

R-2A & O-3C
to C-1C
6.097 Ac.

REZ2023-00018
Zoning
 Conservation
 Fairfield District
 400
 PS April 2023 Ref: 785-767-1068



COMMONWEALTH OF VIRGINIA
COUNTY OF HENRICO

John A. Vithoukias
County Manager

July 18, 2023

Sauer Properties, Inc.
2000 West Marshall St., Ste. 1000
Richmond, Virginia 23220

Re: Rezoning Case REZ2023-00018

Dear Sir/Madam:

The Board of Supervisors at its meeting on July 11, 2023, approved your Request to conditionally rezone from R-2A One-Family Residence District and O-3C Office District (Conditional) to C-1C Conservation District (Conditional) Parcel 785-767-1068 containing 6.097 acres located at the northwest intersection of Virginia Center Parkway and J.E.B. Stuart Parkway, described as follows:

Commencing at the intersection of the northern line of Virginia Center Parkway and the western line of J.E.B. Stuart Parkway. Being the place and point of beginning (P.O.B. parcel "A"). Thence along the northern line of Virginia Center Parkway N 61°10'03" W, for a distance of 122.07' to a point. Thence N 4°35'32" W, for a distance of 18.65' to a point. Thence N 63°48'55" W, for a distance of 425.89' to a point. Thence leaving the northern line of Virginia Center Parkway, N 5°49'35" W, for a distance of 227.73' to a point. Thence S 66°00'00" E, for a distance of 330.00' to a point. Thence S 75°00'00" E, for a distance of 139.00' to a point. Thence S 86°00'00" E, for a distance of 165.00' to a point. Thence N 66°00'00" E, for a distance of 213.00' to a point. Thence N 34°00'00" E, for a distance of 286.00' to a point. Thence N 50°00'20" E, for a distance of 237.55' to a point. Thence along a curve to the right having a radius of 150.00' for an arc length of 99.64', subtended by a chord bearing of S 46°07'28" E, for a chord distance of 97.82' to a point on the western line of J.E.B. Stuart Parkway. Thence along the western line of J.E.B. Stuart Parkway, S 53°48'42" W, for a distance of 17.99' to a point. Thence along a curve to the left having a radius of 480.00' for an arc length of 250.87', subtended by a chord bearing of S 38°50'21" W, for a chord distance of 248.02' to a point. Thence S 23°52'00" W, for a distance of 117.30' to a point. Thence along a curve to the right having a radius of 400.00' for an arc length of 260.75', subtended by a chord bearing of S 42°32'30" W, for a chord distance of 256.16' to a point. Thence S 61°13'00" W, for a distance of 115.54' to a point. Thence along a curve to the left having a radius of 480.00' for an arc length of 229.56', subtended by a chord bearing of S 47°30'59" W, for a chord distance of 227.37' to a point. Thence leaving the western line of J.E.B. Stuart Parkway along a curve to the right having a radius

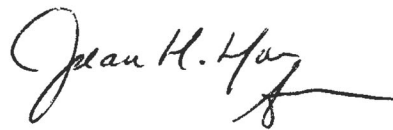
of 25.00' for an arc length of 39.28', subtended by a chord bearing of S 73°49'57" W, for a chord distance of 35.36' to a point being the place and point of beginning (P.O.B. Parcel A).

The Board of Supervisors accepted the following proffered conditions, dated April 14, 2023, which further regulate the above-described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

1. **Conservation Areas.** The Property shall only be used for the following purposes:
 - a. Storm water management and/or retention areas;
 - b. Ponds, lakes and similar areas intended as aesthetic and/or recreational amenities and/or wildlife habitats;
 - c. Access drives, utility easements, signage, walkways and recreational facilities installed in a manner to minimize their impacts; and
 - d. Such additional uses to the uses identified in (a), (b) and (c) above as may be deemed compatible and of the same general character by the Planning Director pursuant to Chapters 19 and 24 of the County Code.

The Planning Department has been advised of the action of the Board of Supervisors and will revise its records.

Sincerely,



John A. Vithoukas
County Manager

pc: Jeffrey P. Geiger
Director, Real Estate Assessment