

**B-1 to B-1C
2.84 Ac.**

**B-1 to R-6C
3.845 Ac.**

Parcels or Portions thereof identified on this sheet are within the Airport Safety Overlay District and are subject to Special Regulation

REZ-2023-100260
Zoning
Mixed-Use
Varina District

400 Feet

PS December 2023 Ref: 828-723-0639



COMMONWEALTH OF VIRGINIA
COUNTY OF HENRICO

John A. Vithoukas
County Manager

March 19, 2024

Mr. Jeffrey P. Geiger
P.O. Box 500
Richmond, VA 23223

Re: Rezoning Case REZ-2023-100260

Dear Mr. Geiger:

The Board of Supervisors at its meeting on March 12, 2024, approved your request to conditionally rezone from B-1 Business District to B-1C Business District (Conditional) (2.84 acres) and R-6C General Residence District (Conditional) (3.85 acres) Parcel 828-723-0639 containing 6.69 acres located at the southeast intersection of N. Airport Drive (State Route 156) and E. Washington Street, described as follows:

Parcel Zoned from B-1 to B-1C

All that parcel of land, containing 2.840 acres, located on the south line of East Washington Street and the east line of North Airport Drive in the Varina district, of Henrico County, Virginia, being a portion of a 6.685 acre parcel of land known as 599 North Airport Drive, and more particularly described as follows: Beginning at a point on the south line of East Washington Street; said point being the end point of a curve between the east line of North Airport Drive and the south line of East Washington Street; thence, along the south line of East Washington Street, S 58°47'10" E a distance of 206.07' to a point; thence, leaving the south line of East Washington Street, S 31°59'22" W a distance of 127.42' to a point; thence, N 58°00'38" W a distance of 34.00' to a point; thence, S 31°59'22" W a distance of 318.11' to a point; thence, N 54°19'49" W a distance of 345.77' to a point on the east line of North Airport Drive; thence, along the east line of North Airport Drive N 50°03'49" E a distance of 171.05' to a point, thence, S 39°56'11" E a distance of 25.00' to a point; thence, N 50°03'49" E a distance of 30.00' to a point; thence, N 39°56'11" W a distance of 25.00' to a point; thence N 50°03'49" E a distance 205.54' to a point; thence, along a curve to the right, having a radius of 50.00', an arc length of 62.09' a delta angle of 71°09'00", a chord bearing of N 85°38'20" E and a chord distance of 58.18' to the point of beginning and containing 2.840 acres of land to be zoned B-1C.

Parcel Zoned from B-1 to R-6C

All that parcel of land, containing 3.845 acres, located on the south line of East Washington Street in the Varina district, of Henrico County, Virginia, being a portion of a 6.685 acre parcel of land known as 599 North Airport Drive, and more particularly described as follows: Beginning at a point on the south line of East Washington Street; said point being S 58°47'10" E a distance of 206.07' from a point at the end point of a curve between the east line of North Airport Drive and the south line of East Washington Street; thence, along the south line of East Washington Street, S 58°47'10" E a distance of 315.86' to a point; thence, leaving the south line of East Washington Street, S 25°14'50" W a distance of 353.96' to a point; thence, S 41°04'50" W a distance of 124.23' to a point; thence, N 54°19'49" W a distance of 372.52' to a point; thence, N 31°59'22" E a distance of 318.11' to a point; thence, S 58°00'38" E a distance of 34.00' to a point; thence, N

31°59'22" E a distance of 127.42' to the point of beginning and containing 3.845 acres of land to be zoned R-6C.

The Board of Supervisors accepted the following proffered conditions, dated February 29, 2024, which further regulate the above-described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

Applicable to the Entire Project.

1. **Conceptual Master Plan.** Development of the Property shall be in general conformance with Exhibit A (see case file) attached hereto entitled Site Plan - Ground Level, dated December 21, 2023 (the "Conceptual Plan"), which Conceptual Plan (see case file) is conceptual in nature and may vary in detail, unless otherwise requested by the owner and specifically approved by the Director of Planning. The Conceptual Plan divides the Property into the two (2) following land bays:

- a. The YWCA/CHS Parcel as labeled and shown on the Conceptual Plan (see case file) (the "YWCA/CHS Land Bay").
- b. The MWLT Parcel as labeled and shown on the Conceptual Plan (see case file) (the "MWLT Land Bay").

2. Use Limitations.

- a. **YWCA/CHS Land Bay.** The following uses shall be the only uses permitted within the YWCA/CHS Land Bay:
 - i) In the buildings colored red and blue on the Conceptual Plan (see case file) the only uses shall be: day care, educational, office, recreational, and civic.
 - ii) In the buildings labeled as "Building 1" and "Building 2" the only uses shall be: multiple-family, boarding house, and dormitory.
 - b. **MWLT Land Bay.** The following uses shall be the only uses permitted within the MWLT Land Bay: townhome dwellings.
3. **Future Bus Stop.** Upon written request from the County, the owner of the Property shall dedicate land a maximum of sixteen feet (16') in width and twelve feet (12') in depth, in a mutually agreed upon location along North Airport Drive for the construction of a bus stop (the "Future Bus Stop"). In the event of dedication, but no construction of the Future Bus Stop within fifteen years of the date of dedication, the dedicated land shall be conveyed back to the owner of the adjacent land.
4. **Private Roads.** Prior to the issuance of any Certificate of Occupancy, the applicant shall provide the Planning Department with certification from a licensed engineer that the roadways within the project were constructed according to the approved subdivision plan, and in compliance with Henrico County road design standards and specifications (except as

to pavement width and turning radii), to include proper compaction of the subbase soils, utility trenches, base stone, and asphalt surface.

5. **Ingress and Egress.** The Property shall have two points of ingress and egress. The first point of access shall be on East Washington Street. For the second point of access, the owner will obtain an access easement from the owner of the southern parcel (County GPIN 827-723-7711) to permit access to Airport Drive from the entrance generally shown on the Conceptual Plan (see case file). This access easement shall be obtained prior to plan of development approval.
6. **Basins.** Above-ground stormwater basins, if needed, shall not be located in a buffer and shall be designed as an aesthetic amenity. If the above-ground stormwater basin is designed as a wet basin, then the wet basin shall be aerated.
7. **Construction Activity.** The hours of exterior construction on the Property, including operation of bulldozers and other earthmoving equipment, shall be between 7:00 a.m. and 7:00 p.m., Monday through Friday, and between 8:00 a.m. and 4:00 p.m. on Saturday, except in emergencies or where unusual circumstances require extending the specific hours in order to complete work such as concrete pours, asphalt pours, or utility connections. No exterior construction shall occur on Sunday. All clearing, grading and construction contracts will contain these provisions. Signs, in both English and Spanish, stating the above-referenced provisions shall be posted and maintained at all entrances prior to any land disturbance activities on the Property.
8. **Plantings.** The eastern property line, shared with existing single family lots, shall be planted with the type of plants required for TB35. The location and spacing of these plants shall be determined at the time of plan of development review subject to credit for existing vegetation and existing easement requirements. The western property line, along Airport Drive, shall be planted with the type of plants required for TB35. The location and spacing of these plants shall be determined at the time of the plan of development review subject to credit for existing vegetation, BMP needs, drainage needs and existing easement requirements. The plantings required by this paragraph may be adjusted at the time of plan of development review with the approval of the Planning Director.
9. **Shared Maintenance.** The owner of the YWCA/CHS Land Bay and the owner of the MWLT Land Bay shall enter into an agreement for shared maintenance for the parking areas and common areas. A copy of this agreement shall be provided to the Planning Director prior to the plan of development approval, unless a later deadline is approved by the Planning Director.
10. **Southern Entrance.** The owner will endeavor to obtain an access easement from the owner of the southern parcel (County GPIN 827-723-7711) to permit access to Airport Drive through the drive-aisle located on the southern parcel. Prior to plan of development approval, the owner shall provide documentation of the owners efforts to obtain the easement. If the owner of the southern parcel agrees to provide the easement, then this easement shall be provided to the Planning Director prior to plan of development approval.

11. **Severance.** The unenforceability, elimination, revision or amendment of any proffer set forth herein, in whole or in part, shall not affect the validity or enforceability of the other proffers or the unaffected part of any such proffer.

Applicable to the YWCA/CHS Land Bay

12. Applicable to all uses in the YWCA/CHS Land Bay.
- a. **Architectural Treatment.**
- i) **Buildings with Dwelling Units.** The architectural style of any building constructed with dwelling units in the YWCA/ CHS Land Bay shall have an architectural style in general conformance with the "Perspective" images (two pages) dated November 13, 2023 ("Elevations")(see case file) unless another architectural appearance is approved by the Planning Director at the time of Plan of Development approval.
- ii) **Other Buildings.** Any buildings constructed without dwelling units in the YWCA/CHS Land Bay shall be constructed with an architectural style that is compatible with the Elevations based use of similar siding, materials, fenestration, and roof line, unless another architectural appearance is approved by the Planning Director at the time of Plan of Development approval.
- b. **Building Materials.** Each building exterior wall material (exclusive of windows, dormers, gables, doors, trim, soffit and fascia) shall be brick, brick veneer, stone, cultured stone, stone veneer, fiber cement siding, cementitious siding (e.g. HardiePlank), or a combination of the foregoing unless different architectural treatment and/or materials are requested by owner and approved by the Director of Planning. Fiberboard (e.g., Masonite) shall not be permitted as an exterior wall material. Other materials may be used for parapets, cornices, surrounds, trim, architectural decorations, and design elements.
- c. **Pedestrian Facilities.** Pedestrian facilities shall be provided in general conformance with the locations shown on the Conceptual Plan and shall be a minimum of three (3) feet wide.
- d. **Foundation Plantings.** Plantings shall be placed along the fronts and side of the buildings in the YWCA/CHS Land Bay in locations determined at the time of plan of development review in the landscape plan submitted by the applicant.

13 **Applicable to Buildings with Dwelling Units.**

- a. **Density.** There shall be no more than forty-five (45) total dwelling units.
- b. **Three-Bedroom Units.** There shall be no more than 5 three-bedroom dwelling units in the YWCA/CHS Land Bay.
- c. **Security Cameras.** The owner or operator of the buildings with dwelling units in the YWCA/CHS Land Bay shall provide and be responsible for the installation, operation, and maintenance, of a functioning security camera and video system of professional grade and quality and rated for surveillance of areas mutually agreed upon between the owner and the Crime Prevention Unit of the Police Division. Security camera locations and

views shall be mutually agreed upon by the owner and the Crime Prevention Unit of the Police Division. The security camera system shall, at a minimum, include:

- i) At minimum, five-megapixel cameras with night vision capturing pedestrian and vehicular access points, multi-family parking areas, breezeways (if any), and other areas mutually determined.
- ii) Recordings of all activities under surveillance shall be preserved for a period of one (1) month by the applicant or owner/operator. Authorized representatives of the Henrico County Police Division shall have full and complete access to all recordings upon request.

14. **Applicable to a day care use.**

- a. **Play Area.** An outdoor play area shall be provided in the area between the buildings colored red and blue on the Conceptual Plan (see case file).

Applicable to the MWLT Land Bay

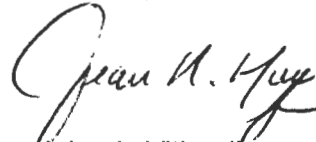
15. **Density.** There shall be no more than twenty-two (22) total town home dwelling units.
16. **Architectural Treatment.** Buildings constructed within the MWLT Land Bay shall be constructed with an architectural style that compliments the architectural style shown on the Elevations based use of similar siding, materials, fenestration, and roof line, unless another architectural appearance is approved by the Planning Director at the time of Plan of Development approval.
17. **Building Materials.** Each building exterior wall material (exclusive of windows, dormers, gables, doors, trim, soffit and fascia) shall be brick, brick veneer, stone, cultured stone, stone veneer, fiber cement siding, cementitious siding (e.g. HardiePlank), vinyl (a minimum of .042" nominal thickness as evidenced by manufacturer's printed literature), or a combination of the foregoing unless different architectural treatment and/or materials are requested by owner and approved by the Director of Planning. Fiberboard (e.g., Masonite) shall not be permitted as an exterior wall material. Other materials may be used for parapets, cornices, surrounds, trim, architectural decorations, and design elements.
18. **Units in a Row.** There shall not be more than eight (8) townhome dwelling units in a building.
19. **Foundations.** The exposed exterior portions of all foundations below the first-floor level shall be finished with brick, brick veneer, stone, stone veneer or cultured stone. On all front elevations and any street-facing side elevations for buildings constructed on slab-on-grade there shall be a minimum of twelve inches (12") of brick, stone, or cultured stone visible above grade. On all other side and rear elevations for buildings constructed on slab-on-grade there shall be a minimum of eight inches (8") of brick, brick veneer, stone, stone veneer or cultured stone visible above grade. Where a hardship of the lot prevents compliance with this proffer, the requirements may be modified or waived by the Director of Planning.
20. **Foundation Planting.** Foundation beds are required along the entire front façade of the building, excluding hardscaped areas, entrances, architectural features and garages, and

shall contain a minimum of fifty (50) percent evergreen material. A minimum of one front corner of the building shall be visually softened with a vertical accent shrub or small evergreen trees.

21. **Lead Walk.** A lead walk a minimum of a three (3) feet in width shall be provided to the front entrance of each dwelling unit, to connect to alleys, sidewalks or streets.
22. **Cantilevering.** There shall be no cantilevered treatment of any architectural features on the first floor. Items on the upper floors such as balconies, decks, bump-outs, box or bay-type windows may be cantilevered, but shall include decorative support corbels.

The Planning Department has been advised of the action of the Board of Supervisors and will revise its records.

Sincerely,



John A. Vithoukas
County Manager

pc: Maggie Walker Community Land Trust
Director, Real Estate Assessment
Henrico County Public Schools

PROJECT DATA:	
Total Site: 6.685 ac.	
B-1: 2.840 ac.	
R-6: 3.845 ac.	
2 Stories Residential (1.50 acres)	3 Stories Residential (2.34 acres)
Units:	Units:
BUILDING 1: 19 Units	TOWNHOMES: 21 Units
BUILDING 2: 25 Units	TOTAL: 21 Units
TOTAL: 44 Units	PARKING:
PARKING: 66 Spaces	Surface: 73 Spaces
	TOTAL: 73 Spaces
AMENITY: 1,500 S.F.	
SPROUT SCHOOL: 15,000 S.F.	
COMMERCIAL: 10,000 S.F.	
PARKING:	Land Bay Line
TOTAL: 40 Spaces	

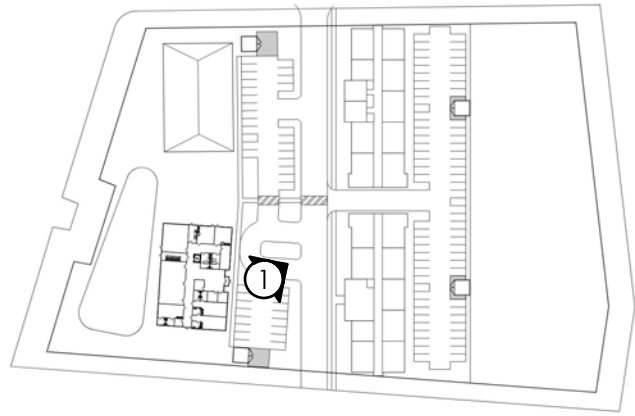


Exhibit Plat

YWCA / CHSVA Housing + Sprout School

599 North Airport Drive

REZ-2023-100260



3 Key Plan
NTS

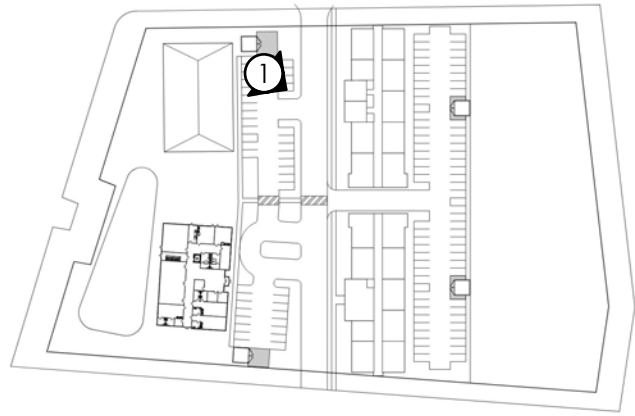
- SHINGLES
- BRICK BRADFORD HALL TUDOR
- CEMENTITIOUS BOARD & BATTEN SMOKY BLUE (SW7604)
- CEMENTITIOUS BOARD & BATTEN EXTRA WHITE (SW7006)







1 Perspective
Not to Scale

November 13, 2023





3 Key Plan
NTS

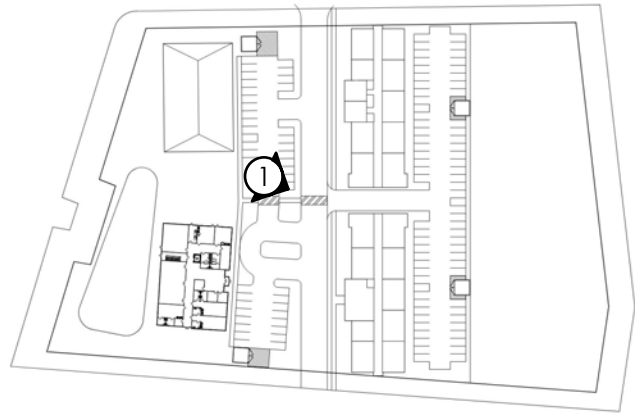
-  SHINGLES
-  BRICK
BRADFORD HALL
TUDOR
-  CEMENTITIOUS
BOARD & BATTEN
SMOKY BLUE
(SW7604)
-  CEMENTITIOUS
BOARD & BATTEN
EXTRA WHITE
(SW7006)



1 Perspective
Not to Scale

November 13, 2023





3 Key Plan
NTS

- SHINGLES
- BRICK BRADFORD HALL TUDOR
- CEMENTITIOUS BOARD & BATTEN SMOKY BLUE (SW7604)
- CEMENTITIOUS BOARD & BATTEN EXTRA WHITE (SW7006)



1 Perspective
Not to Scale

November 13, 2023

