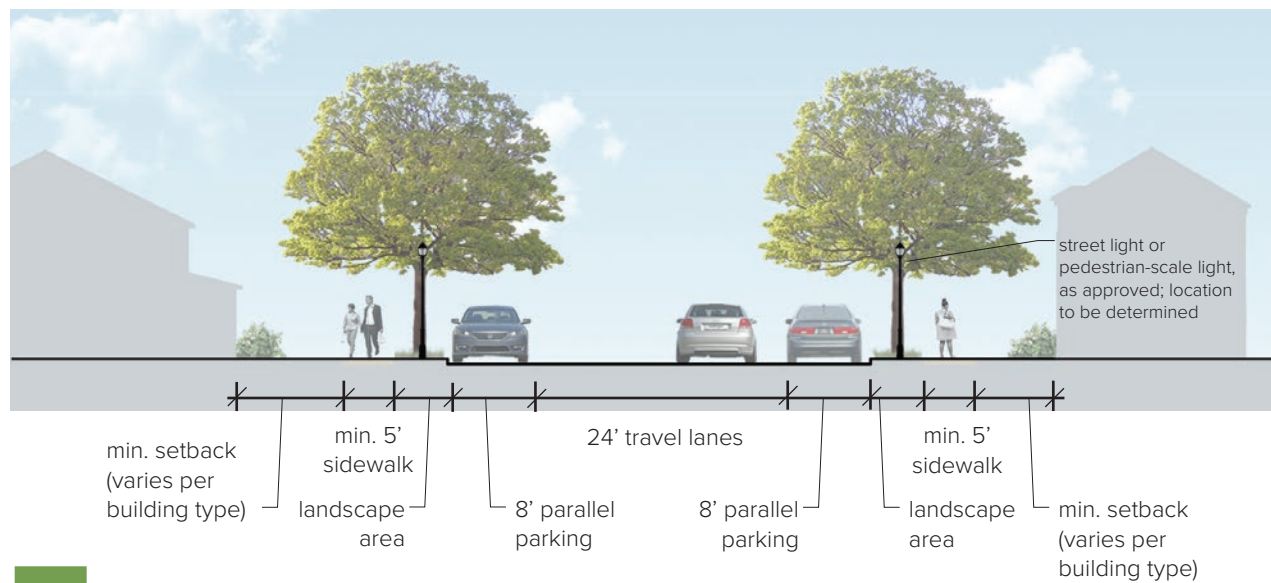


**Type A: Entrance Boulevard (private)**

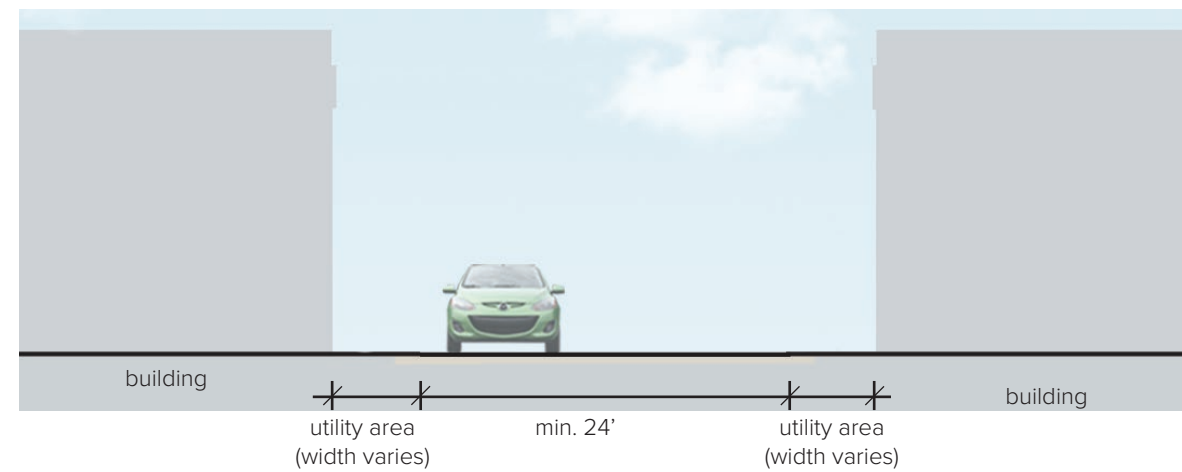
Note: There shall be a minimum of a single travel lane in either direction, not counting any required turn lanes



**Type B: 1-way street with angled parking (private)**



**Type C: 2-Way Street with parallel parking (both sides) (private)**  
*(parallel parking shall be provided where feasible)*

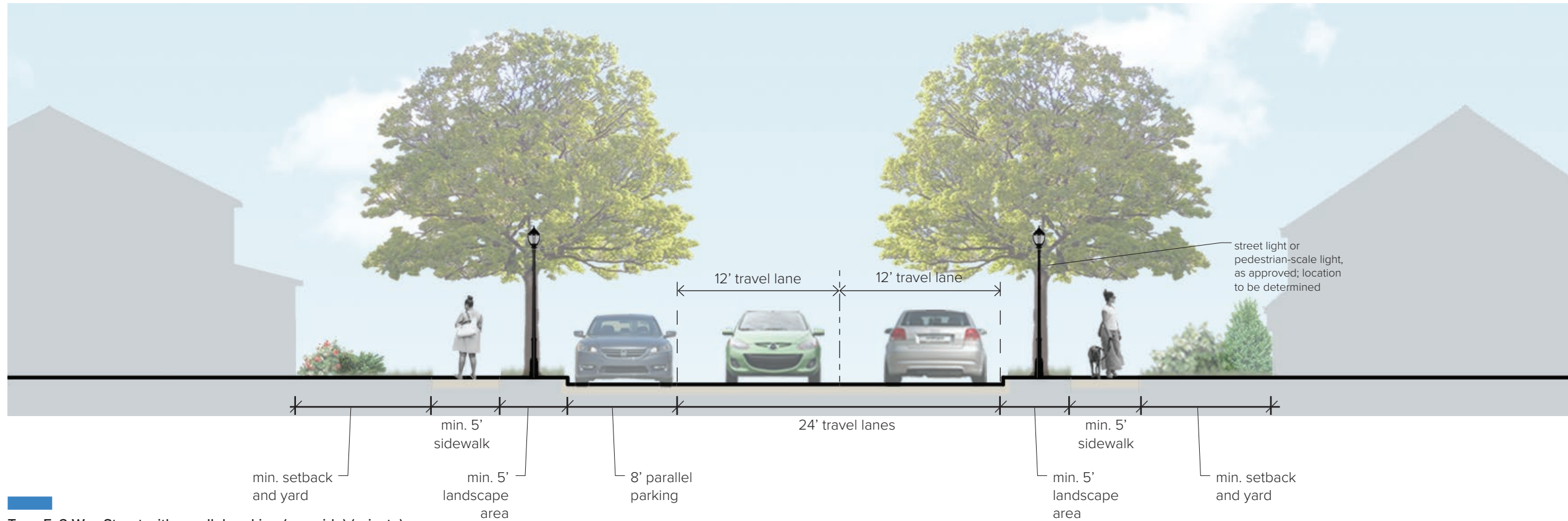


**Type D: Residential alley (private)**

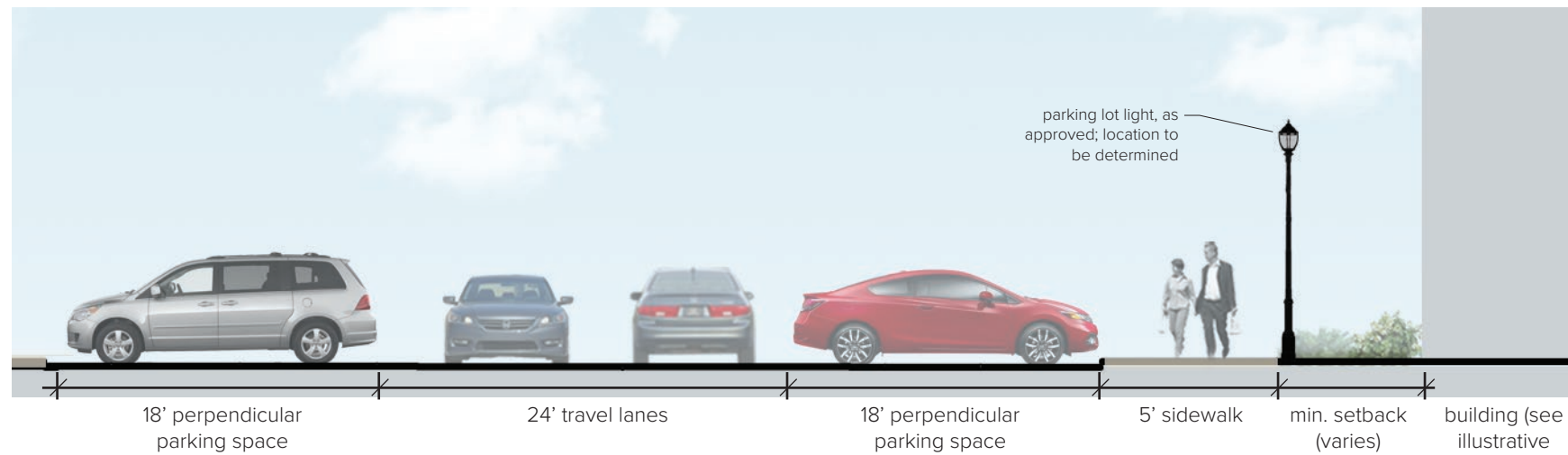


typical street sections

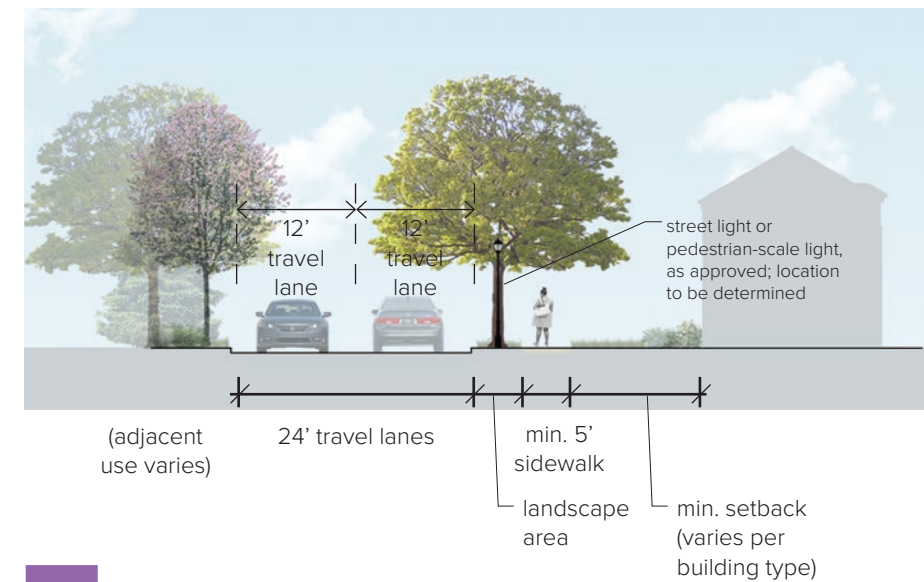
street types



Type E: 2-Way Street with parallel parking (one side) (private)  
(parallel parking shall be provided where feasible)



Type F: 2-Way Access with perpendicular parking (private)



Type G: 2-Way Street without parking (private)





## open space

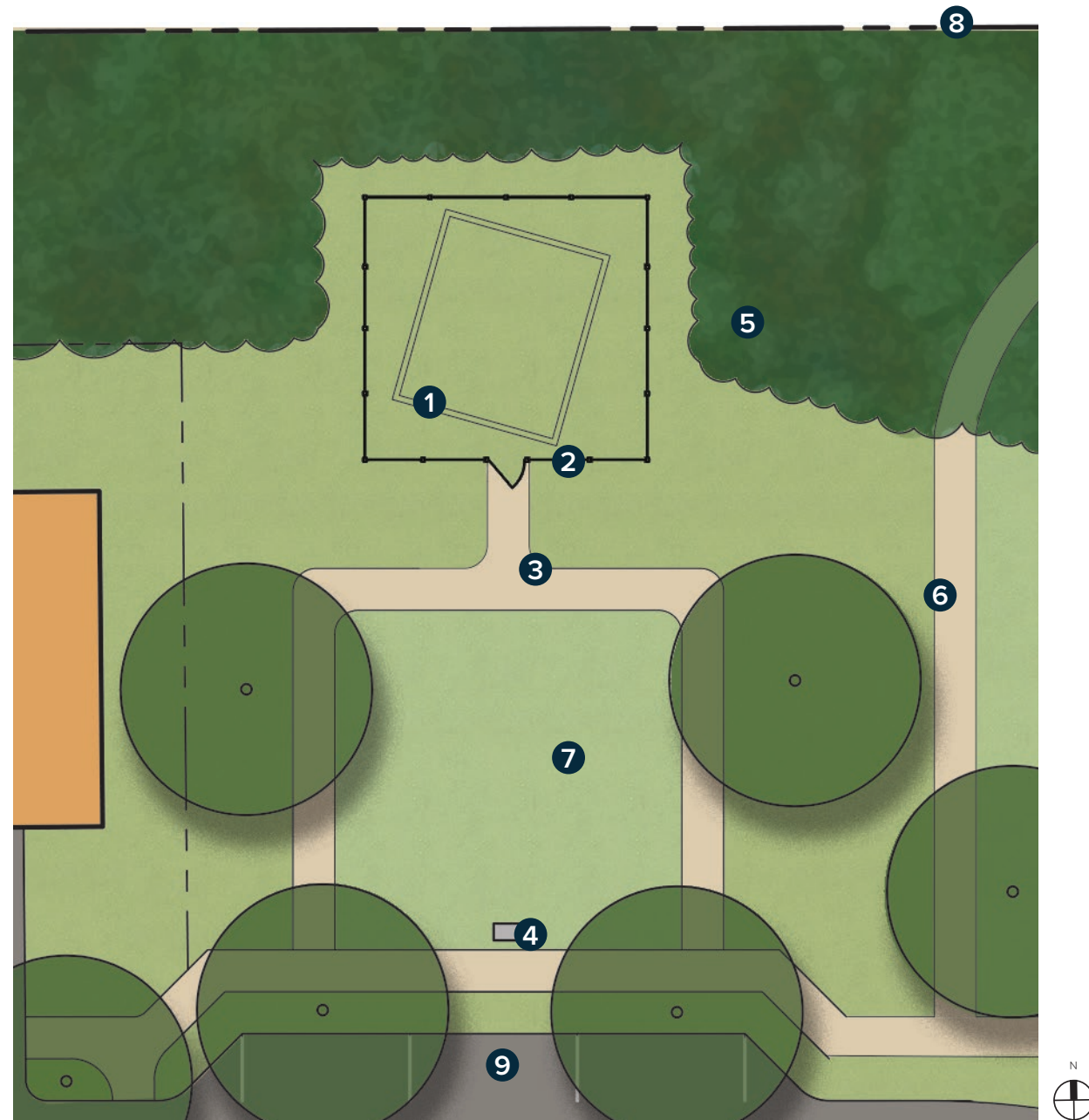
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<b>Amenities</b>	18
<b>Cemetery &amp; Trails</b>	19
<b>Buffer</b>	20







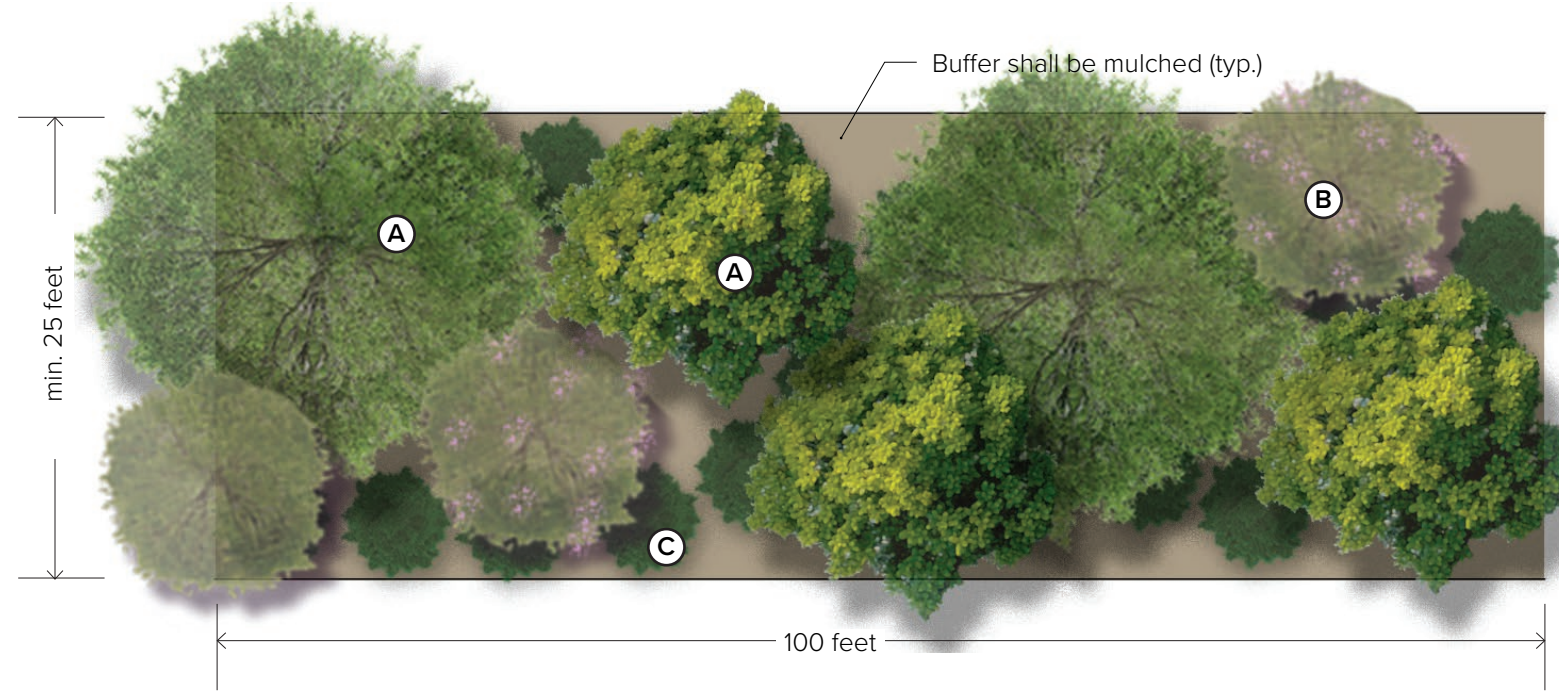


- 1 Existing cemetery to remain, to be cleared of overgrown vegetation
- 2 New low boundary fence and gate
- 3 Sidewalk connection
- 4 Existing historical plaque to be relocated (and restored as necessary)
- 5 Buffer
- 6 Trail
- 7 Park space
- 8 Property Line
- 9 Adjacent parallel parking



- A Sidewalk
- B This buffer area to be planted with plantings required to be planted or supplemented to a 10' transitional buffer under the Zoning Ordinance (at the time of rezoning approval). The arrangement of these plants will be determined at the time of plan of development review.
- C Approximate location of 6' high black vinyl-coated chain link fence. Any future opening(s) in fence will be determined in accordance with the accompanying proffers.





Typical buffer plan



Typical buffer section

- (A) Large tree (deciduous or evergreen) 5 per 100 LF
- (B) Small tree 2.5 per 100 LF
- (C) Large shrub 19 per 100 LF

**Minimum Transitional Buffer 35' (TB35) standard**

*Min. 25' setback with landscaping based on 35' Transitional Buffer reduced to reflect use of existing wall (landscaping to be planted or supplementing to meet this minimum standard)*





## architecture

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Multi-family	22
Age-restricted Multi-Family	23
Clubhouse	24
Townhomes	25
Commercial	26





Image courtesy Poole & Poole Architects

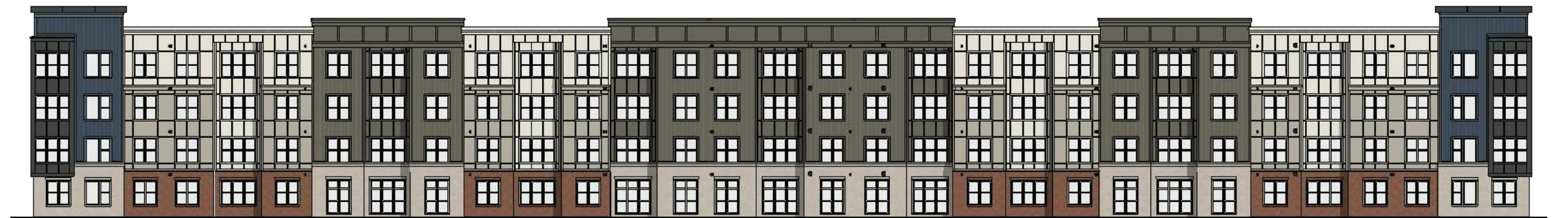
The buildings in the multifamily land bay shall be developed in general conformance with the typical elevations provided on this page of this design guide. The exposed portion of each exterior wall surface (front, rear and sides) of any building shall be similar to the exposed portions of other exterior walls of such building in architectural treatment and materials.

Any building shall have exposed exterior walls (above finished grade) of brick, brick veneer, glass, stone, stone veneer, split face block, cementitious siding, composite-type siding, engineered wood (e.g. LP Smartside), architectural-grade metal panels, insulated panels, textured concrete tilt-up panels, tile, concrete tile, or a combination of any of the foregoing, unless different architectural treatment and/or materials are specifically approved with respect to the exposed portion of any such wall, at the time of Plan of Development. For purposes of these proffers, “exterior walls” shall not be deemed to include columns, pilasters, trim, gutters, accent materials, architectural features, trim, windows, doors, bay doors, piers, wall sections and headers near roll up doors and loading doors. A minimum of twenty-five (25) percent in the aggregate for each building of the exterior portions of the building wall surfaces facing any one of the private roads designated on page 14, excluding windows, doors, breezeways, gables and architectural design features, shall be constructed of brick, brick veneer, stone, stone veneer, textured concrete tilt-up panels, tile, concrete tile, any other masonry material or any combination thereof. No building shall be covered with or have exposed to view any painted or unfinished concrete block, or industrial-grade metal, unless otherwise specifically approved at the time of Plan of Development. Any sloped roofs shall be constructed of textured fiberglass shingles, architectural asphalt shingles, cedar shakes, or composition shingles, unless otherwise specifically approved at the time of Plan of Development.





Images courtesy Poole & Poole Architects



The building in the age restricted land bay shall be developed in general conformance with the typical elevations provided on this page of this design guide. The exposed portion of each exterior wall surface (front, rear and sides) of any building shall be similar to the exposed portions of other exterior walls of such building in architectural treatment and materials.

Any building shall have exposed exterior walls (above finished grade) of brick, brick veneer, glass, stone, stone veneer, split face block, cementitious siding, composite-type siding, engineered wood (e.g. LP Smartside), architectural-grade metal panels, insulated panels, textured concrete tilt-up panels, tile, concrete tile, or a combination of any of the foregoing, unless different architectural treatment and/or materials are specifically approved with respect to the exposed portion of any such wall, at the time of Plan of Development. For purposes of these proffers, "exterior walls" shall not be deemed to include columns, pilasters, trim, gutters, accent materials, architectural features, trim, windows, doors, bay doors, piers, wall sections and headers near roll up doors and loading doors. A minimum of twenty-five (25) percent of the exterior portions of the building wall surfaces facing Mechanicsville Turnpike and any one of the private roads designated on page 14, excluding windows, doors, breezeways, gables and architectural design features, shall be constructed of brick, brick veneer, stone, stone veneer, textured concrete tilt-up panels, tile, concrete tile, any other masonry material or any combination thereof. No building shall be covered with or have exposed to view any painted or unfinished concrete block, or industrial-grade metal, unless otherwise specifically approved at the time of Plan of Development. Any sloped roofs shall be constructed of textured fiberglass shingles, architectural asphalt shingles, cedar shakes, or composition shingles, unless otherwise specifically approved at the time of Plan of Development.





Clubhouse may be used as sales center for community

The clubhouse shall be developed in general conformance with the typical elevations provided on this page of this design guide.

Any building shall have exposed exterior walls (above finished grade) of brick, brick veneer, glass, stone, stone veneer, split face block, cementitious siding, composite-type siding, engineered wood (e.g. LP Smartside), architectural-grade metal panels, insulated panels, textured concrete tilt-up panels, tile, concrete tile, or a combination of any of the foregoing, unless different architectural treatment and/or materials are specifically approved with respect to the exposed portion of any such wall, at the time of Plan of Development. For purposes of these proffers, "exterior walls" shall not be deemed to include columns, pilasters, trim, gutters, accent materials, architectural features, trim, windows, doors, bay doors, piers, wall sections and headers near roll up doors and loading doors. No building shall be covered with or have exposed to view any painted or unfinished concrete block, or industrial-grade metal, unless otherwise specifically approved at the time of Plan of Development. Any sloped roofs shall be constructed of textured fiberglass shingles, architectural asphalt shingles, cedar shakes, or composition shingles, unless otherwise specifically approved at the time of Plan of Development.





The buildings in the townhome land bay shall be developed with a unified and complementary color and architectural theme. This page of this design guide provides typical elevations for the buildings in the townhome land bay showing the characteristics to be associated with the buildings in the townhome land bay. Other typical elevations may be approved by the Planning Director at the time of plan of development review. The final elevations for these buildings shall achieve compatibility with this architectural standard and the typical elevations through materials, forms and the use of historical precedents to capture the character of townhome structures throughout Virginia and with designs that meet the following general standards: adjacent facades will be compatible with each other with architectural features being continued whenever they can be observed by the public from within the project or from public roads and adjacent properties, and architectural features, such as changes in building materials, canopies or awnings, or differences in roof height, will be used to add visual interest. Buildings within the townhome land bay shall provide façade variation as illustrated on the elevations on this page. The side elevation for each townhome building shall contain at least two (2) windows.

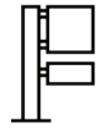
Any building shall have exposed exterior walls (above finished grade) of brick, brick veneer, glass, stone, stone veneer, cementitious siding, composite-type siding, high-grade vinyl (a minimum of .044" nominal thickness as evidenced by manufacturer's printed literature), engineered wood (e.g. LP Smartside), tile, concrete tile, or a combination of any of the foregoing, unless different architectural treatment and/or materials are specifically approved with respect to the exposed portion of any such wall, at the time of Plan of Development. For purposes of these proffers, "exterior walls" shall not be deemed to include columns, pilasters, trim, gutters, accent materials, architectural features, trim, windows, and doors. A minimum of thirty-five (35) percent of the front exterior building wall surface and a minimum of thirty-five (35) percent of the high-visibility side exterior building wall surfaces identified in red on this page, excluding windows, doors, dormers, gables, trim, soffit, fascia and architectural design features, shall be constructed of brick, brick veneer, stone, stone veneer, textured concrete tilt-up panels, tile, concrete tile, any other masonry material or any combination thereof. No building shall be covered with or have exposed to view any painted or unfinished concrete block, or industrial-grade metal, unless otherwise specifically approved at the time of Plan of Development. Any sloped roofs shall be constructed of textured fiberglass shingles, architectural asphalt shingles, or composition shingles, unless otherwise specifically approved at the time of Plan of Development.

*The graphic above shows High Visibility Side Elevations, noted in red.*



The buildings in the commercial land bay shall be developed with a unified and complementary color and architectural theme with the buildings in the multifamily land bay. The final elevations for these buildings shall achieve compatibility with this architectural standard through materials, forms and the use of historical precedents to capture the character of urban structures throughout Virginia and with designs that meet the following general standards: adjacent facades will be compatible with each other with architectural features being continued whenever they can be observed by the public from within the project or from public roads and adjacent properties, and architectural features, such as changes in building materials, canopies or awnings, or differences in roof height, will be used to add visual interest. The conformity requirements and general standards contained in these architecture requirements shall not prohibit retail tenants, office tenants and owners of outparcels, office buildings or other commercial buildings from including prototypical or corporate identification architectural elements in the design of their building or space.

Any building shall have exposed exterior walls (above finished grade) of brick, brick veneer, glass, stone, stone veneer, split face block, cementitious siding, composite-type siding, engineered wood (e.g. LP Smartside), architectural-grade metal panels, insulated panels, textured concrete tilt-up panels, tile, concrete tile, or a combination of any of the foregoing, unless different architectural treatment and/or materials are specifically approved with respect to the exposed portion of any such wall, at the time of Plan of Development. For purposes of these proffers, "exterior walls" shall not be deemed to include columns, pilasters, trim, gutters, accent materials, architectural features, trim, windows, doors, bay doors, piers, wall sections and headers near roll up doors and loading doors. A minimum of thirty (30) percent in the aggregate for each building of the exterior portions of the building wall surfaces facing Mechanicsville Turnpike or any one of the private roads designated on page 14, excluding windows, doors, breezeways, gables and architectural design features, shall be constructed of brick, brick veneer, stone, stone veneer, textured concrete tilt-up panels, tile, concrete tile, any other masonry material or any combination thereof. No building shall be covered with or have exposed to view any painted or unfinished concrete block, or industrial-grade metal, unless otherwise specifically approved at the time of Plan of Development. Any sloped roofs shall be constructed of textured fiberglass shingles, architectural asphalt shingles, or composition shingles, unless otherwise specifically approved at the time of Plan of Development.

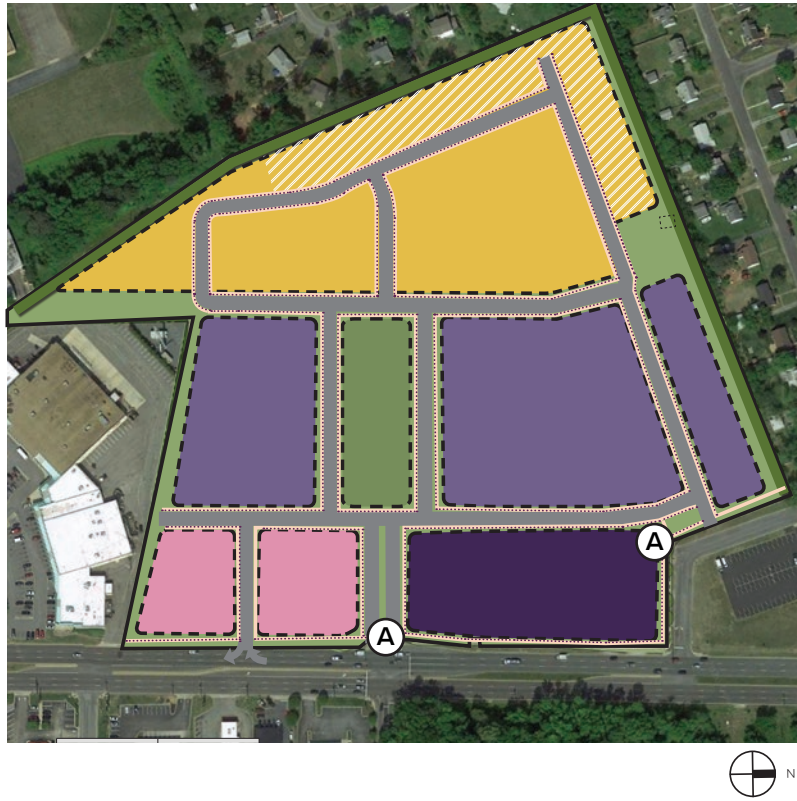


## details

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Signage	28
Lighting	29
Site Furnishings	30
Civil Plans	31





**A** Entrance sign

*Signage locations are conceptual and subject to change.*

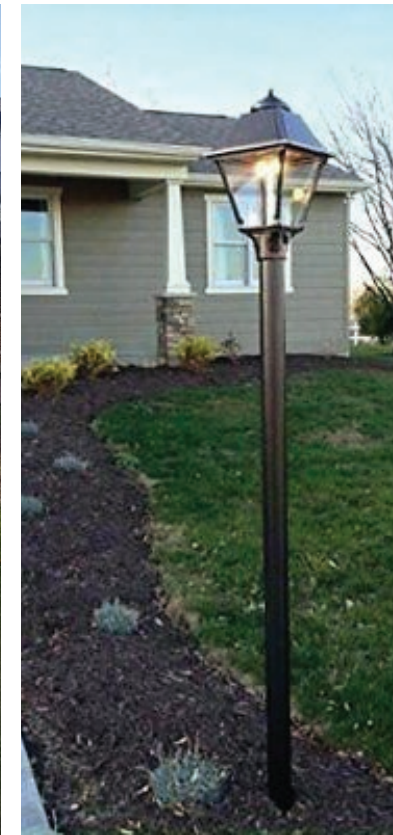
Project signage shall be in general conformance with one of the project sign styles set forth on this page. At the time of plan of development review, the owner shall submit illustrations of the signage to be used within the project; provided, however, that the signage for the buildings in the Commercial Land Bay may be submitted with the construction plans for each of those buildings and shall complement the signage for the rest of the project.



**A** Entrance sign examples







Street lights

Pedestrian-scale lights



Bollard lights

At the time of plan of development review, the owner shall select lighting fixtures in general conformance with one of the illustrative pictures for each type of lighting fixture identified on this page. The appearance of each type of fixture selected shall complement each other in order to create a complementary lighting-fixture style throughout the project. This requirement shall not apply to light fixtures owners of townhomes may install on their lot or on their homes.





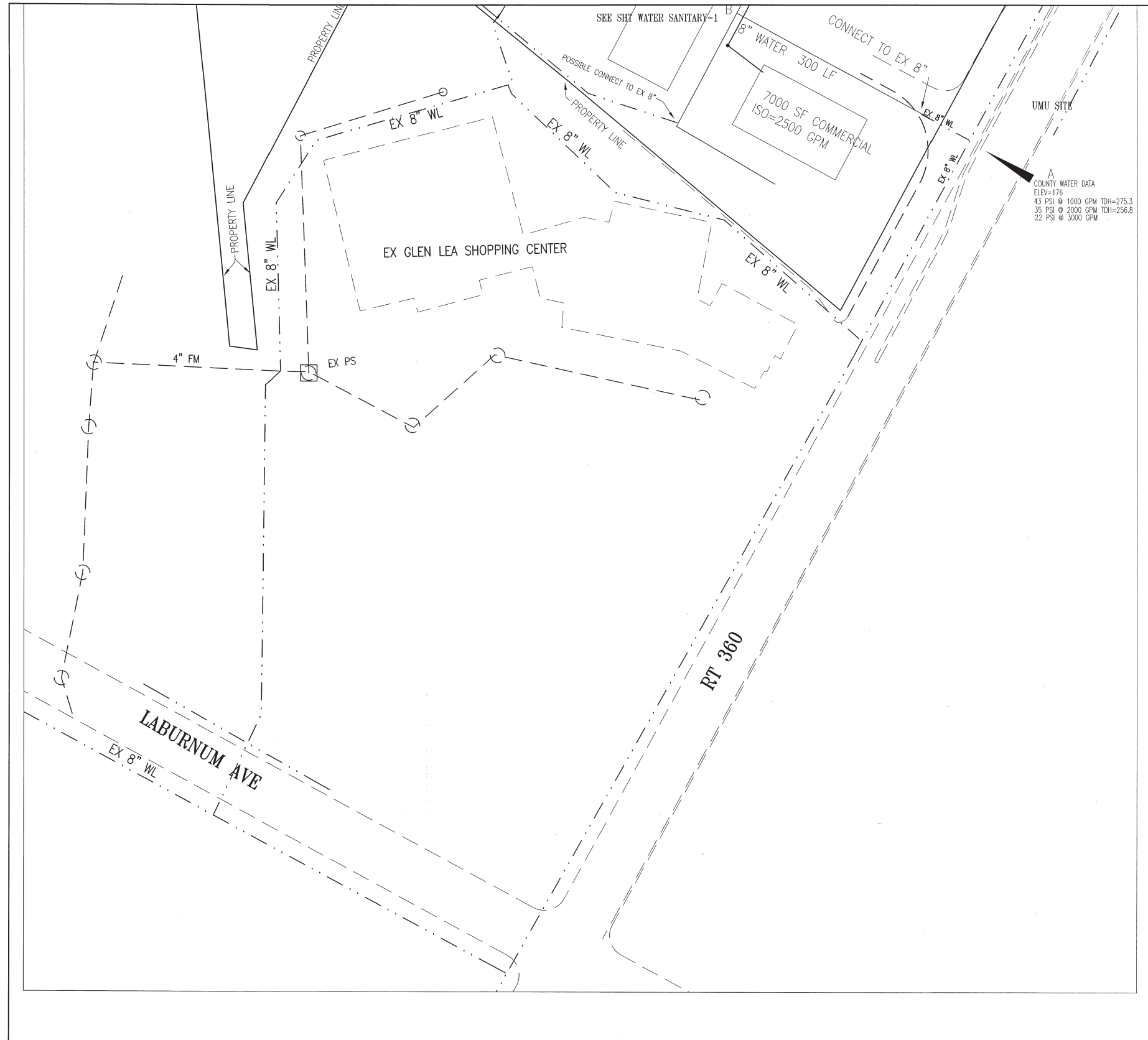
At the time of plan of development review, the owner shall select a style for the site fixtures and use that style throughout the project. This requirement shall not apply to fixtures owners of townhomes may install on their lot.

Examples of site furnishings to be used in locations identified in the POD.









HENRICO COUNTY DPU  
FIRE FLOW ESTIMATE FORM  
ISO (Insurance Service Office) Method of Calculating NFF (Needed Fire Flow)

Engineer: ED Lewis      Date: 1/14/2021

Project Name: UMU AGE RESTRICTED APT

Type of Construction: Wood Studs Class 1  
Class of Construction Coef. = F      1.5

Ground Floor Area = 29650 sf      # of Stories = 4  
Total Floor Area = Ai (effective area) = 74125 sf

FIRE AREA CONSIDERED  
Ci = 18(F/A)^0.5      Ci = 7351  
(Rounded to nearest 250 gpm)      Ci = 7250

Type of Occupancy: apt  
(Worst Case) Occupancy Factor = Oi      0.85

Exposure (x) and Communication (P):  
X1+P1 = 1  
X2+P2 =  
X3+P3 =  
X4+P4 =

Max (X+p) = 1.75      1

Needed Fire Flow      NFF = (Ci)(Oi)(X+p)      NFF = 6163 GPM

Automatic Sprinklers      Yes x      No  
Reduction Factor 50% x NNF =      - 3081 GPM

Total =	3081 Gpm
required Fire Flow- Rounded (if < 2500 nearest 250) (if > 2500 nearest 250)	3000 Gpm

FH required      3

A  
COUNTY WATER DATA  
ELEV=176  
43 PSI @ 1000 GPM TDH=275.3  
35 PSI @ 2000 GPM TDH=256.8  
22 PSI @ 3000 GPM

E.L. LEWIS & ASSOCIATES, P.C.  
 Consulting Engineers - Land Surveyors & Planners  
 2116 Spencer Road - Richmond, VA 23290  
 Phone: (804)295-3948 Fax: (804)295-1200

HENRICO PLAZA  
 FAIRFIELD DISTRICT  
 HENRICO COUNTY, VA.  
 WATER STUDY

DATE: 5-5-20  
 SCALE: 1"=50'  
 DESIGNED: ML  
 DRAWN: ML  
 CHECKED:

REVISIONS: 6-25-20  
 7-14-20 COUNTY  
 1-14-21 REV BLDG

WATER SANITARY-2

IN 21820



E.D. LEWIS & ASSOCIATES  
N=0.012, 24" & Above; N=0.013, 8" > 21"

UMU + Glen Lee - CHURCH

COUNTY OF HENRICO, VA  
Design of Sanitary Sewers  
OP=3.51Qa0.8121 0-20MGD

LINE NO.	MANHOLE NO.	OFFICE x1000SF	AVE FLOW PER 1000SF		RETAIL x1000SF		RESTAURANT x1000 SF		COMMERCIAL ACRES		AVE FLOW PER AC		church 700 gpd		RESIDENTIAL NO. OF UNITS		INCREMENTAL FLOW MGD		TOTAL FLOW MGD		TOTAL PEAK FACTOR	LENGTH (FEET)	SLOPE %	DIA. OF PIPE	CAPA CITY OF PIPE 0.82 MGD	VEL. FULL FT./SEC.	VEL. ACTUAL FT./SEC.	REMARK:										
			FROM	TO	INCR.	TOTAL	INCR.	TOTAL	INCR.	TOTAL	INCR.	TOTAL	INCR.	TOTAL	INCR.	TOTAL	AVE	PEAK	AVE	PEAK																		
F	4	1	0	0	175	7	7	250	3	3	1330	0	0	1500	9.2	9.2	6250	4.9	4.9	600	580	580	300	0.180	0.871	0.180	0.87	4.8	400	0.50	12	1.75	3.5	3.4	UMU PHASE 1			
F			0	0	175	7	7	250	0	0	1500	0	0	600	9.2	9.2	6250	4.9	4.9	600	580	580	300	0.060	0.357	0.240	1.13	4.8							church, Glen Lee max & COMMERCIAL WEST 1			
F	R 300	12+29	0	0	175	7	7	250	0	0	1500	0	0	600	13.8	15.00	4.9	600	1	581	300	0.000	0.005	0.247	1.13	4.6	2100	0.89	12	2.11	4.2	3.1	PHASE 1					
F			10.4	10.4	175	7	7	250	0	0	1500	0	0	600	13.8	15.00	4.9	600	401	982	300	0.122	0.636	0.370	1.35	4.2								FIRE STA				
F			10.4	10.4	175	7	7	250	0	0	1500	0	0	600	13.8	15.00	4.9	600	32	1014	300	0.010	0.081	0.379	1.50	4.2												
F			10.4	10.4	175	7	7	250	0	0	1500	0	0	600	13.8	15.00	4.9	600	95	1109	300	0.039	0.195	0.408	1.69	4.2												
F	12+29	14+42	10.4	10.4	175	7	7	250	0	0	1500	0	0	600	13.8	15.00	4.9	600	1109	300	0.000	0.000	0.408	1.69	4.2	213.00	1.87	10	1.94	5.5	6.0							
F	14+42	15+52	10.4	10.4	175	7	7	250	0	0	1500	0	0	600	13.8	15.00	4.9	600	1109	300	0.000	0.000	0.408	1.69	4.2	110.00	1.68	10	1.84	5.2	4.1						NEED TO VERIFY SLO	
F	15+52	17+62	10.4	10.4	175	7	7	250	0	0	1500	0	0	600	13.8	15.00	4.9	600	82	1191	300	0.025	0.173	0.432	1.78	4.1	210.00	1.68	10	1.84	5.2	4.4						
F	17+62	21+09	10.4	10.4	175	7	7	250	0	0	1500	0	0	600	13.8	15.00	4.9	600	1191	300	0.000	0.000	0.432	1.78	4.1	147.00	1.78	10	1.99	5.4	6.0							
F	21+09	23+09	10.4	10.4	175	7	7	250	0	0	1500	0	0	600	13.8	15.00	4.9	600	1191	300	0.000	0.000	0.432	1.78	4.1	230.00	1.67	10	1.84	5.2	6.6							
F	23+09	jump sta	10.4	10.4	175	7	7	250	0	0	1500	0	0	600	13.8	15.00	4.9	600	1191	300	0.000	0.000	0.432	1.78	4.1	0.57	12	1.74	3.4								PUMP STA	

E.D. LEWIS & ASSOCIATES  
N=0.012, 24" & Above; N=0.013, 8" > 21"

EXISTING SEWER FLOWS - UMU FOR OVERSIZE CALC

COUNTY OF HENRICO, VA  
Design of Sanitary Sewers  
OP=3.51Qa0.8121 0-20MGD

LINE NO.	MANHOLE NO.	OFFICE x1000SF	AVE FLOW PER 1000SF		RETAIL x1000SF		RESTAURANT x1000 SF		COMMERCIAL ACRES		AVE FLOW PER AC		church 700 gpd		RESIDENTIAL NO. OF UNITS		INCREMENTAL FLOW MGD		TOTAL FLOW MGD		TOTAL PEAK FACTOR	LENGTH (FEET)	SLOPE %	DIA. OF PIPE	CAPA CITY OF PIPE 0.82 MGD	VEL. FULL FT./SEC.	VEL. ACTUAL FT./SEC.	REMARK:										
			FROM	TO	INCR.	TOTAL	INCR.	TOTAL	INCR.	TOTAL	INCR.	TOTAL	INCR.	TOTAL	INCR.	TOTAL	AVE	PEAK	AVE	PEAK																		
F			0	0	175	7	7	250	3	3	1330	0	0	1500	9.2	9.2	6250	4.9	4.9	600	580	580	300	0.180	0.871	0.180	0.87	4.8								UMU PROPOSED		
F			0	0	175	7	7	250	0	0	1500	0	0	600	9.2	9.2	6250	4.9	4.9	600	580	580	300	0.000	0.000	0.180	0.87	4.8										
F	R 300	12+29	0	0	175	7	7	250	0	0	1500	0	0	600	13.8	15.00	4.9	600	1	581	300	0.000	0.005	0.180	0.87	4.8	2500	0.89	10	1.32	3.7	3.1						NEW SAN
F			10.4	10.4	175	7	7	250	0	0	1500	0	0	600	13.8	15.00	4.9	600	401	982	300	0.122	0.636	0.302	1.33	4.4										FIRE STA		
F			10.4	10.4	175	7	7	250	0	0	1500	0	0	600	13.8	15.00	4.9	600	32	1014	300	0.010	0.081	0.312	1.36	4.4												
F			10.4	10.4	175	7	7	250	0	0	1500	0	0	600	13.8	15.00	4.9	600	95	1109	300	0.039	0.195	0.340	1.46	4.3											GROVE POINT	
F	12+29	14+42	10.4	10.4	175	7	7	250	0	0	1500	0	0	600	13.8	15.00	4.9	600	1109	300	0.000	0.000	0.340	1.46	4.3	213.00	1.85	10	1.90	5.4	6.0							
F	14+42	15+52	10.4	10.4	175	7	7	250	0	0	1500	0	0	600	13.8	15.00	4.9	600	1109	300	0.000	0.000	0.340	1.46	4.3	110.00	1.68	10	1.81	5.1	4.1							NEED TO VERIFY SLO
F	15+52	17+62	10.4	10.4	175	7	7	250	0	0	1500	0	0	600	13.8	15.00	4.9	600	82	1191	300	0.025	0.173	0.365	1.55	4.2	210.00	1.68	10	1.81	5.1	4.4						
F	17+62	21+09	10.4	10.4	175	7	7	250	0	0	1500	0	0	600	13.8	15.00	4.9	600	1191	300	0.000	0.000	0.365	1.55	4.2	247.00	1.68	10	1.81	5.1	6.0							
F	21+09	23+09	10.4	10.4	175	7	7	250	0	0	1500	0	0	600	13.8	15.00	4.9	600	1191	300	0.000	0.000	0.365	1.55	4.2	200.00	1.68	10	1.81	5.1	6.6							
F	23+09	jump sta	10.4	10.4	175	7	7	250	0	0	1500	0	0	600	13.8	15.00	4.9	600	1191	300	0.000	0.000	0.365	1.55	4.2	0.57	12	1.76	3.5								PUMP STA	



E.D. LEWIS & ASSOCIATES  
Consulting Engineers - Land Surveyors & Planners  
2118 Spencer Road - Richmond, VA 23220  
Phone: (804)285-3948 Fax: (804)282-1280

HENRICO PLAZA  
FAIRFIELD DISTRICT  
HENRICO COUNTY, VA.  
CALCULATIONS

DATE: 5-4-20  
SCALE: 1"=20'  
DESIGNED: ML  
DRAWN: ML  
CHECKED:  
REVISIONS: 6-26-20  
7-16-20  
7-28-20 COUNTY  
12-18-20 UMU UPDATE  
1-18-21 UPDATED PER CLIENT



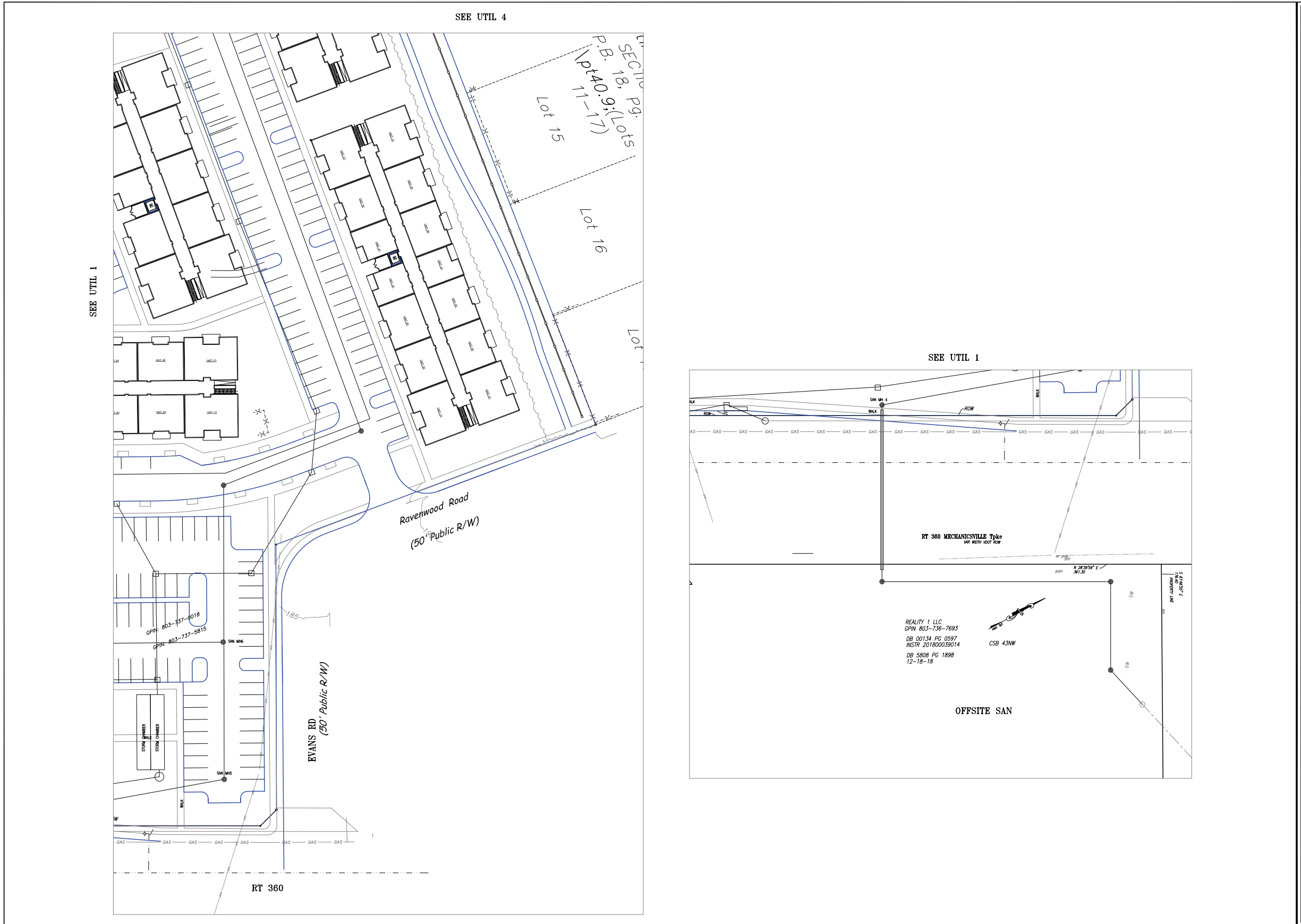
CALC-1  
IN 21820 SAN

REZ2020-00046



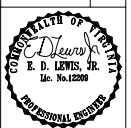






E.D. Consulting Engineers · Land Surveyors & Planners  
**LEWIS & ASSOCIATES** P.C.  
2116 Spenser Road · Richmond, VA 23201  
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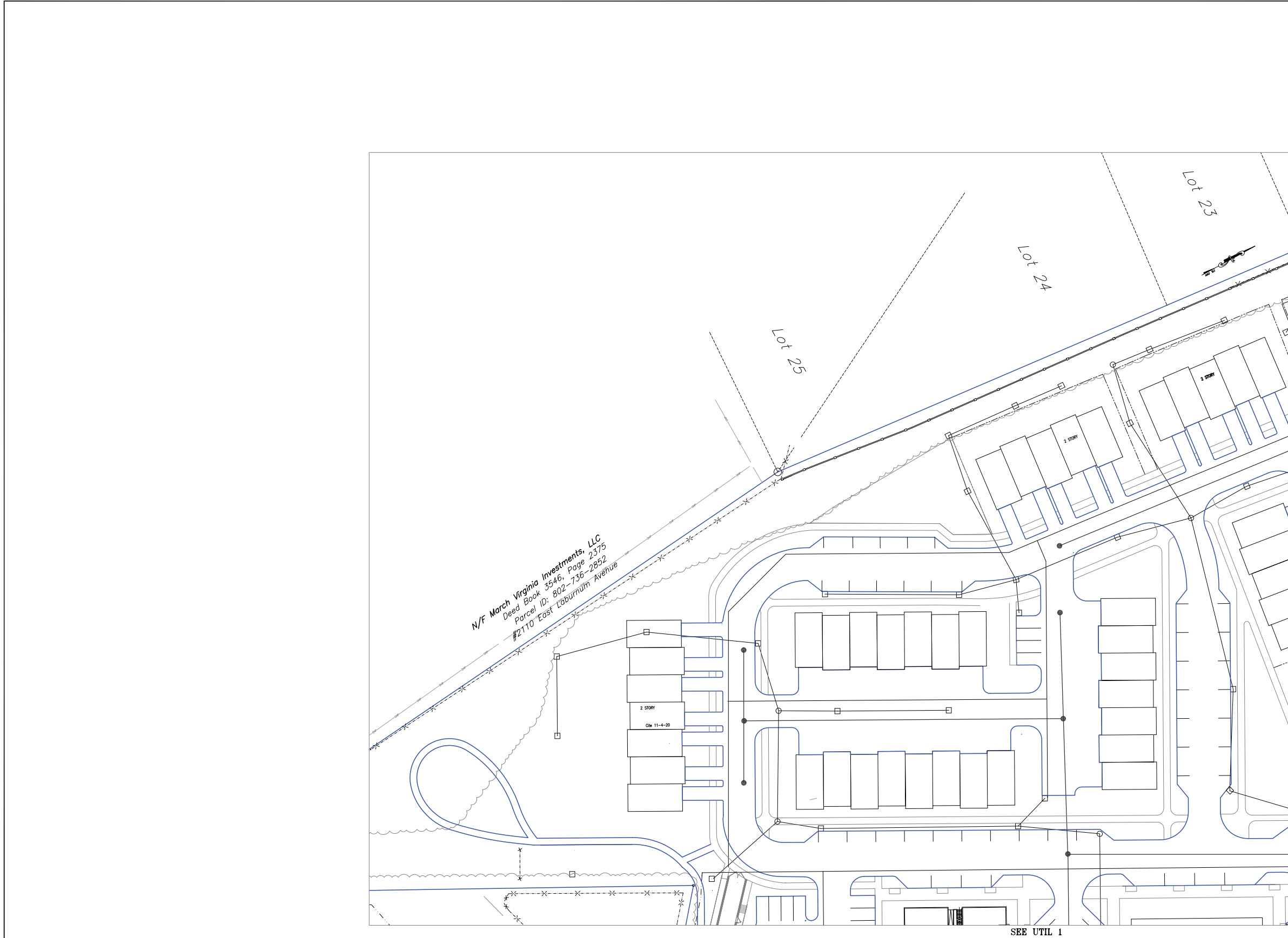
HENRICO PLAZA  
FAIRFIELD DISTRICT  
HENRICO COUNTY, VA.  
SEWER AND WATER



UTIL-2  
JN 21820

REZ2020-00046





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HENRICO PLAZA  
 FAIRFIELD DISTRICT  
 HENRICO COUNTY, VA.  
 SEWER AND WATER

SEE UTIL 4

SEE UTIL 1

DATE: 10-15-20  
 SCALE: 1"=30'  
 DESIGNED: ML  
 DRAWN: ML  
 CHECKED: ML  
 REVISIONS:  
 12-14-20 NEW BLDGS

UTIL-3  
 JN 21820







