

COUNTY  
of  
GOOCHLAND

COUNTY  
of  
GOOCHLAND

PROP. KAIN'S  
QUARTER

PROPOSED CONCEPT RD. 132

A-1

R-2AC

A-1

A-1 to UMUC  
183.011 Ac.

A-1

PROPOSED CONCEPT RD. 126

R-3C

PROPOSED CONCEPT RD. 132

A-1

R-5AC

A-1\*

R-6C\*

C-1C\*

R-6C\*

C-1C\*

B-2C\*

O-3C\*

BACOVA DR

B-3C\*

A-1\*

C-1C\*

A-1\*

R-6C

C-1

R-6C

C-1

R-6C

R-6C\*

A-1

W BROAD ST

PROP. WESTGATE SQUARE

SAUNDERS  
TAVERN TRAIL  
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COMMONWEALTH OF VIRGINIA  
COUNTY OF HENRICO

John A. Withoukask  
County Manager

February 1, 2022

Triple J Farms, LLC  
c/o Nancy Grandis White  
784 Tramore Lane  
Naples, FL 34108

ME Taylor, LLC  
c/o Steve Thompson  
1930 Soldiers Lodge  
Crozier, VA 23039

ME Payne, LLC  
c/o Richard E. Core  
10618 Patterson Ave.  
Henrico, VA 23238

RE: Rezoning Case REZ2021-00048

Dear Applicant:

The Board of Supervisors at its meeting on January 25, 2022, approved your request to conditionally rezone from A-1 Agricultural District to UMUC Urban Mixed-Use District (Conditional) Parcels 731-768-6671, 731-769-1848, 731-770-6865, 732-768-3835, 732-768-9107, and 734-767-2531 containing 183.011 acres located on the north line of Bacova Drive at its intersection with N. Gayton Road, described as follows:

Parcel 734-767-2531

Beginning at a point situated on the northern line of Bacova Drive, Frontage Road F-100, a variable width public right of way, said point being +/- 243' west of the western line of North Gayton Road, State Route 6040, a variable width public right of way; thence with said northern line with a curve to the left having a radius of 957.50', an arc length of 363.50' and a chord bearing N87°41'14"W, 361.32' to a point; thence S81°26'14"W, 200.00' to a point; thence with a curve to the right having a radius of 902.50', an arc length of 353.27' and a chord bearing N87°20'57"W, 351.02' to a point; thence N71°31'21"W, 41.43' to a point; thence N65°30'32"W, 348.27' to a point; thence N62°15'46"W, 158.85' to a point; thence with a curve to the left having a radius of

2,904.79', an arc length of 85.74' and a chord bearing N64°54'44"W, 85.74' to a point; thence leave said northern line of Bacova Drive, N26°21'17"E, 374.16' to a point; thence N33°08'55"E, 177.32' to a point; thence N33°11'00"E, 199.94' to a point; thence N32°59'27"E, 171.39' to a point; thence N34°19'17"E, 105.97' to a point; thence N39°07'43"E, 432.32' to a point; thence S50°06'23"E, 649.28' to a point; thence S48°52'50"E, 197.00' to a point; thence S48°56'03"E, 398.60' to a point; thence S49°34'34"E, 207.38' to a point; thence S46°32'17"E, 165.49' to a point situated on the western line of North Gayton Road; thence with the said western line S27°19'21"W, 114.92' to a point; thence leave said western line of North Gayton Road S68°24'54"W, 39.64' to a point situated in the centerline of a creek, thence with the centerline of creek as it meanders +/- 549' having the following course and distances S77°53'35"W, 23.60' to a point; thence S57°09'58"W, 63.47' to a point; thence S41°33'49"W, 28.89' to a point; thence N81°31'34"W, 28.61' to a point; thence S64°13'41"W, 32.89' to a point; thence S68°02'50"W, 44.33' to a point; thence S42°48'02"W, 75.94' to a point; thence S06°16'39"W, 25.03' to a point; thence S25°22'10"W, 30.52' to a point; thence S85°18'41"W, 5.27' to a point; thence N76°34'35"W, 16.81' to a point; thence S87°17'51"W, 18.44' to a point; thence S51°23'26"W, 20.64' to a point; thence S38°16'25"W, 24.27' to a point; thence S51°25'47"W, 28.13' to a point; thence S60°23'18"W, 13.88' to a point; thence S73°32'29"W, 18.46' to a point; thence S86°10'53"W, 24.71' to a point; thence S41°16'18"W, 10.37' to a point; thence S05°33'37"E, 2.08' to a point; thence S29°39'19"E, 12.46' to a point; thence leave said centerline of creek S47°25'36"W, 54.10' to the Point of Beginning, said parcel containing 1,747,576.85 square feet or 40.119 acres.

Parcel 732-768-9107

Beginning at a point situated on the northern line of Bacova Drive, Frontage Road F-100, a variable width public right of way, said point being +/-1,795' west of the western line of North Gayton Road, State Route 6040, a variable width public right of way; thence with said northern line with a curve to the left having a radius of 2,904.79', an arc length of 156.41' and a chord bearing N67°18'01"W, 156.39' to a point; thence N68°50'34"W, 206.73' to a point; thence N60°19'29"W, 237.71' to a point; thence N62°59'47"W, 96.19' to a point; thence N55°03'11"W, 384.39' to a point; thence leave said northern line of Bacova Drive N16°26'18"E, 1,494.00' to a point; thence S54°33'53"E, 75.62' to a point; thence S67°09'38"E, 411.86' to a point; thence S67°08'02"E, 532.65' to a point; thence S50°23'40"E, 503.63' to a point; thence S39°07'43"W, 432.32' to a point; thence S34°19'17"W, 105.97' to a point; thence S32°59'27"W, 171.39' to a point; thence S33°11'00"W, 199.94' to a point; thence S33°08'55"W, 177.32' to a point; thence S26°21'17"W, 374.16' to the Point of Beginning, said parcel containing 1,925,222.37 square feet or 44.197 acres.

Parcels 732-768-3835, 731-768-6671, 731-769-1848, and 731-770-6865 (Henrico County portion only)

Beginning at a point situated on the northern line of Bacova Drive, Frontage Road F-100, a variable width public right of way, said point being +/-2,876' west of the western

line of North Gayton Road, State Route 6040, a variable width public right of way; thence with said northern line N55°03'11"W, 166.71' to a point; thence N08°18'50"E, 44.50' to a point; thence N55°33'10"W, 115.33' to a point; thence S16°56'18"W, 126.86' to a point situated on the northern line of Interstate 64, a limited access public right of way; thence with said northern line N53°20'57"W, 225.38' to a point; thence N60°31'13"W, 346.80' to a point; thence N65°58'35"W, 201.39' to a point; thence N56°54'53"W, 63.47' to a point; thence N51°18'48"W, 699.82' to a point; thence N51°08'27"W, 102.06' to a point situated on the Henrico/Goochland County line; thence leave said northern line of Interstate 64 along the county line N15°37'01"E, 3,169.11' to a point; thence leave the county line S49°54'03"E, 1,094.49' to a point; thence S18°47'34"W, 1,457.43' to a point; thence S35°23'14"E, 231.00' to a point; thence S52°30'55"E, 382.79' to a point; thence S69°25'35"E, 114.54' to a point; thence S73°16'22"E, 276.74' to a point; thence S16°26'18"W, 1,494.00' to the Point of Beginning, said parcels containing 4,299,167.64 square feet or 98.695 acres.

The Board of Supervisors accepted the following proffered conditions, dated January 25, 2022, which further regulate the above-described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

1. **Pattern Book.** The Property shall be developed in general conformance with the concept plan, illustrations and information set forth in the Avenlea pattern book (the "Pattern Book") filed herewith (see case file), or as it may be updated from time to time, which illustrations and information are conceptual in nature and may vary in detail. If not in general conformance with the foregoing, deviations may be approved in any subsequent Plan of Development, subdivision approval or any variations permitted by the Director of Planning upon the Director finding that the variations are generally in keeping with the spirit and concept of the Pattern Book.
2. **Prohibited Uses.** The following uses shall be prohibited on the Property:
  - a. funeral homes, mortuaries, crematories and/or undertaking establishments;
  - b. gun shop, sales and repair;
  - c. adult businesses as defined by Section 24-3 of the Henrico County Code;
  - d. establishments whose primary business is check cashing and/or the making of payday loans as defined and regulated by Sections 6.2-2100 et seq. and 6.2-1800 et seq. of the Code of Virginia (the foregoing shall not preclude banks, savings and loans or similar financial institutions that are not regulated by the foregoing Virginia Code sections);
  - e. car title loan operations;

- f. flea markets;
  - g. billboard signs;
  - h. No free-standing, single tenant building, excluding the food truck or food hall area, shall be used for a fast food restaurant, not to exclude, however, fast-casual restaurants such as Panera, restaurants with dedicated parking for the pickup of carry-out food, nor restaurants whose primary business is the sale of specialty coffees or other non-alcoholic beverages or pastry. The Director of Planning shall determine if a restaurant is fast food or fast casual pursuant to the above. The foregoing permitted uses, as well as banks and pharmacies, may have drive-thru lanes; and
  - i. the sale, display or on-premises use of retail CBD or hemp-based products. Retail CBD and hemp-based products are products related to or derived from CBD oil (cannabidiol) or hemp, including without limitation oils, vitamins, supplements, food, personal care and garments.
3. **Severance.** The unenforceability, elimination, revision or amendment of any proffer set forth herein, in whole or in part, shall not affect the validity or enforceability of the other proffers or the unaffected part of any such proffer.
4. **Residential Density.** No more than 1,600 residential dwelling units shall be permitted on the Property, which limitation does not apply to units which are a part of a life care, assisted living and/or nursing home facility; however independent living units within a life care facility shall apply. The maximum number of residential dwelling units, unless otherwise approved by the Director of Planning at the time of Plan of Development and/or subdivision approval, shall be:
- a. Blocks A-H cumulatively: A maximum of 610 residential dwelling units in the aggregate, of which no more than 270 units can be apartment units.
  - b. Blocks I-K cumulatively: A maximum of 440 residential dwelling units in the aggregate, of which no more than 270 units can be apartment units.
  - c. Block L-O cumulatively: A maximum of 550 residential dwelling units in the aggregate, which may be a combination of townhomes, condominiums, and single family detached homes.
  - d. The Residential Blocks in the aggregate, as depicted in the Pattern Book (see case file), shall contain at least two (2) different product types, in addition to

any apartments which may be a residential and a commercial product, or just different residential products.

- e. There shall be no more than 800 (eight hundred) residential units of any one type within Avenlea as a whole.
5. **Commercial Space.** Blocks A, E, F and J shall, in the aggregate at the time of full development contain a minimum of 150,000 square feet of commercial space, unless the herein requirement has been met taking into account the other blocks in the development, unless otherwise approved by the Director of Planning at the time of Plan of Development and/or subdivision approval.
6. **First Floor Commercial.** At least 50% of that portion of the rentable finished first floor area of multi-family, for-rent buildings in Blocks A, E, F and J which front on a Primary Commercial Street shall be restricted to commercial uses, unless otherwise approved by the Director of Planning at the time of Plan of Development approval.
7. **Easements.** The applicants shall provide one another with non-exclusive, cross-easements for access, utilities, storm-water and the construction and maintenance thereof.
8. With each POD submission, should the proposed use be materially inconsistent with, and negatively impact the findings in the Traffic Impact Analysis submitted with the rezoning (see case file), such Analysis shall be updated upon request by the Director of Public Works.
9. **Setbacks.** Minimum setbacks shall be generally as shown in the Pattern Book (see case file) unless otherwise approved by the Director of Planning at the time of Plan of Development or Subdivision Plan approval.
10. **Parking Plan.** The applicant shall provide a minimum number of parking spaces as required by the UMU Ordinance. Should reduced parking be requested, parking information in support of such request shall be provided with the Plan of Development or Subdivision Plan for approval.
11. **Signage.** Signage within Avenlea shall be generally consistent with the styles depicted in the Pattern Book (see case file) unless otherwise approved by the Director of Planning at the time of Plan of Development or subdivision approval. No mounted billboard-type signage shall be permitted.

**12. Exterior Building Materials.**

- a. Residential Structures. All buildings shall have exposed exterior walls (above grade and exclusive of trim) of stone, stone veneer, brick, fiber-cement siding, or a combination of the foregoing unless different architectural treatment and/or material are specifically approved with respect to the exposed portion of any such wall, at the time of Plan of Development review. A minimum of thirty (30) percent in the aggregate for each building and an average of thirty-five (35) percent in the aggregate for all buildings, of the exterior portions of the front building wall surfaces of each building, excluding windows, doors, breezeways, gables and architectural design features, shall be of brick, stone or stone veneer construction.
- b. Commercial Structures. The exposed portion of each exterior wall surface (front, rear and sides) of any commercial building (excluding rooftop screening materials for mechanical equipment) shall be similar to the exposed portions of other exterior walls of such building in architectural treatment and materials. Any building shall have exposed exterior walls (above finished grade and exclusive of trim) of brick, glass, E.I.F.S., stone, stone veneer, split face block, cementitious, composite-type siding, architectural-grade metal panels, or a combination of the foregoing, unless different architectural treatment and /or materials are specifically approved with respect to the exposed portion of any such wall, at the time of Plan of Development. A minimum of forty (40) percent of each façade of buildings which face N. Gayton Road or I-64, excluding windows, doors, breezeways, gables and architectural design features, shall be of brick, stone or stone veneer construction. No building shall be covered with or have exposed to view any painted or unfinished concrete block, or industrial-grade metal, unless otherwise specifically approved at the time of Plan of Development. Any sloped roofs shall be constructed of slate, simulated slate, standing seam metal or textured fiberglass shingles, architectural shingles, cedar shakes, concrete or composition shingles. Retail users will be permitted to include prototypical or corporate identification architectural elements in the design of their building or space.

- 13. Structured Parking Facades.** The facades of any structured parking shall be complementary with the color and materials of the building(s) it serves, unless otherwise approved by the Director of Planning at the time of Plan of Development or Subdivision Plan approval, in general conformance as depicted in the Pattern Book on pages 50 and 53 (see case file). Screening of open areas within the structured parking deck shall be determined at the time of Plan of Development or Subdivision Plan approval.

14. **Development Adjacent to the Northern Line of Block "O":**
  - a. No road shall physically connect to the northern line of Block "O" until such time as the County's contemplated improvements to Kain Road have been completed;
  - b. A 35' vegetative buffer, exclusive of lots, shall be provided along said northern line;
  - c. Homes adjacent to the aforesaid buffer in subsection b above, shall not exceed 2 stories or 40' in height for so long as the adjacent property to the north is zoned to a category not allowing dwellings in excess of 40' in height;
  - d. Subject to the height limitations set forth in subsection c above, buildings within 150' of said northern line shall not exceed 45' in height.
15. **Height Exception Limitation.** The exception to the maximum height of buildings in Avenlea shall only apply to Blocks "A" through "J" as shown in the Pattern Book (see case file), unless otherwise approved by the Director of Planning at the time of Plan of Development or Subdivision Plan approval.
16. **Vendor Areas.** Areas of the Property may be designated on the Master Plan, as may be revised from time to time, or a Plan of Development, for the preparation of food or beverages or the sale or display of merchandise conducted in an open area or structure by one or more individual vendors operating from stalls, stands, carts, vehicles or other spaces which are rented or otherwise made available to such vendors. Such activities may include a market, sale of merchandise as part of a permitted festival or other similar special event, or the outdoor display or sale by a food or beverage vendor, operated as an incidental part of retail activity regularly conducted from within a permanent building on the premises. Clearance areas next to outdoor vending areas shall not be reduced to less than four (4) feet, except to accommodate a permitted festival or other similar special event. Convenience trash receptacles shall be provided for each block that contains outdoor vending area.
17. **Open Space/Connectivity.** Avenlea Trace as depicted in the Pattern Book (see case file), shall be provided consistent with the phasing of the development. A pedestrian trail to include passive or active amenities shall be within Avenlea Trace. A pedestrian access system shall be provided connecting the major areas of the development.
18. **Outdoor Music.** Outdoor music shall not be permitted on the Property after 9:00 p. m. Sunday through Thursdays nor after 11:00 p. m. on Friday, Saturdays and holidays, unless otherwise approved by the Director of Planning.

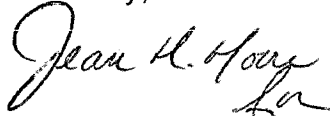


19. **Hours of Construction.** The hours of exterior construction activities, including operation of bulldozers and other earthmoving equipment shall be between 7:00 a. m. and 7:00 p. m. Monday through Friday and 7:30 a. m. and 5:00 p. m. on Saturdays, except in emergencies or where unusual circumstances require the specific hours in order to complete work as concrete pours and utility connections. No exterior construction activities shall be allowed on Sundays, unless approved by the Director of Planning due to weather-related issues during the preceding week prohibiting exterior construction. Signs, in both English and Spanish, stating the above-referenced provisions, shall be posted and maintained at all entrances to the Property prior to any land disturbance activities thereon.
20. **Open Space and Common Areas.** Open space and common areas shall be as generally shown in the Pattern Book (see case file). A minimum of fifteen (15) percent of the acres in the development in the aggregate at the time of full development shall be provided in open space and /or common areas unless otherwise approved by the Director of Planning at the time of Plan of Development or Subdivision Plan approval.
21. **Site Coverage Ratio.** No more than seventy-five (75) percent of the land in Avenlea in the aggregate at the time of full development shall be covered by buildings unless otherwise approved by the Director of Planning at the time of Plan of Development or Subdivision Plan approval. A chart showing the cumulative total of space covered by buildings shall be provided with each Plan of Development or Subdivision Plan.
22. **Covenants.** Covenants shall be provided as required by the UMU Ordinance which shall require the creation of a three (3) member Architectural Review Committee comprised of a representative from each of the current underlying owners or their permitted successors or assigns, which Committee shall utilize the services of a licensed architect in reviewing submissions. Such covenants shall be provided consistent with the phase of development.
23. **Driveways and Parking Areas.** Driveways shall be constructed of either cobblestone, brick, asphalt, pre-cast pavers, concrete or other similar materials approved by the Director of Planning at the time of Plan of Development or Subdivision plan approval.
24. **Sound Suppression.** The exterior walls in any (for sale) homes adjacent to Interstate 64 shall be insulated with “closed cell” spray foamed-in-place urethane insulation.

25. **Hours of Operation.** Hours of operation to the public for retail businesses shall not occur before 5:00 a.m. nor after 12:00 a.m. The foregoing shall not apply to fitness or care facilities.
26. **Residential Lot Area and Width Dimensions.** Residential minimum lot widths shall be 16' for attached homes and 26' for detached homes. Residential minimum lot areas shall be 800 square feet for attached homes and 1,300 square feet for detached homes.
27. **Dedication.** After approval of the Plan of Development for the project and prior to construction plan approval for the Future Interchange (defined below), County may request in writing and Developer shall dedicate a variable width limited access right-of way free and unrestricted for a new I-64/Gayton Road interchange ("Future Interchange") along the southern and southwestern part of the Property, as generally shown in Exhibit A attached hereto (see case file), to and for the benefit of the County within ninety (90) days after the County's written request, provided that the Property shall have an alternate access to a public road. The exact location and alignment of this right-of-way dedication shall be approved by the Director of Public Works in advance of the dedication. If the Future Interchange design or alignment is modified and the Director of Public Works determines in writing that the right-of-way dedication is no longer required for the Future Interchange, Developer shall have no obligation to complete the dedication.

The Planning Department has been advised of the action of the Board of Supervisors and will revise its records.

Sincerely,

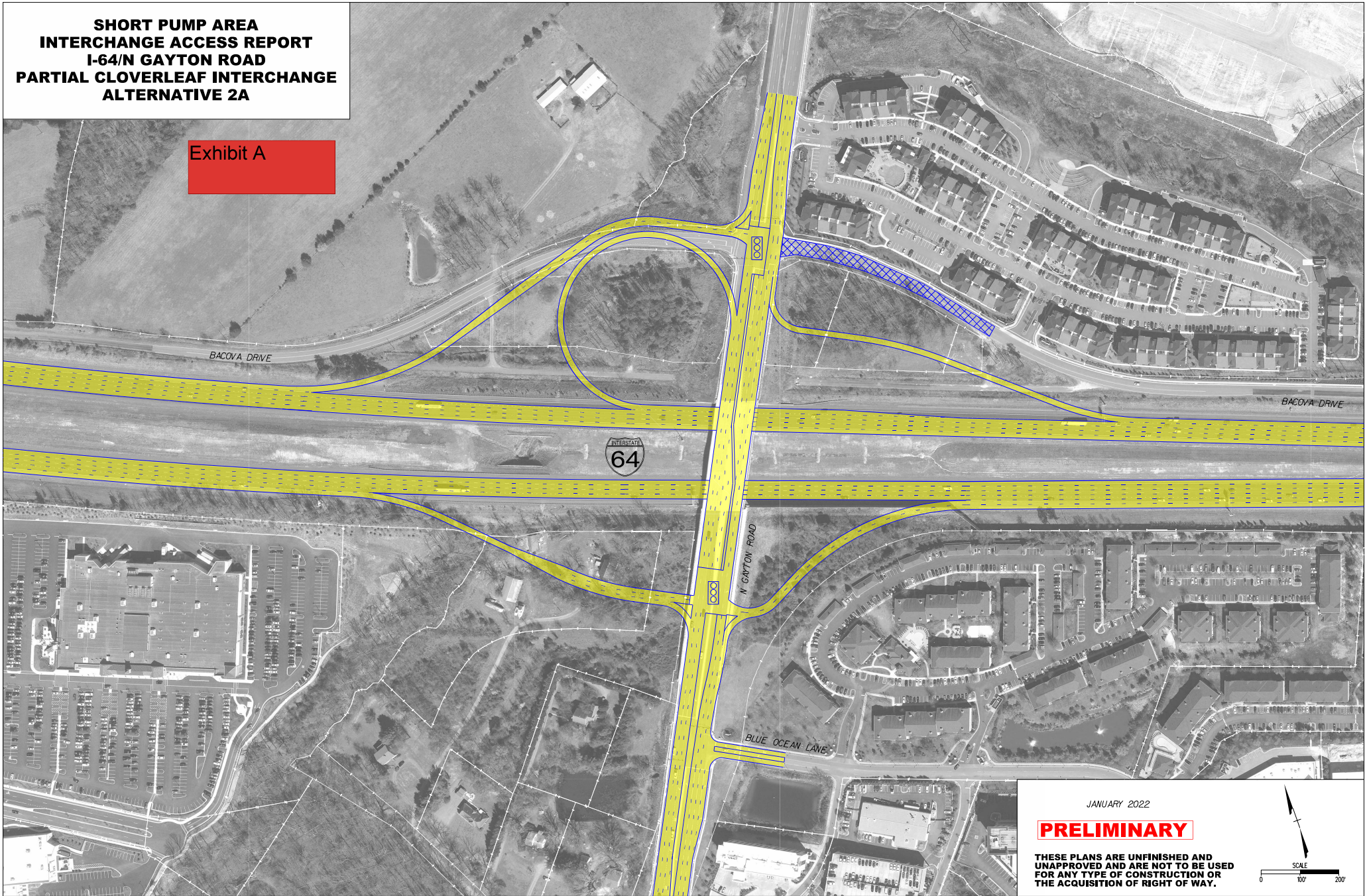


John A. Vithoulkas  
County Manager

pc: James W. Theobald, Esquire  
Director, Real Estate Assessment  
Henrico County Schools  
Police, Special Services

**SHORT PUMP AREA  
INTERCHANGE ACCESS REPORT  
I-64/N GAYTON ROAD  
PARTIAL CLOVERLEAF INTERCHANGE  
ALTERNATIVE 2A**

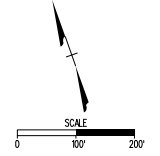
Exhibit A



JANUARY 2022

**PRELIMINARY**

**THESE PLANS ARE UNFINISHED AND  
UNAPPROVED AND ARE NOT TO BE USED  
FOR ANY TYPE OF CONSTRUCTION OR  
THE ACQUISITION OF RIGHT OF WAY.**





# AVENLEA

the nature of home



“When one tugs at a thing in nature,  
he finds it attached to the rest of the world.”

**-JOHN MUIR-**



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## ACKNOWLEDGMENT

### OWNER

ME Payne  
ME Taylor  
Triple J Farms, LLC

### URBAN PLANNER & LANDSCAPE ARCHITECTS

Cooper Carry

### CIVIL ENGINEER

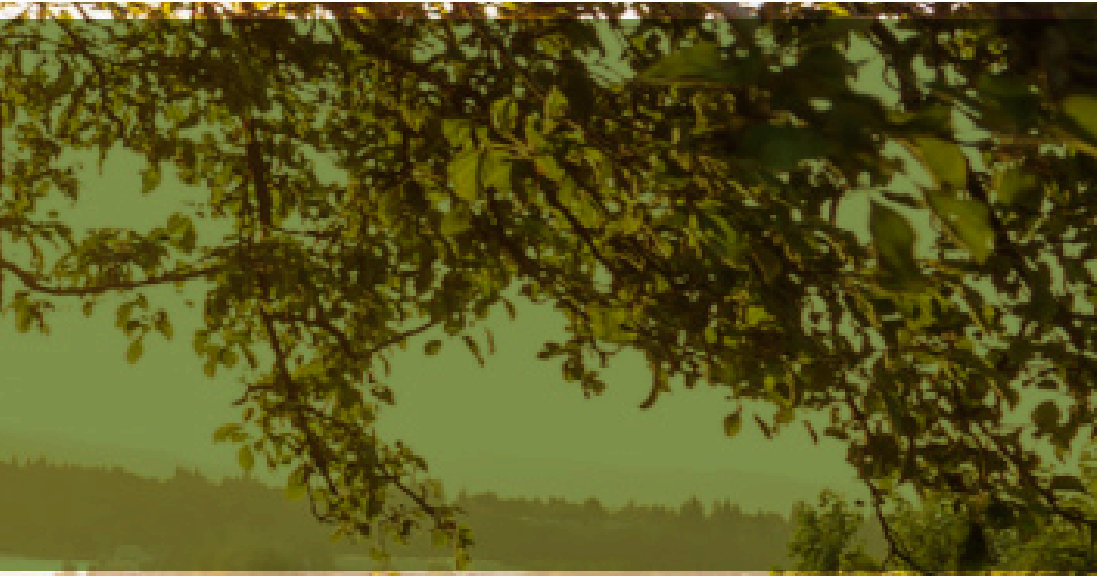
Townes Site Engineering



# AVENLEA

the nature of home





## ASPIRATION 1

### -THE NATURE OF US-

It's our nature to seek connections. With others. With the world. With life. As we explore paths both familiar and fresh, we embark on a journey of discovery, growth and wellbeing; where the final destination is finding ourselves anew. Welcome to a place to live, to connect, and to grow—and to realize the very best in our human nature through rejoicing in

### -THE NATURE OF HOME-

**AVENLEA**  
the nature of home





### WHAT IS THE NATURE OF HOME? IT'S VERY SIMPLE.

to discover it we needn't go far.

The nature of home is found in the very nature of us and our need to feel connected to a place and time, and those who make it special. More than a place to live, it's where living happens — outside the front door, past the porch, and just down the lane. It's the lakeside trail that sparks our curiosity. The grassy fields that call us to play. It's the community concert asking us to dance with beats our heart can't resist. It's streets made for walking, spots made for talking, and the spaces we keep for ourselves. It's the bee that pollinates the berries we pick and the enjoy on the pathway we take: Up the lane. To the porch. And back to the place we call home.

Welcome to a place like no other, because there's no other place quite like home. *Naturally.*

**AVENLEA**  
the nature of home

### BIG IDEAS, NATURALLY. GOOD STEWARDSHIP IN COMMUNITY DESIGN

#### Connectedness

- Enhancing the way we think, behave, and act simply by enhancing how we feel.
- Connecting people physically, emotionally, and socially to themselves, to nature, and to one another.

#### Openness

- Uniting people through community experiences and moments for all to share and enjoy in their own way
- Creating safe, comfortable open spaces

#### Stewardship

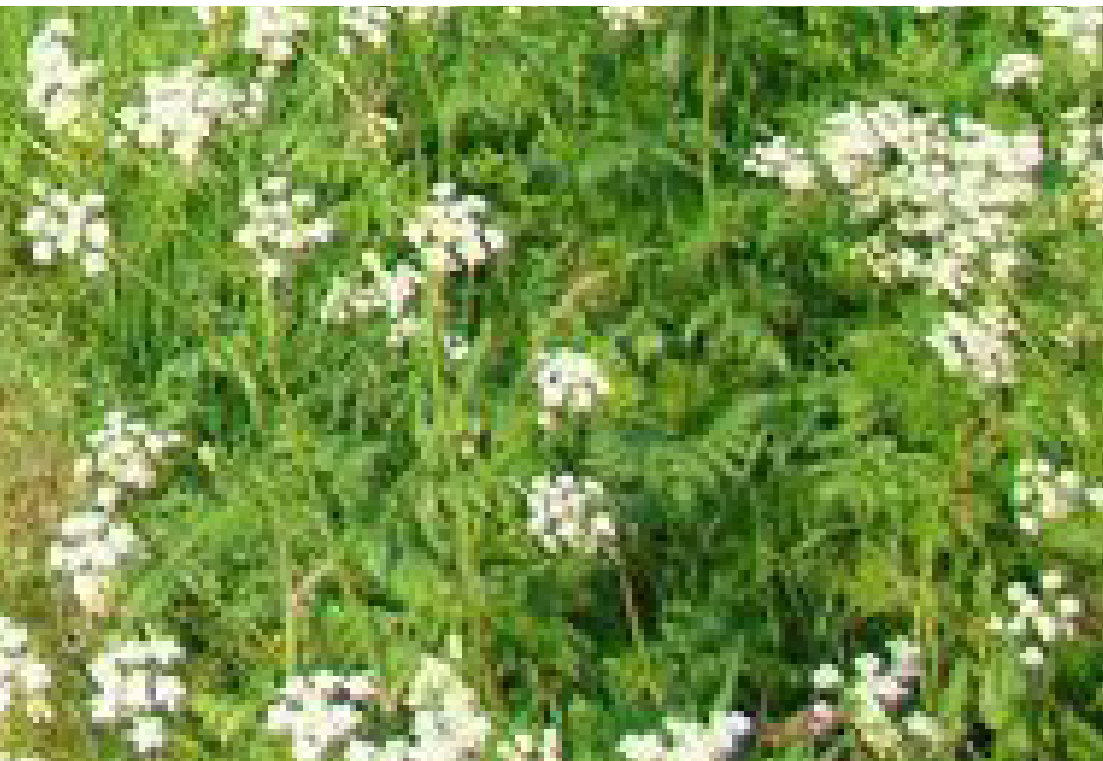
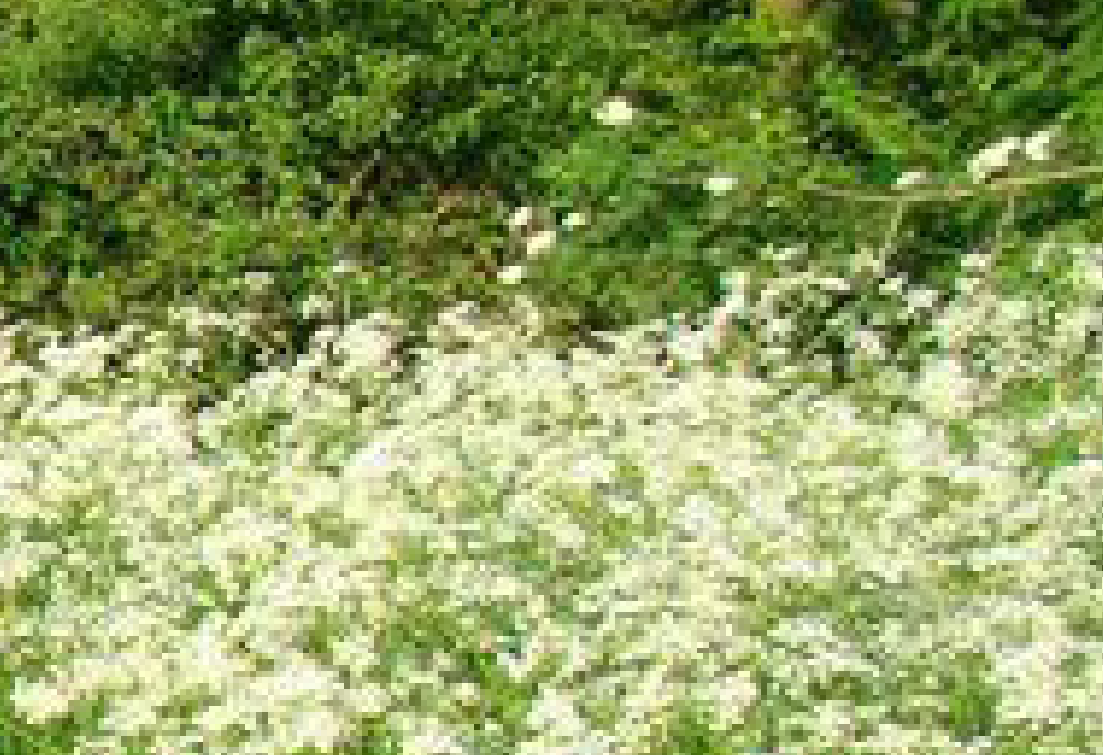
- Cultivating good stewardship through the appreciation of both nature and neighborhood
- Growing and adapting along with the community in ways that exemplify true sustainability



# AVENLEA

the nature of home





**ASPIRATION 2**  
**-THE NATURE OF PLACE-**

“There is a place where the sidewalk ends  
And before the street begins—  
And there the grass grows soft and white,  
And there the sun burns crimson bright,  
And there the moon-bird rests from his flight—  
To cool in the peppermint wind.”

**-SHEL SILVERSTEIN-**

**AVENLEA**  
the nature of home



### **A PAINTERLY LANDSCAPE OF HILLS AND VALLEYS, THE INHERENT BEAUTY AND CHARACTER OF AVENLEA ENGAGES BOTH RESIDENTS AND VISITORS ALIKE TO ACTIVELY ENGAGE WITH THE ENVIRONMENT AND EACH OTHER - TO GET OUT AND DO WHAT COMES NATURALLY.**

Avenlea is located in the Piedmont area of western Henrico County, bordered by the Goochland County to the west, I-64 to the south, N. Gayton Road to the East, and property owned by Henrico County to the north. This area is just north of the West Broad commercial and retail district. N. Gayton Road is a relatively new four-lane connector road from Nuckols Road to the Northeast and to Lauderdale Drive to Southeast. There is a plan to add an interstate exchange at N. Gayton Road and I-64.

### **CONNECTEDNESS**

- A walkable community
- A network of parks and open spaces
- Trails and sidewalks connecting neighborhoods
- Layout designed to showcase the outdoors

### **OPENNESS**

- Spaces that encourage formal activities and casual gatherings
- Connect natural areas with adjacent County-owned facilities
- Provide residential amenities for neighborhoods
- Spaces for community-driven uses such as farmers markets and enriching outdoor programs

### **STEWARDSHIP**

- Scenic trails and protected natural areas
- Parks and environmental amenities for both active and passive recreation
- Spaces for peaceful and quiet contemplation
- Spaces for adventure and spirited exploration



**LAND USES ARE BROKEN DOWN IN GENERAL ACCORD WITH THE HENRICO COUNTY COMPREHENSIVE PLAN AND ORGANIZED TO ENCOURAGE PEDESTRIAN ACTIVITY, MINIMIZE CAR TRIPS, AND ENHANCE THE ENJOYMENT OF NATURE WHILE ALSO PROVIDING A VARIETY OF RESIDENTIAL TYPES, EMPLOYMENT, AND COMMERCIAL APPLICATIONS.**

### MIXED-USE

This area provides residents of Avenlea and nearby communities with services described as Urban Mixed-Use. This includes a potential for targeted nodes of high density residential typically found in urban environments, with potential opportunities for ground floor commercial uses contributing to a lively streetscape and pedestrian experience.

### RESIDENTIAL

A variety of single-family dwellings, townhomes, and condominiums with the potential for targeted nodes of neighborhood commercial uses or smaller-scaled multi-family buildings interspersed at strategic locations.

Interim or temporary retail, community, or entertainment uses can be used to strategically activate key locations for the community until long-term development is implemented.

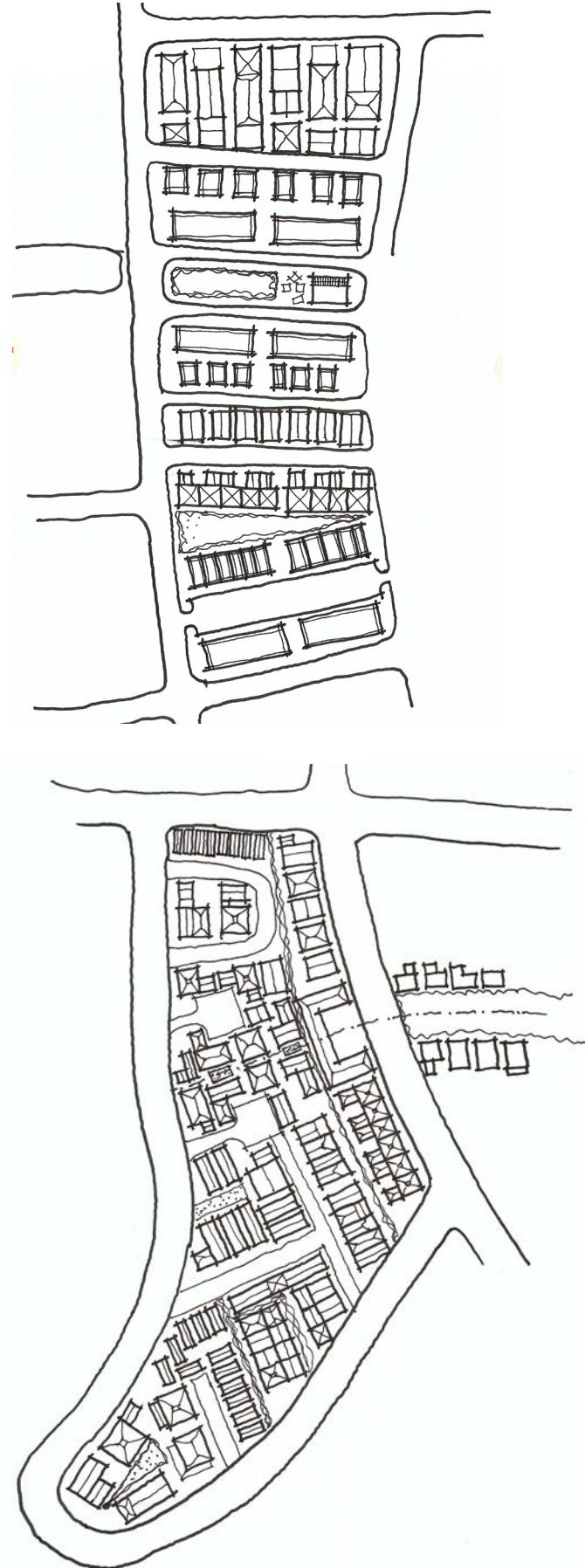






Serenbe Mado Hamlet

## ASPIRATION 2



## THE NATURE OF PLACE

### WHIMSY AND FUNCTION

The blocks are designed to allow people to stay connected with their neighborhood and enable many types of residential lifestyles to coexist amongst quaint connections for pedestrians, organized around public and private open space. Attached and detached homes, small cottages and larger homes, all relate to one another in proportion and craftsmanship. Some buildings sit at the edge of the sidewalk, some have walled gardens, others have a small front garden and a porch.

### TYPES OF RESIDENTIAL

- Multifamily
- Townhome
- Duplex
- Single family of various sizes
- Carriage homes
- Guest homes



# AVENLEA

the nature of home

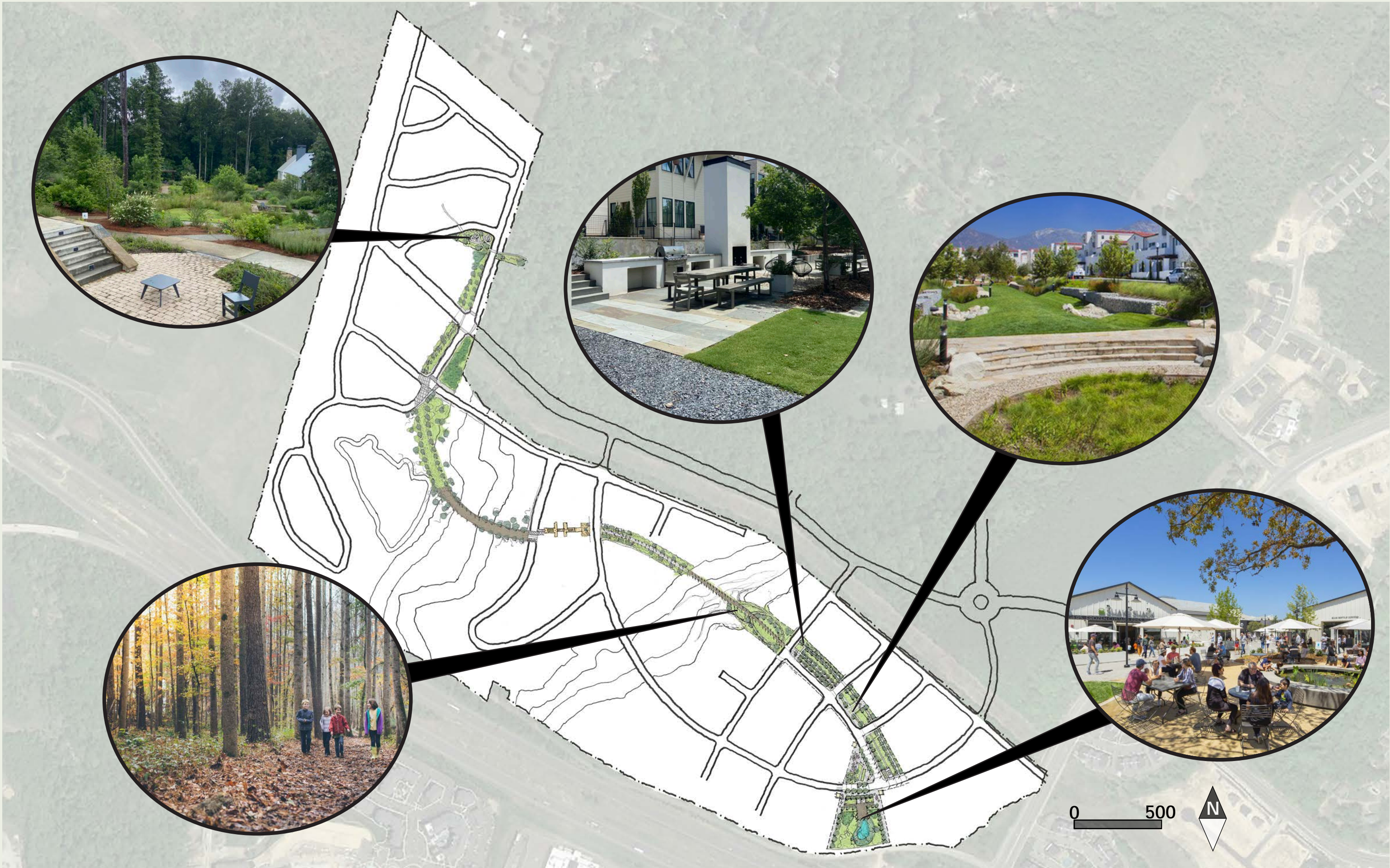


**ASPIRATION 3**  
**-THE NATURE OF SPACE-**

“Live in each season as it passes—  
breathe the air, drink the drink, taste the fruit,  
and resign yourself to the influence of the earth.”

**-HENRY DAVID THOREAU-**

**AVENLEA**  
the nature of home



### MOTHER NATURE AND HUMAN NATURE COEXISTING

The nature of space is mother nature and human nature coexisting in a relationship of mutual respect. Stewardship fulfills the needs of both. The public spaces of Avenlea are envisioned to usher this coexistence by enabling homeostasis, a holistic sense of balance and equilibrium with nature.

### CONNECTEDNESS

- Fostering healthy community relationships through experiences that connect us to nature, to others, and to ourselves.

### OPENNESS

- Open spaces open minds and enhance wellbeing through natural areas and community amenities for gathering, playing, exploring and sharing.

### STEWARDSHIP

- Mutual respect for both nature and neighborhood, and caring equally for the land, the community, and all who live there.



### CONNECTEDNESS

- Prioritize pedestrian spaces so people can move easily within the commercial areas and between natural areas and commercial amenities-sidewalks, parks, plazas, and paseos.

### OPENNESS

- Hardscape plazas, green space, and programmable spaces in commercial areas provide a range of experiences for the entire community.

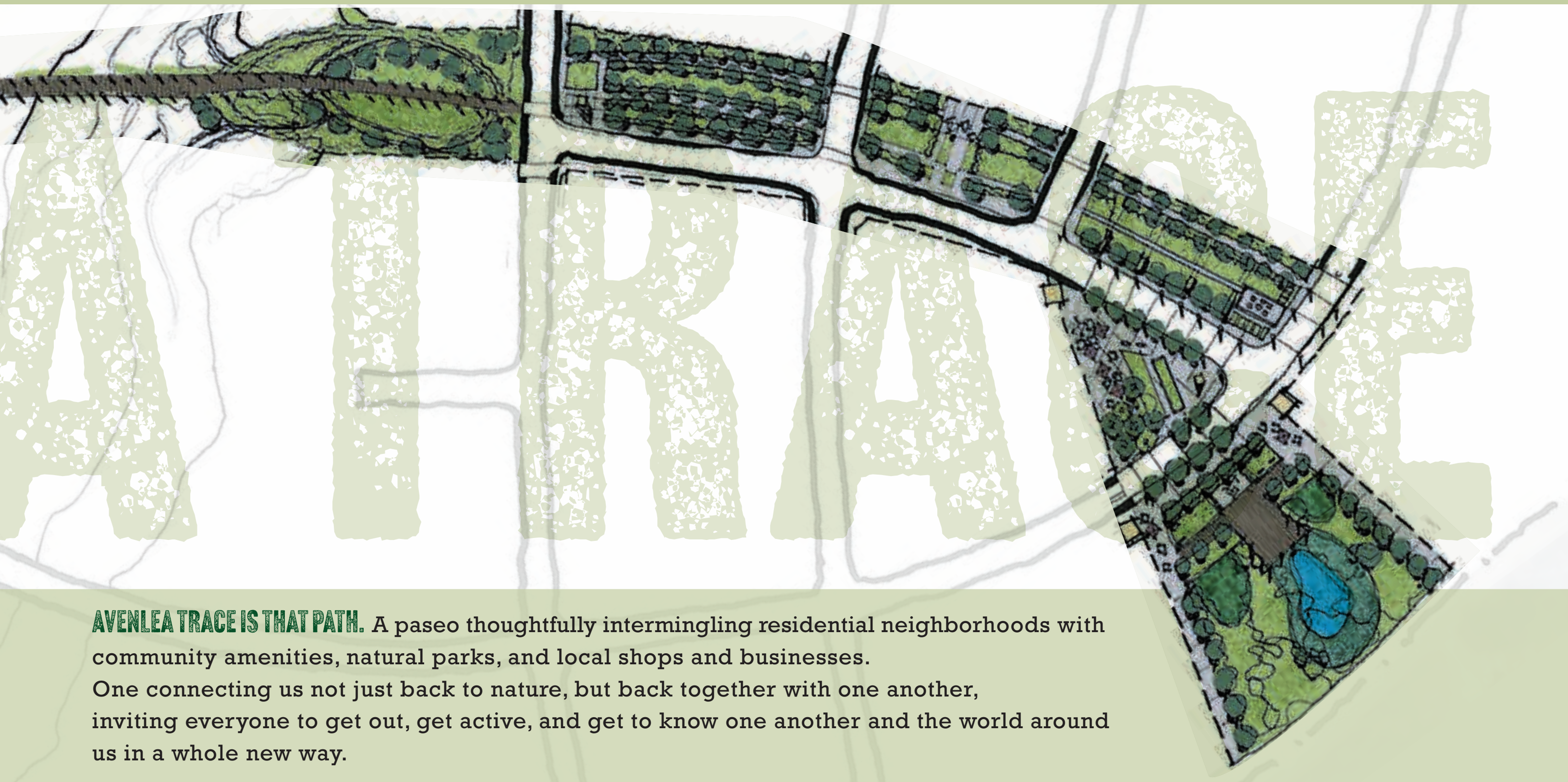
### STEWARDSHIP

- All designed spaces educate visitors about stewardship through their function, environmental design and signage.

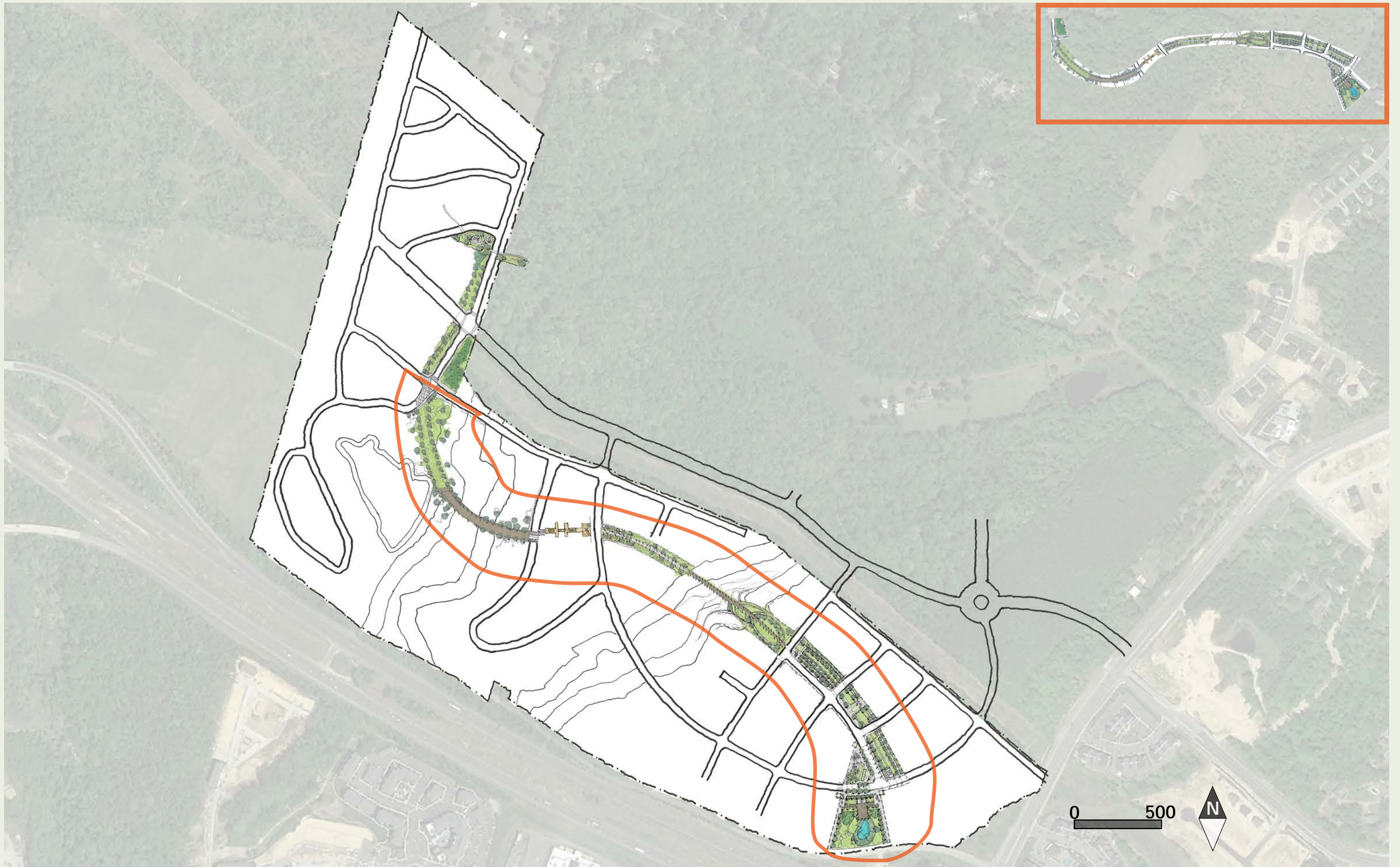




**IMAGINE A NEW KIND OF ROAD THROUGH THE NEIGHBORHOOD.** Not of asphalt, but of grass, trees, foot bridges and boardwalks. Where cars give way to sneakers and the smell of fresh air and sounds of nature fill the senses. A path taking you on a journey of discovery—starting in your own backyard and leading past serene lakes, open green spaces, and on throughout the community. One that invites everyone to get out, get active, and get to know one another and the world around us in a whole new way.



**AVENLEA TRACE IS THAT PATH.** A paseo thoughtfully intermingling residential neighborhoods with community amenities, natural parks, and local shops and businesses. One connecting us not just back to nature, but back together with one another, inviting everyone to get out, get active, and get to know one another and the world around us in a whole new way.



### CONNECTEDNESS

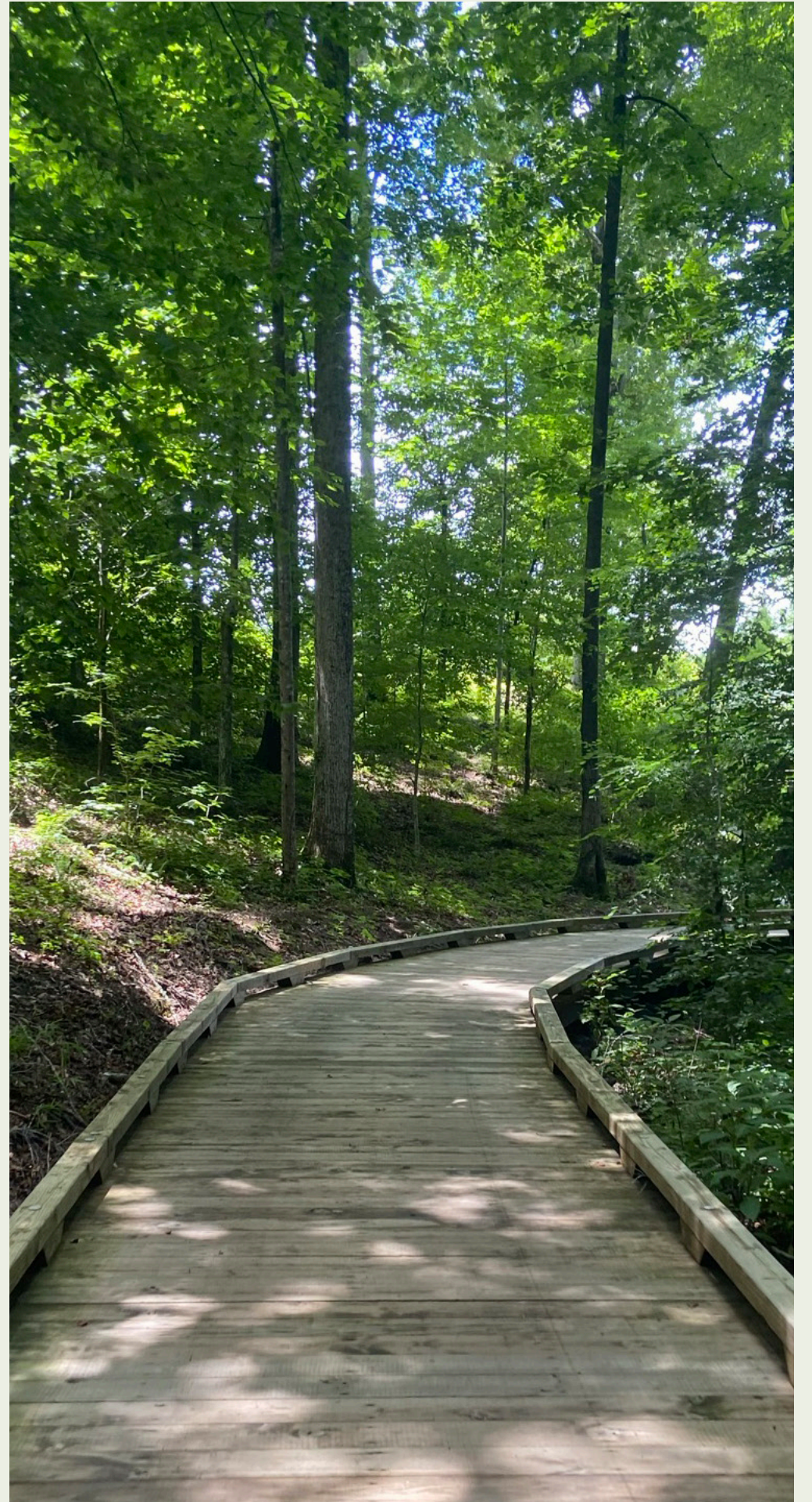
- The paseo is woven throughout the entire master plan area, allowing people to move through a variety of public spaces in one linear and connected path. Neighborhoods are intertwined by the paseo, offering residents multiple opportunities to make their way through the community by walking or biking.

### OPENNESS

- In one linear space, there is opportunity for commercial activity, quiet seating, and greens for neighborhood activities that are both active and passive. It is the artery of greenspace from which everyone can draw a sense of refreshment and link back to many of the larger natural areas in the community.

### STEWARDSHIP

- Stewardship is imbued in the design and function of the paseo. Not only does it provide a central spine for open space, but it demonstrates and educates what stewardship in the landscaped environment looks like. It also connects to more highly protected areas, demonstrating the range of what stewardship of the natural environment can look like.



### CONNECTEDNESS

- Natural spaces are intertwined with commercial and residential spaces. Natural trails move throughout the entire site and draw people to wander, stop, and enjoy the unique natural landscape. Allow ease of movement between more formal spaces in the commercial areas and the quieter, non-programmed spaces in nature.

### OPENNESS

- Ample amounts of natural space that are intentionally left largely untouched exist throughout Avenlea. Space to explore with new experiences around every corner. Forest, meadows, creeks, hills and valleys for sharing with friends, neighbors, and family.

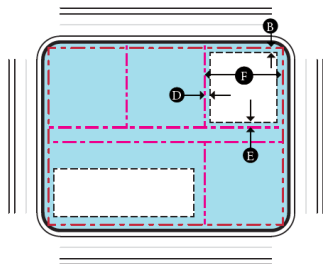
### STEWARDSHIP

- A light touch on the natural areas and moments of education foster contemplating the community's relationship to its environment. Signage and trails draw people in to learn and appreciate these spaces.

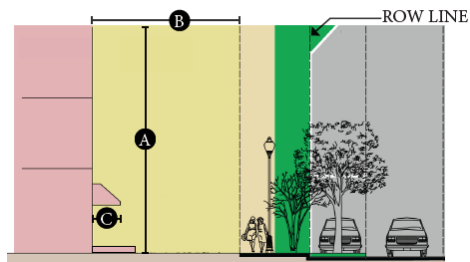


	Primary Commercial	Paseo	Residential	Cottage Residential				
<b>Public or Private Road</b>	Public	Both	Public	Undefined				
<b>Building Height</b>	<b>Max.</b>	<b>Max.</b>	<b>Max.</b>	<b>Max.</b>				
Commercial Building (Blocks A-J)	80'	80'	80'	80'				
MF Building (Blocks A-J)	80'	80'	80'	80'				
Commercial Building (Blocks K-O)	60'	60'	60'	60'				
MF Building (Blocks K-O)	60'	60'	60'	60'				
SF Building	50'	50'	50'	50'				
All Buildings within 150' of the northern line of Block O *(except homes adjacent to 35' buffer)	45' *(40' or 2 stories adj. to buffer)	45' *(40' or 2 stories adj. to buffer)	45' *(40' or 2 stories adj. to buffer)	45' *(40' or 2 stories adj. to buffer)				
<b>Building Placement</b>	<b>Min.</b>	<b>Max.</b>	<b>Min.</b>	<b>Max.</b>	<b>Min.</b>	<b>Max.</b>	<b>Min.</b>	<b>Max.</b>
Build-To Zone Setback	3'	-	5'	-	3'	-	0'	-
Building Overhang Width	-	2'	-	2'	-	2'	-	2'
Side Yard Setback	0'	-	0'	-	0'	-	0'	-
Alley or Rear Setback	0'	-	0'	-	0'	-	0'	-
% Lot Coverage	-	90%	-	90%	-	90%	-	95%
<b>Frontage [Façade] Build-Out</b>	<b>Min.</b>	<b>Max.</b>	<b>Min.</b>	<b>Max.</b>	<b>Min.</b>	<b>Max.</b>	<b>Min.</b>	<b>Max.</b>
Building Front	60%	-	80%	-	60%	-	40%	-
Building Side (Street)	40%	-	40%	-	40%	-	40%	-
Building Rear (Street)	40%	-	40%	-	30%	-	30%	-

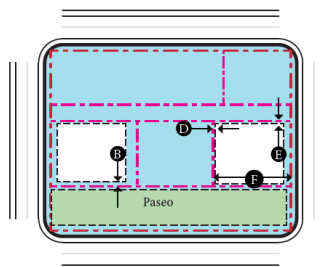
PRIMARY COMMERCIAL STREET SETBACKS



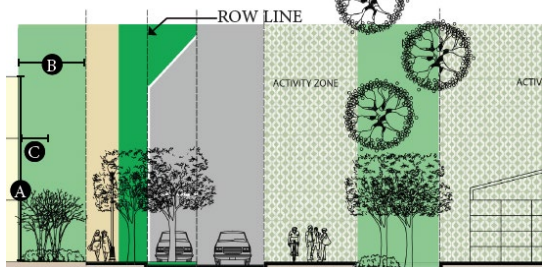
PRIMARY COMMERCIAL STREET SECTION



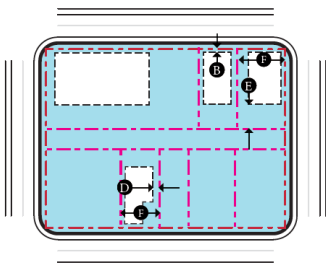
PRIMARY PASEO STREET SETBACKS



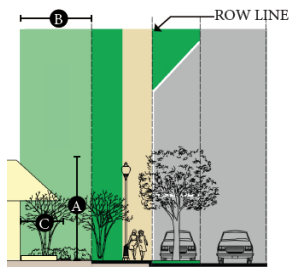
PRIMARY PASEO STREET SECTION



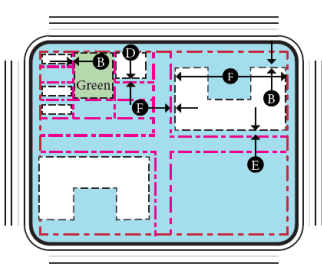
RESIDENTIAL STREET SETBACK



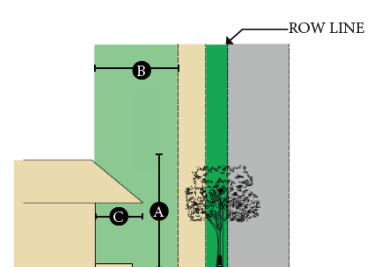
RESIDENTIAL STREET SECTION



COTTAGE RESIDENTIAL STREET SETBACK



COTTAGE RESIDENTIAL STREET SECTION





### STREETS SHOULD BE WHERE PEDESTRIANS, CYCLISTS, AND CARS EXIST IN HOMEOSTASIS

Streets are one of the pillars to Avenlea that enable connectivity, openness, and stewardship. Here, they are thoughtfully planned to connect to and sensitively through natural spaces. The streets enhance how we think about how to move through and how to experience the community. Sidewalks, trees, plantings, and other details create comfortable and safe spaces for all - whether you are on foot, in a car, or riding a bike. Streets invite you to experience all that Avenlea has to offer.

### CONNECTEDNESS

- Streets foster physical and social interconnectedness for the places and people of Avenlea. These streets also connect Avenlea to adjacent neighborhoods.

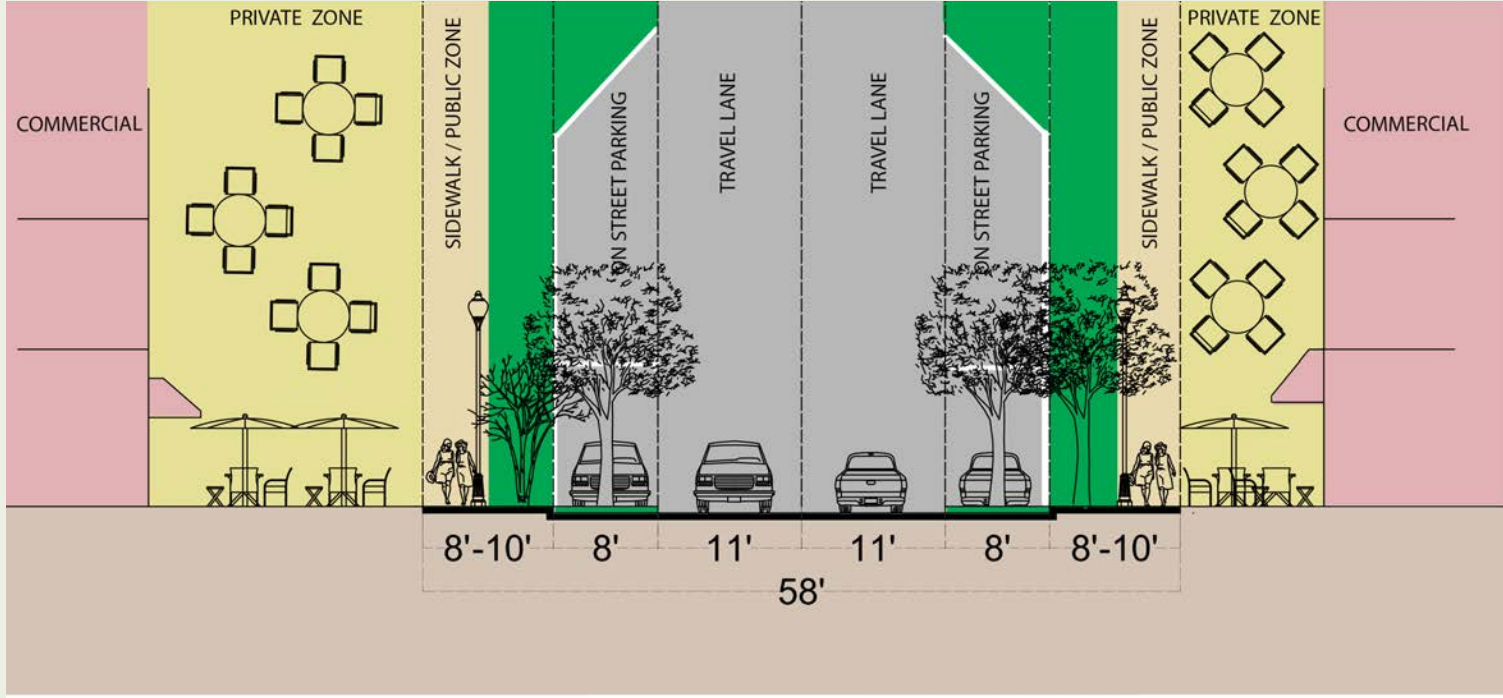
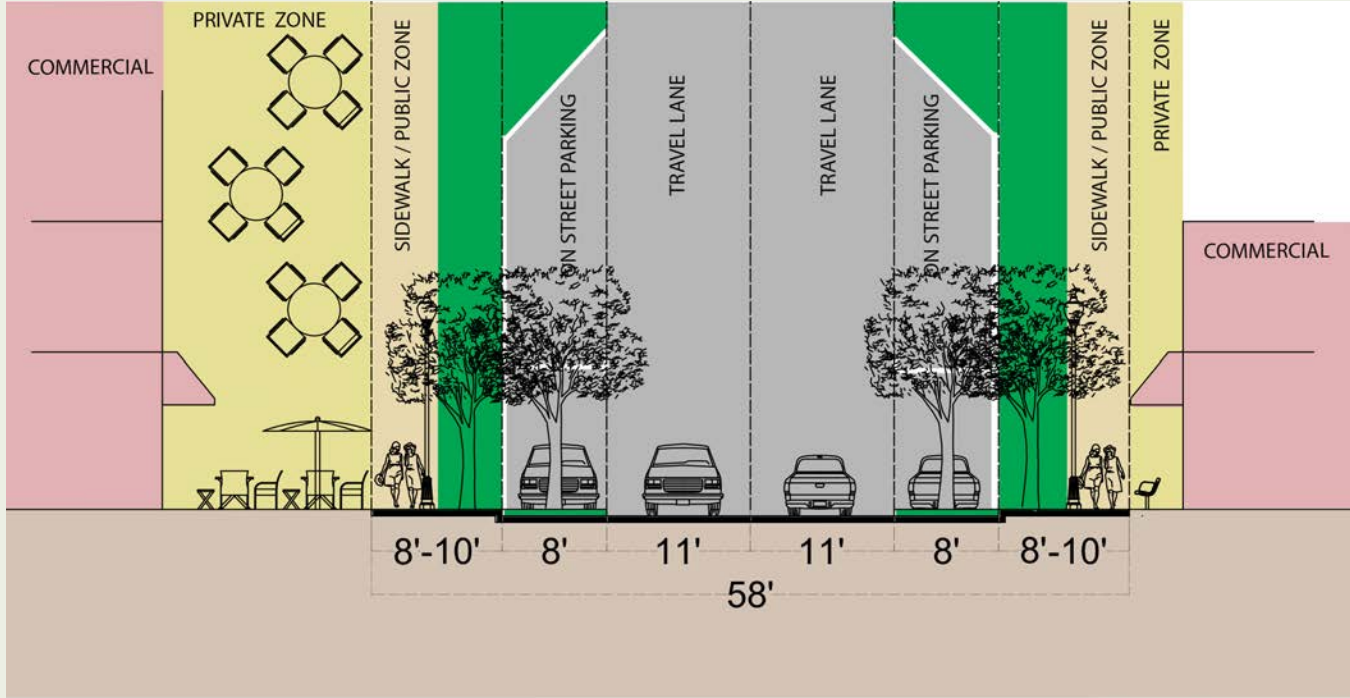
### OPENNESS

- Streets are places where people can gather and explore. They frame open spaces and are designed with room for people to walk, enjoy a meal, or host community activities.

### STEWARDSHIP

- Streets are where environmental stewardship are on display, particularly in how they are the veins of stormwater management. The transition from development to nature happens on the streets.

# PRIMARY COMMERCIAL STREET



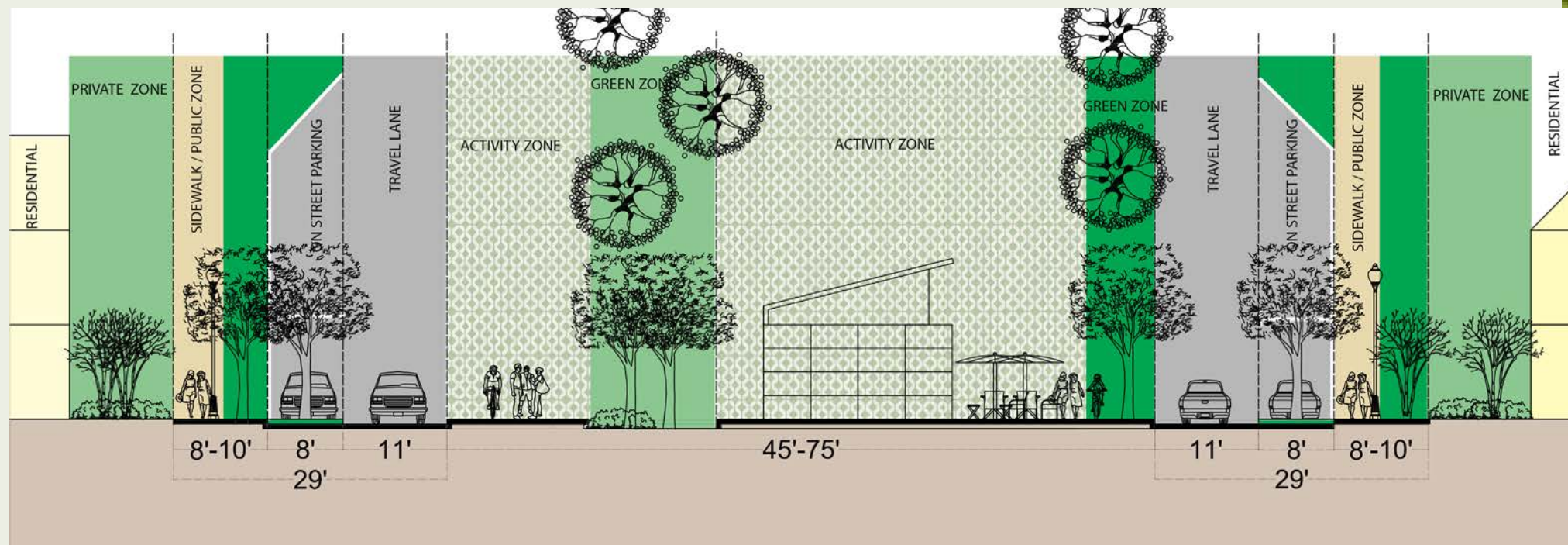
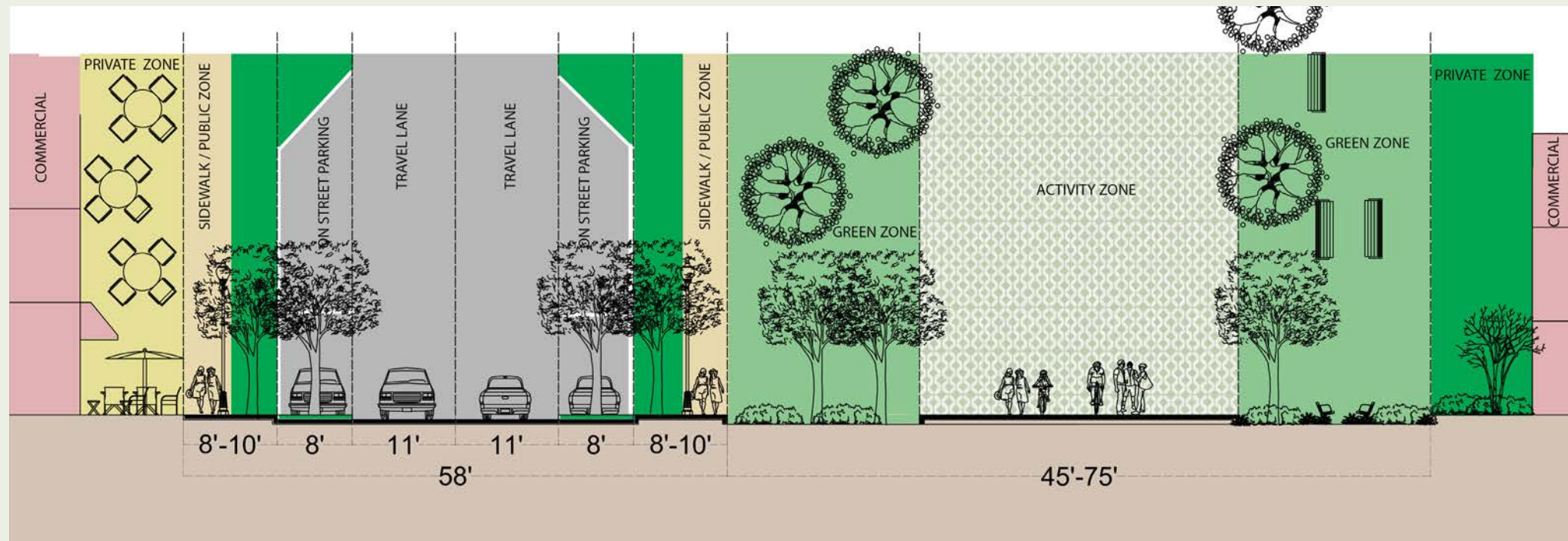
### PRIMARY COMMERCIAL STREET

The primary street is the public commercial street running East-West through the project. This is the street that runs through the commercial district and crosses the stream, connecting east and west sections of the community.

Following are the main elements of the street:

- 11' travel lane
- 8' parallel parking on both sides
- Bulb outs between parking sections with trees
- 8'-10' public zone with planting strip and sidewalk
- Private zone that allows for commercial and residential uses to have outdoor seating and amenities
- Underground infrastructure, curb and gutters as per Henrico County public works standard

# PASEO STREET



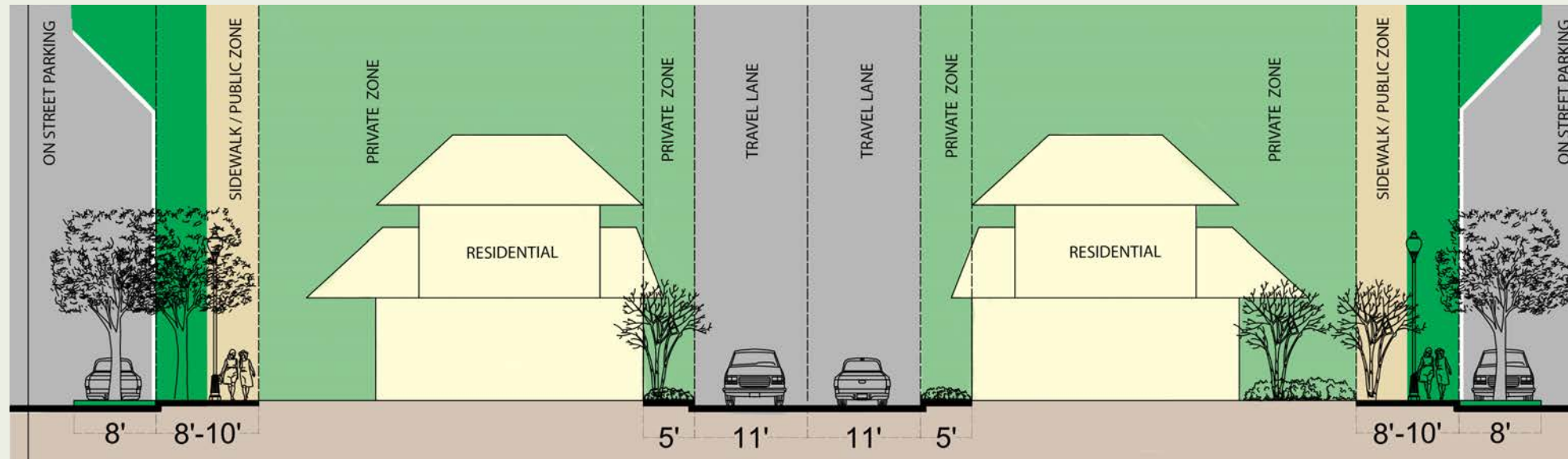
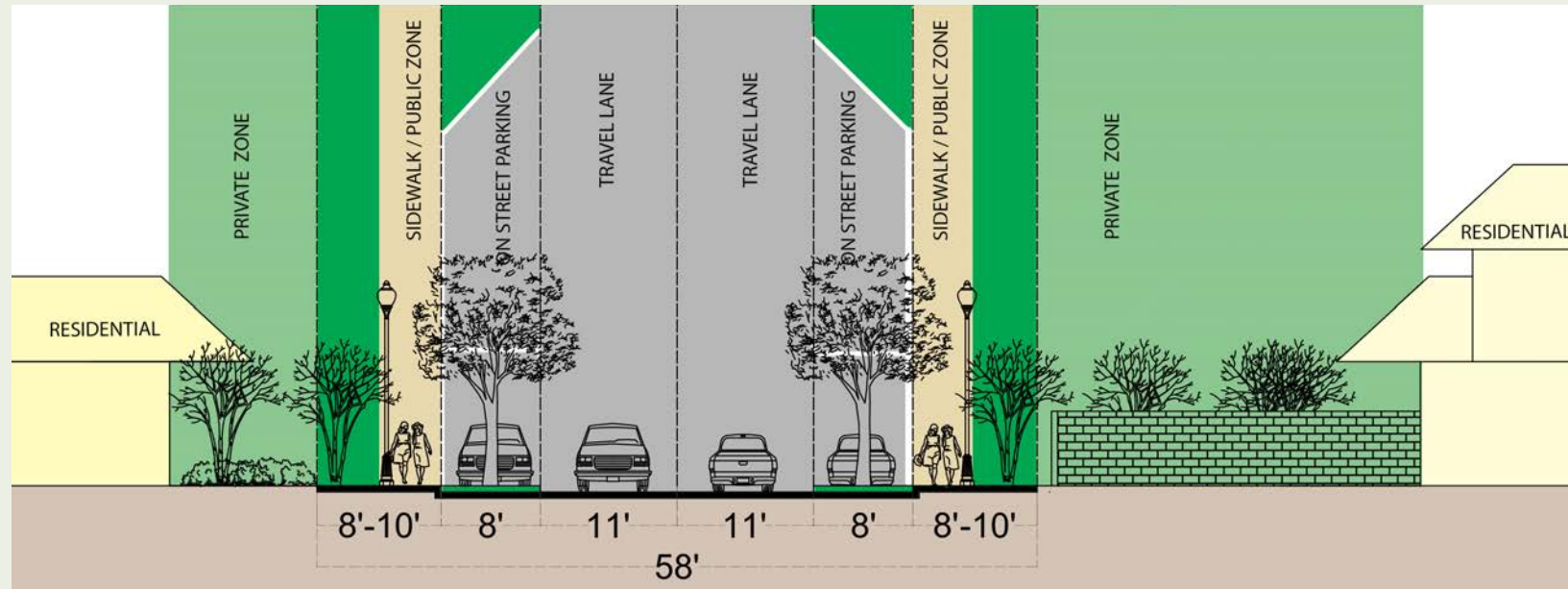
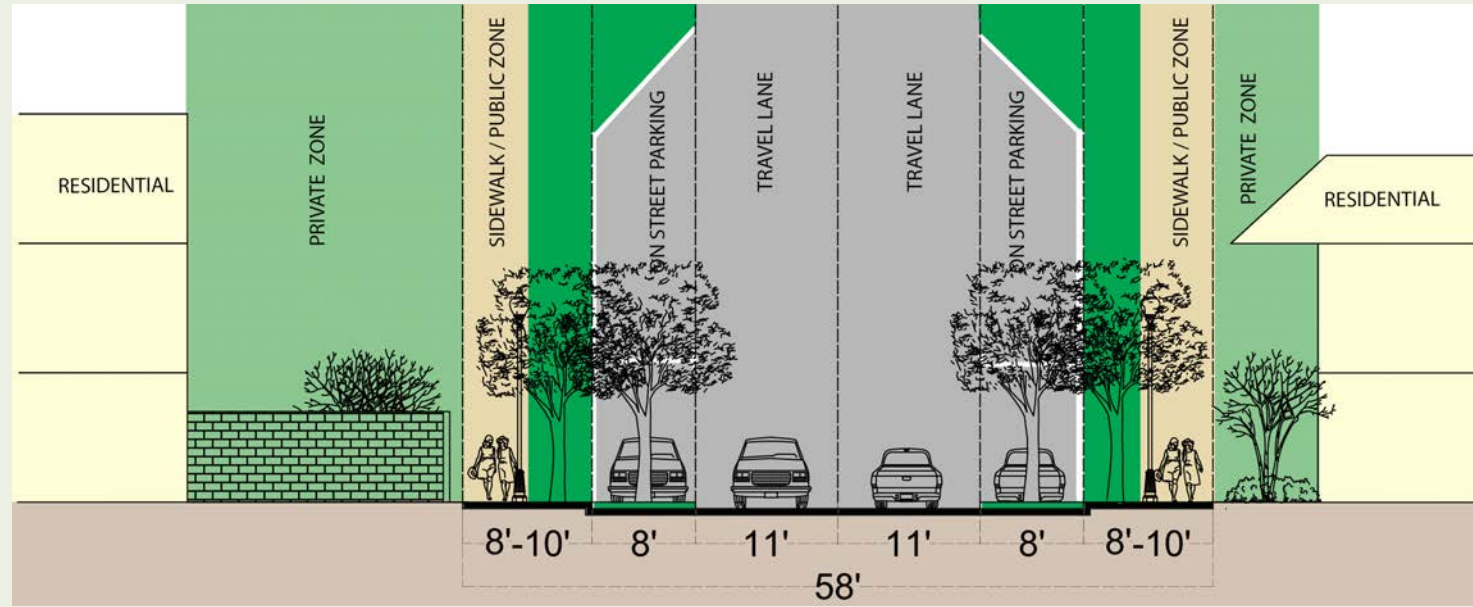
### PASEO STREET

This street runs parallel to the paseo through commercial and residential blocks and connects via pedestrian pathways across the natural areas. Portions of the paseo are public and some are private. The paseo may run along the side of the street or through the middle as a large median.

Following are the main elements of the street:

- 11' travel lanes
- 8' parallel parking on both sides
- Bulb outs between parking sections with trees
- 8'-10' public zone with planting strip and sidewalk
- 45'-75' paseo that allows for different types of activation, either with small commercial buildings or public park space
- Private zone that allows for commercial and residential uses to have outdoor seating and amenities
- Underground infrastructure, curb and gutters as per Henrico County public works standard

# RESIDENTIAL STREET



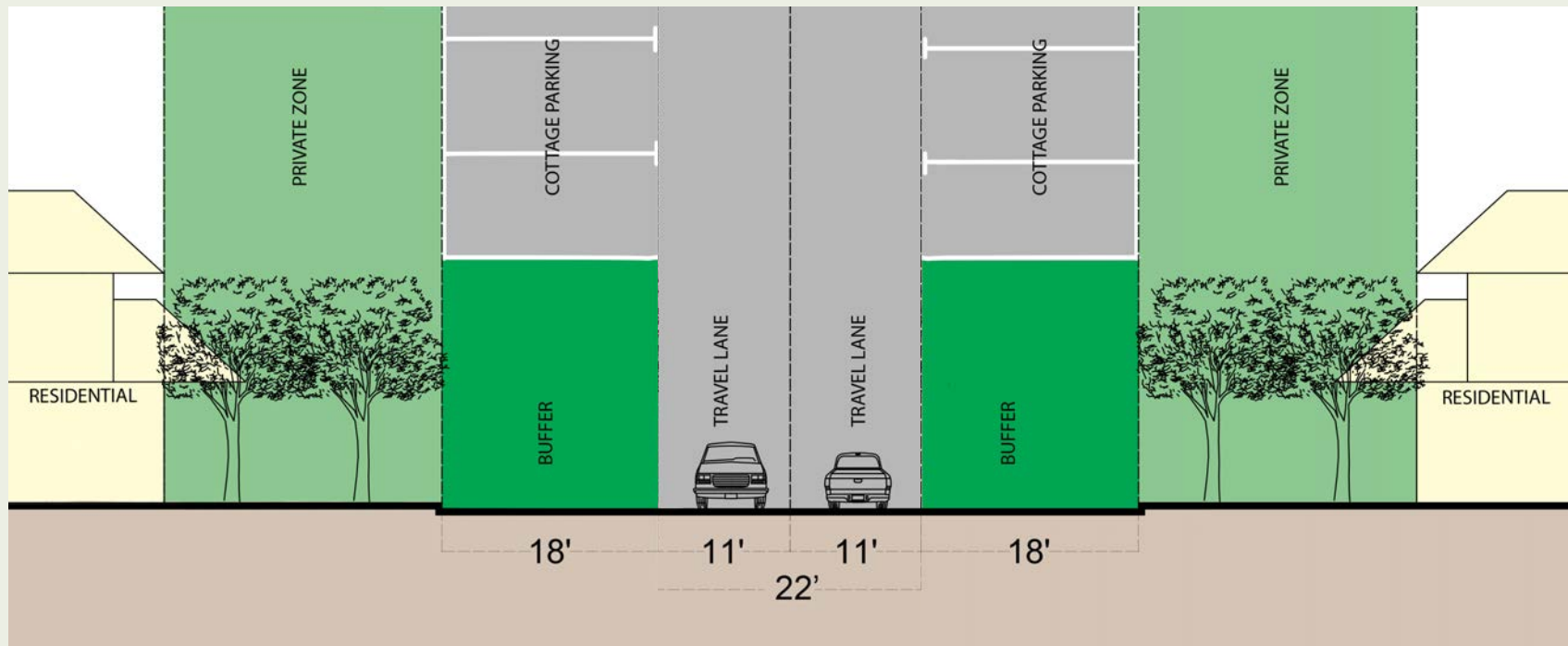
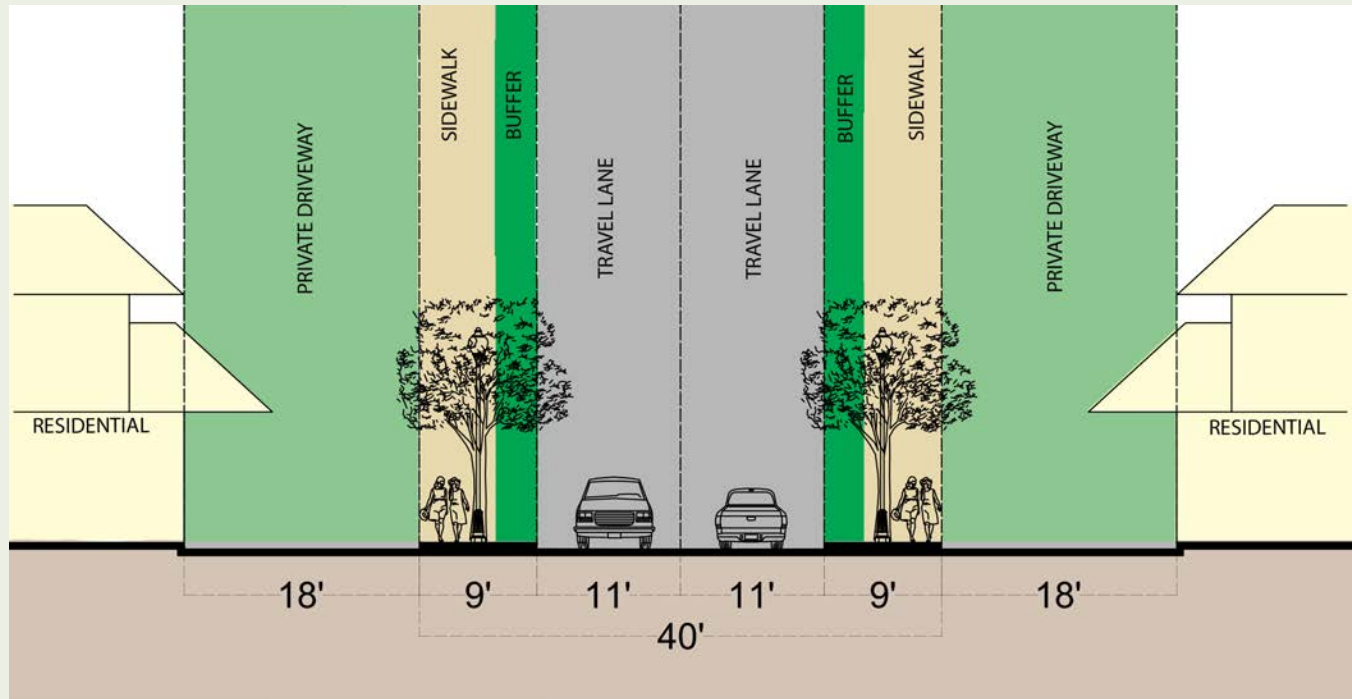
### RESIDENTIAL STREETS

The secondary streets are the public internal streets distributing the traffic from the primary street to individual blocks.

Following are the main elements of the street:

- 11' travel lanes on all streets
- 8' parallel parking on most streets
- Bulb outs between parking sections with trees
- 8'-10' public zone with planting strip and sidewalk on most streets
- Private zone that allows for residential uses to have outdoor seating, gardens, stoops, and other semi-private activities
- Underground infrastructure, curb and gutters as per Henrico County public works standard

# COTTAGE RESIDENTIAL STREET





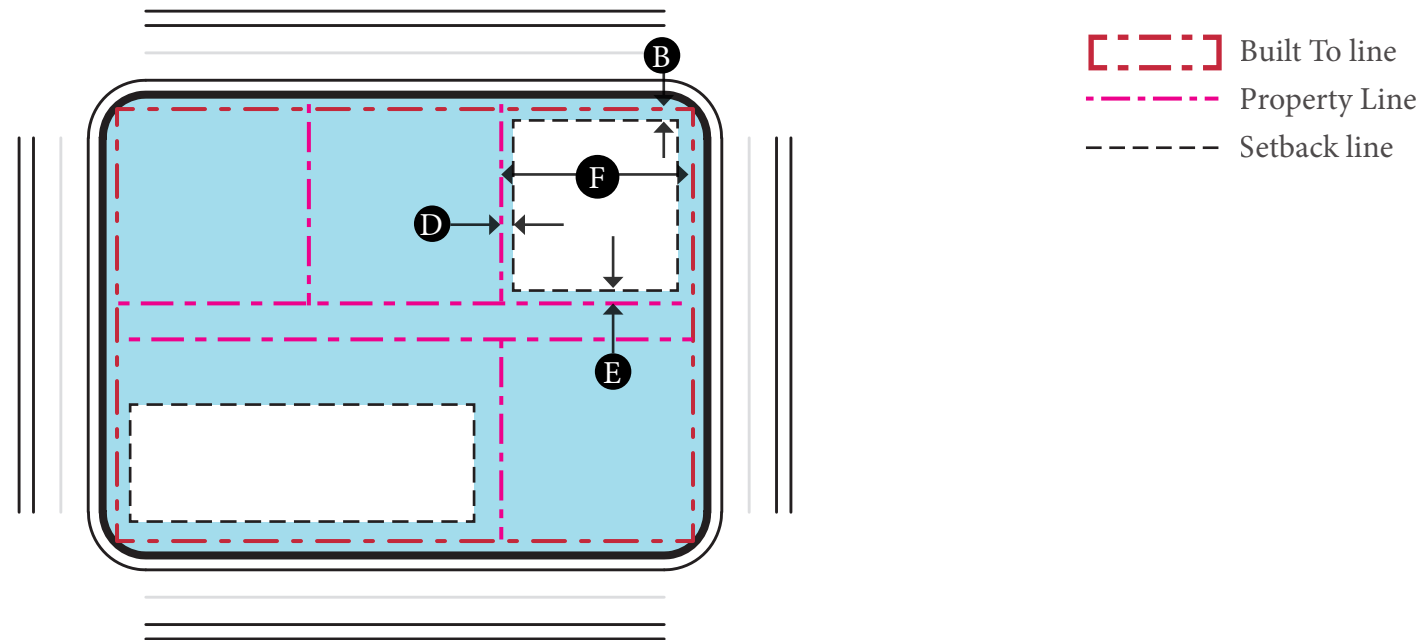
### COTTAGE RESIDENTIAL STREETS

These secondary streets are the internal streets distributing the traffic from the primary street to cottage style residential areas.

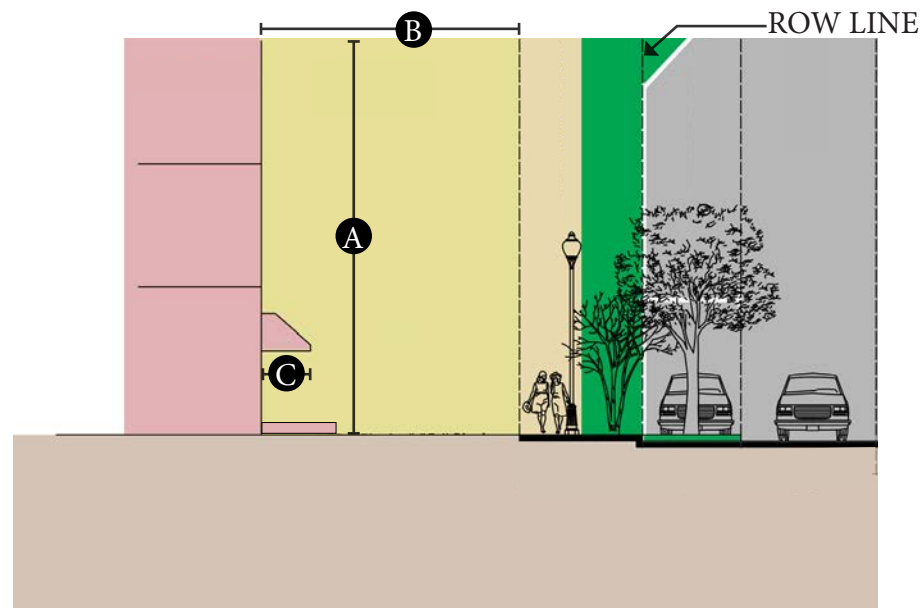
- 11' travel lane
- 9' public zone with planting strip and sidewalk
- 18'-20' parking or private driveway zone
- Underground infrastructure, curb and gutters as per Henrico County public works standard
- Cottage Streets are internal to the residential blocks.

# FRONTAGE STANDARDS: PRIMARY COMMERCIAL

PRIMARY COMMERCIAL STREET SETBACKS



PRIMARY COMMERCIAL STREET SECTION



Building Height		
A	Commercial Building Height	80' Max <sup>1,2</sup>
A	Multifamily Building Height	80' Max
A	SF Residential Height	50' Max
Building Placement		
B	Built-to Zone setback	3' Min
C	Building Overhang Allowable Width <sup>3</sup>	2' Max
D	Side Yard Set Back	0' Min
E	Alley or Rear Set Back	0' Min
	% Lot Coverage	90% Max
Frontage Built-Out		
F	Building Front	60% Min
	Building Side (Street)	40% Min
	Building Rear (Street)	40% Min
Lots		
	Minimum lot width: 16' for attached units, 26' for detached units.	
	Minimum lot Area: 800 sq. ft. for attached, 1,300 sq. ft. for detached.	

1 See the Proffers for Conditional Rezoning for additional information.

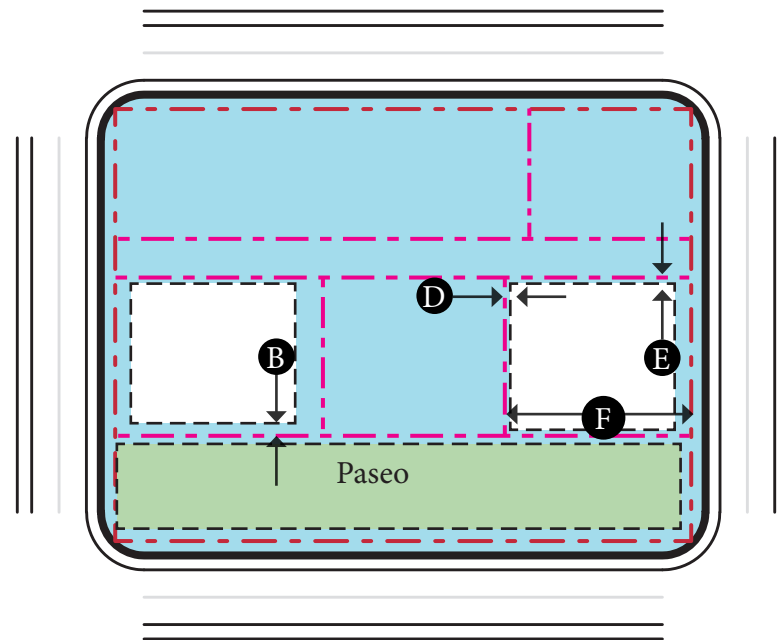
2 Allowable height determined based on street designation where front of building is located.

3 Building overhang allowed over the Built-to-Zone.

NOTES:  
See Street Section for sidewalk width standards.  
All buildings shall have a primary pedestrian entrance along front facade that faces a street or common pedestrian/green space.  
Height transitions between buildings shall be no more than two stories if the buildings are less than 10' apart.

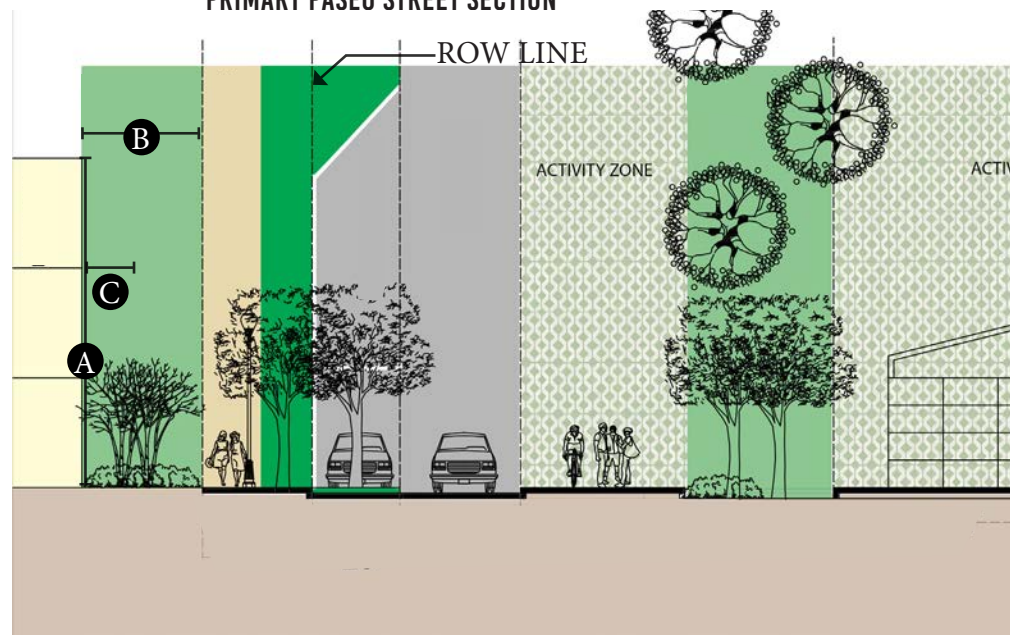
# FRONTAGE STANDARDS: PASEO

PRIMARY PASEO STREET SETBACKS



- Built To line
- Property Line
- Setback line

PRIMARY PASEO STREET SECTION



		Building Height
A	Commercial Building Height	80' Max <sup>1,2</sup>
A	Multifamily Building Height	80' Max
A	SF Residential Height	50' Max
		Building Placement
B	Built-to Zone setback	5' Min <sup>3</sup>
C	Building Overhang Allowable Width <sup>4</sup>	2' Max
D	Side Yard Set Back	0' Min
E	Alley or Rear Set Back	0' Min
		% Lot Coverage
		90% Max
		Frontage Built-Out
F	Building Front	80% Min <sup>3</sup>
		Building Side (Street)
		40% Min
		Building Rear (Street)
		30% Min
		Lots
		Minimum lot width: 16' for attached units, 26' for detached units.
		Minimum lot Area: 800 sq. ft. for attached, 1,300 sq. ft. for detached.

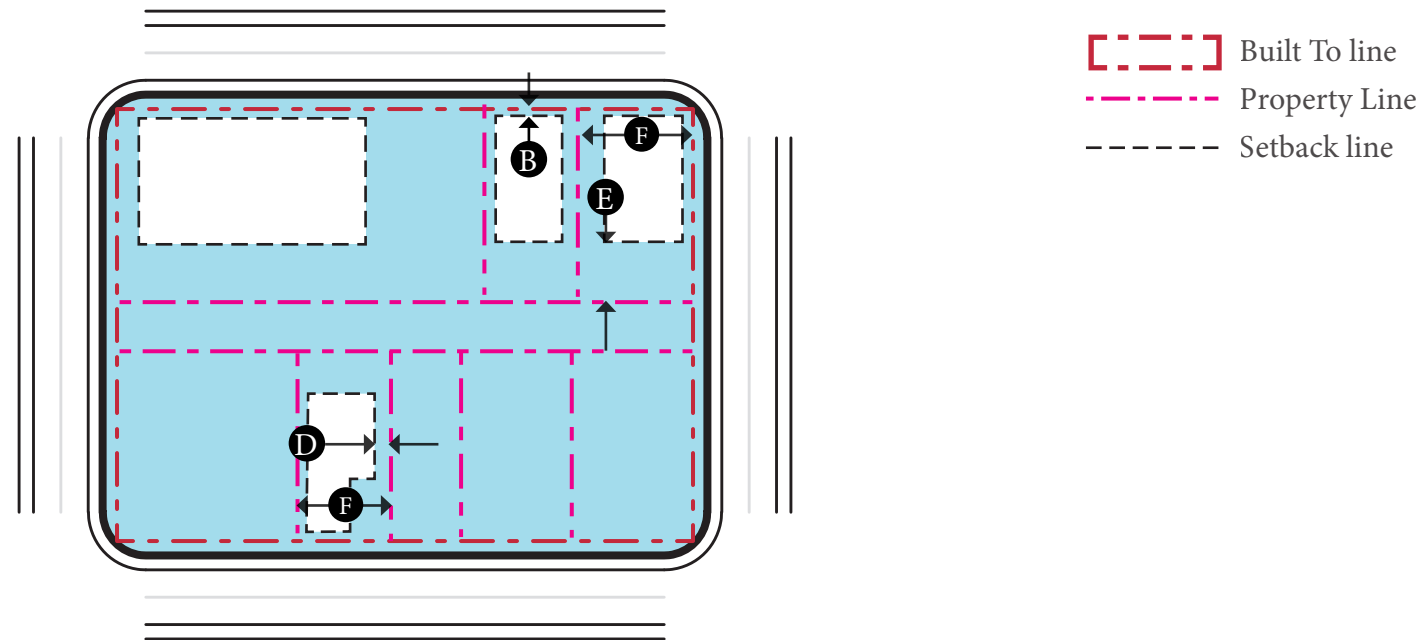
- 1 See the Proffers for Conditional Rezoning for additional information.
- 2 Allowable height determined based on street designation where front of building is located.
- 3 Build-to Zone Setback and Building Front applies to either the Paseo Green Space or the Street frontage
- 4 Building overhang allowed over the Built-to-Zone.

NOTES:

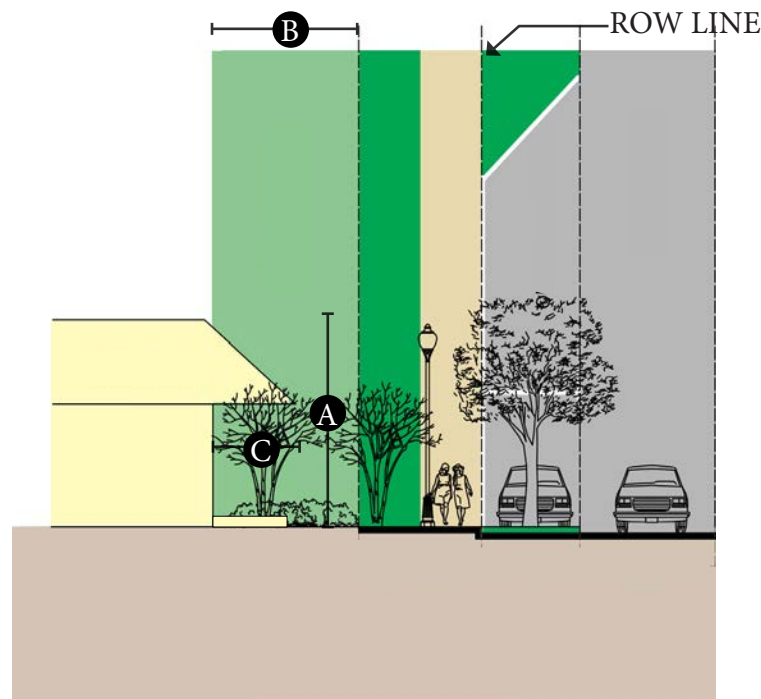
See Street Section for sidewalk width standards.  
 All buildings shall have a primary pedestrian entrance along front facade that faces a street or common pedestrian/green space.  
 Height transitions between buildings shall be no more than two stories if the buildings are less than 10' apart.

# FRONTAGE STANDARDS: RESIDENTIAL STREET

RESIDENTIAL STREET SETBACK



RESIDENTIAL STREET SECTION



Building Height		
A	Multifamily Building Height	80' Max <sup>1,2</sup>
A	SF Residential Height	50' Max
Building Placement		
B	Built-to Zone setback	3' Min
C	Building Overhang Allowable Width <sup>3</sup>	2' Max
D	Side Yard Set Back	0' Min
E	Alley or Rear Set Back	0' Min
% Lot Coverage		90% Max
Frontage Built-Out		
F	Building Front	60 % Min <sup>3</sup>
	Building Side (Street)	40% Min
	Building Rear (Street)	30% Min
Lots		
Minimum lot width: 16' for attached units, 26' for detached units.		
Minimum lot Area: 800 sq. ft. for attached, 1,300 sq. ft. for detached.		

1 See the Proffers for Conditional Rezoning for additional information.

2 Allowable height determined based on street designation where front of building is located.

3 Building overhang allowed over the Built-to-Zone.

NOTES:

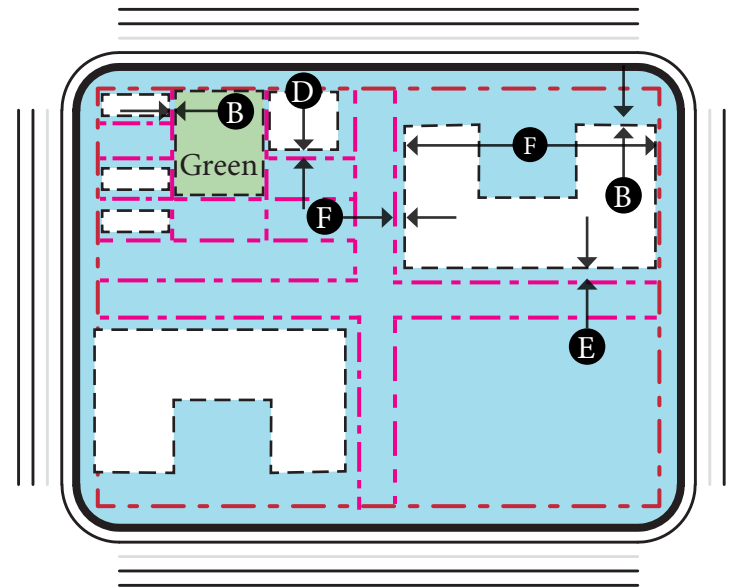
See Street Section for sidewalk width standards.

All buildings shall have a primary pedestrian entrance along front facade that faces a street or common pedestrian/green space.

Height transitions between buildings shall be no more than two stories if the buildings are less than 10' apart.

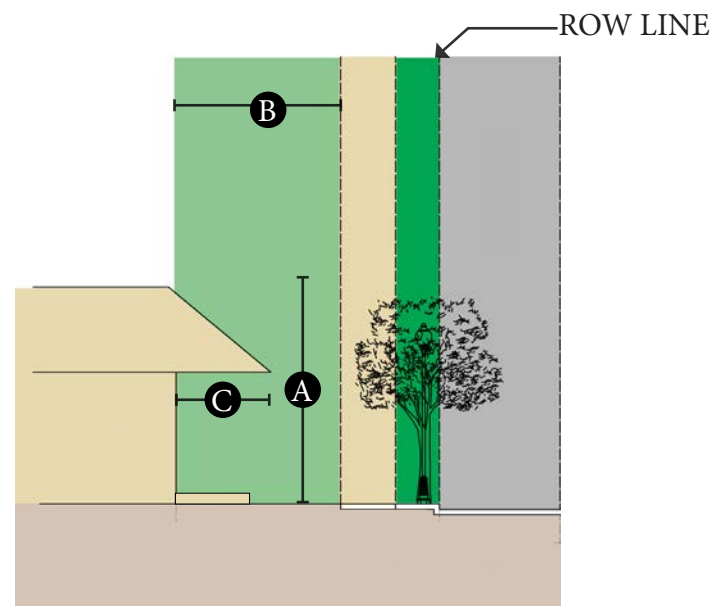
# FRONTAGE STANDARDS: COTTAGE RESIDENTIAL STREET

COTTAGE RESIDENTIAL STREET SETBACK



- Built To line
- Property Line
- Setback line

COTTAGE RESIDENTIAL STREET SECTION



Building Height		
A	Multifamily Building Height	80' Max <sup>1,2</sup>
A	SF Residential Height	50' Max
Building Placement		
B	Built-to Zone setback	0' Min
C	Building Overhang Allowable Width <sup>3</sup>	2' Max
D	Side Yard Set Back	0' Min
E	Alley or Rear Set Back	0' Min
% Lot Coverage		95% Max
Frontage Built-Out		
F	Building Front	40% Min <sup>3</sup>
	Building Side (Street)	40% Min
	Building Rear (Street)	30% Min
Lots		
Minimum lot width: 16' for attached units, 26' for detached units.		
Minimum lot Area: 800 sq. ft. for attached, 1,300 sq. ft. for detached.		

- 1 See the Proffers for Conditional Rezoning for additional information.
  - 2 Allowable height determined based on street designation where front of building is located.
  - 3 Building overhang allowed over the Built-to-Zone.
- NOTES:  
 See Street Section for sidewalk width standards.  
 All buildings shall have a primary pedestrian entrance along front facade that faces a street or common pedestrian/green space.  
 Height transitions between buildings shall be no more than two stories if the buildings are less than 10' apart.



# AVENLEA

the nature of home



**ASPIRATION 4**  
**-THE NATURE OF LANDSCAPE-**

“If a given combination of trees, mountains, water, and houses, say a landscape, is beautiful, it is not so by itself, but because of me— of my favor, and of the idea or feeling I attach to it.”

**-CHARLES BAUDELAIRE-**

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## ASPIRATION 4

### AVENLEA RESPECTS ITS ORIGINAL COMMUNITY—FOUND IN THE NATIVE FAUNA & RICH BIODIVERSITY OF ITS NATURAL LANDSCAPE

Throughout the site the landscape is thoughtfully designed to highlight existing indigenous plant species, as well as other important plants native to the region, to create a beautiful, diverse, and sustainable vegetative network that supports a viable, healthy natural environment.

### FEATURE NATIVES SPECIES IN THE MAJORITY OF SITE PLANTINGS

- Native plants provide a vital habitat for local species
- Native plants are well adapted to locale and require less water and overall maintenance

### PROVIDE A VARIETY OF SEASONAL COLOR

- Plantings designs will create a balance of featured species that showcase the dynamic natural beauty of each season

## THE NATURE OF LANDSCAPE

### PLAN FOR DIVERSITY IN TEXTURES

- Texture diversity in plantings will be used to distinguish varying spaces throughout the community
- Texture diversity in plantings in public spaces provides additional visual reference for homeowners

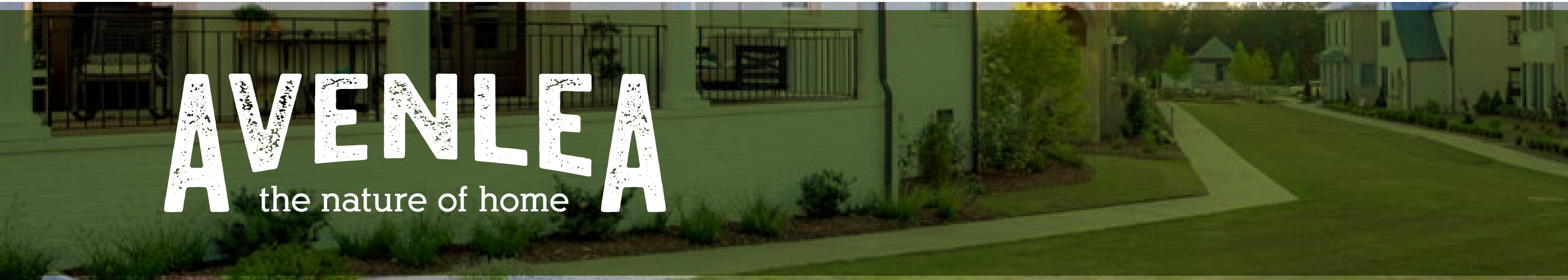
### SHOWCASE THE OUTDOORS

- Where possible, existing plant material throughout the community should be maintained during planning and construction
- Native plant communities will be replicated in the large open spaces and public areas of the community



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**ASPIRATION 5**  
**-THE NATURE OF ARCHITECTURE-**

“The good building is not one that hurts the landscape,  
but one which makes the landscape more beautiful  
than it was before the building was built.”

**-FRANK LLOYD WRIGHT-**

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### ARCHITECTURE IN ACCORDANCE WITH NATURE

The architecture of Avenlea inspires memories of the built and natural environment. It evokes special moments in unexpected ways with details, quality, and variety. It is the physical framework that connects people, scaled to make people feel comfortable. Front doors face the streets and inspire neighborliness. The interplay between building and nature welcomes exploration. Every building resonates a sense of homeostasis with nature.

### CONNECTEDNESS

- The look and feel of the buildings should be a mix of use and density. The blocks can have a character of all their own, but feel connected to one another through architectural details and quality.

### OPENNESS

- The architecture is the framework of the special open spaces, small and large, throughout Avenlea. Front entrances to commercial and residential buildings open onto public space, collections of buildings create courtyards, and the spaces between buildings are pedestrian passageways.

### STEWARDSHIP

- Appreciation of the environment is cultivated throughout the built environment, shining through design elements that consider how to holistically lessen the impact of development.





## ASPIRATION 5

## THE NATURE OF ARCHITECTURE

### THE BUILT ENVIRONMENT OF AVENLEA IS HOME

#### Building types:

- Potential residential types from multi-family to Townhomes/Condos
- Office
- Commercial

The style of architecture ranges from traditional to minimalist modern, but use of similar material, tied together by elements of importance:

- High quality materials matter create special moments such as small elements like brick details framing window openings, window openings that give a sense depth and variation to the facade, and high quality hardware on doors and light fixtures
- Walls and fences can vary in material but should be high quality, human scale, and create a beautiful transition from public to private space
- Rooflines, eaves, lintels, archways and other details can vary from building to building but work together as a cohesive design language across the community
- Commercial buildings, with the exception of Corporate Office buildings, are still small in scale and offer fine-grained details, particularly at the street level
- Buildings prioritize the public realm with front entrances and front doors always facing streets or pedestrian passageways



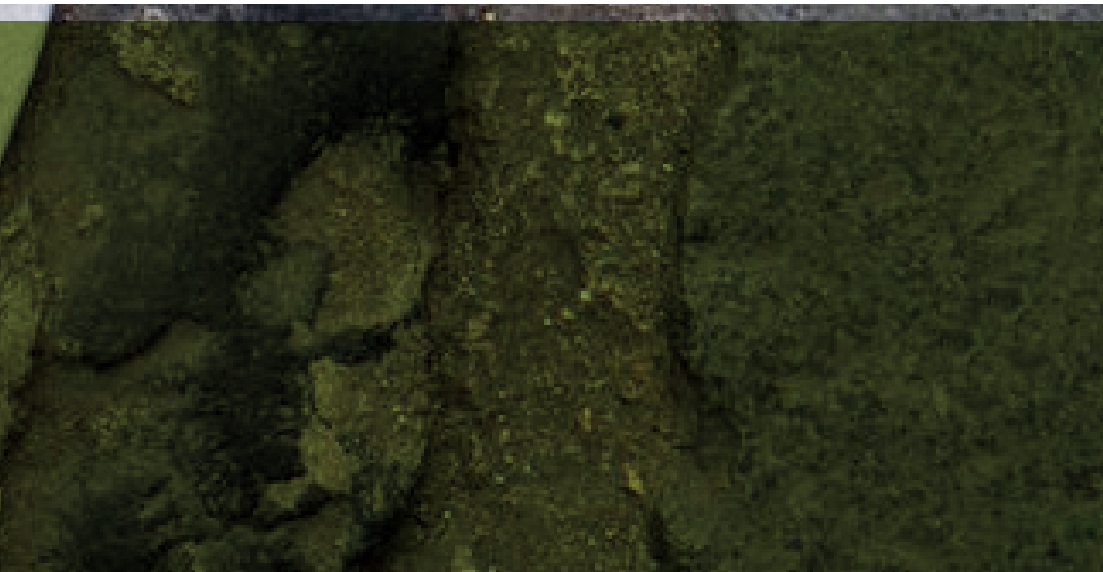






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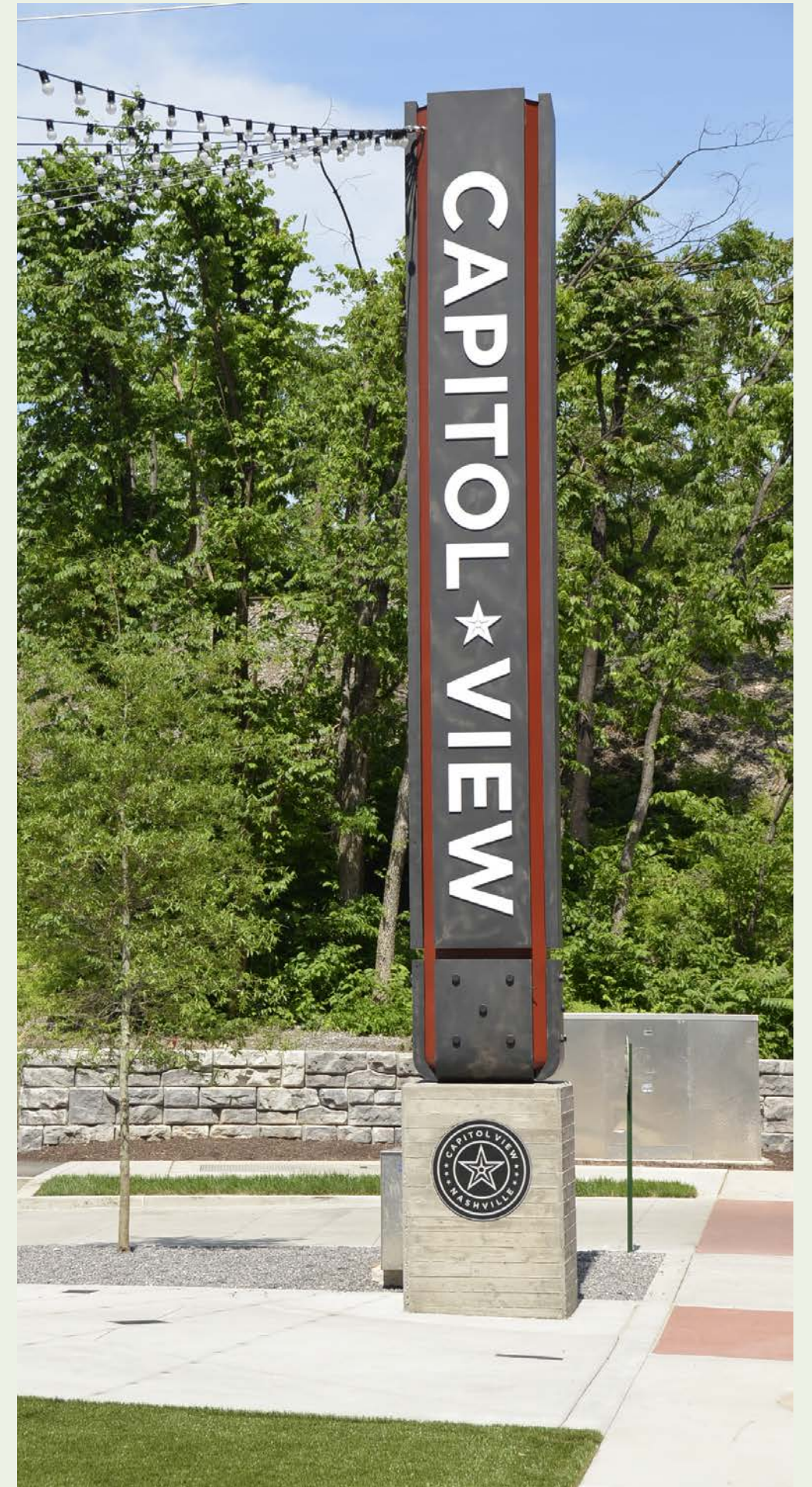


**ASPIRATION 6**  
**-THE NATURE OF SIGNAGE-**

“Sometimes the smallest step in the right direction  
ends up being the biggest step of your life.”

**-EMMA STONE-**

**AVENLEA**  
the nature of home



## ASPIRATION 6



## THE NATURE OF SIGNAGE

### SIGN LANGUAGE

We look to signs to figure out where we are, where to go, and what direction to take—guiding, informing, and perhaps even inspiring us along the way. Each component of signage contributes to the overall look and function of the buildings, storefronts, and streetscapes—which in turn contribute to the overall feel of the site. From entry monuments to wayfinding, walking paths, and even murals, signage at Avenlea will be designed to complement the character of the community and its natural environment through the use of style, form, and material fabrication.

Avenlea Signage Guidelines will be created to ensure both creativity in design and consistency in application of various types of signage while at the same time avoiding visual confusion and disruption.

#### LIGHTING NOTES:

- Signs may be illuminated with internal lighting, external lighting, or combination of both.
- All lighting, whether internal or external to the sign, will be adequately screened to avoid glares and will not project onto surrounding roads and buildings or otherwise impair vision.





## ASPIRATION 6

### MONUMENT SIGNS

These signs include:

Community Entrance Signs

- Main & Secondary Entry Point

### BUILDING & COMMUNITY AMENITY

These signs include:

- Address Numbers
- Business Name
- Building Name
- Building Directory Signs

## THE NATURE OF SIGNAGE

### WAYFINDING & NAVIGATION

These include:

Vehicular-oriented

- Street Signs
- Traffic-control (stop, speed, crosswalk, etc.)
- Retail & Business

Pedestrian-oriented

- Walking Path Markers & Intersection/Points of Decision
- Interpretive/Educational (natural features, amenities, ect.)

### MURAL & ENVIRONMENTAL/COMMUNITY ARTWORKS

These pieces of public art can be either beautiful works of art or used as business or building signage.











## ASPIRATION 6

### SITE LIGHTING

Pedestrian scaled outdoor lighting will be provided along the private treet, within plaza, and along pedestrain access routs within the open space.

## SITE LIGHTING AND FURNISHING

### STREET FURNISHING

These include:

- Planting, lighting, trash receptacles and benches.
- Street furniture to be integrated with usable public gathering spaces.
- Site furnishing should be used to create cohesive streetscape



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**-THE NATURE OF THANK YOU-**

A place to lose yourself as you walk

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