

REZ2023-00043
Zoning
Single-Family Residential
Three Chopt District

400 Feet

PS November 2023 Ref: 746-741-0352



COMMONWEALTH OF VIRGINIA
COUNTY OF HENRICO

John A. Vithoukas
County Manager

April 16, 2024

Joshua Kaplan
3627 Woodlynne Place
Henrico, VA 23233

Re: Rezoning Case REZ2023-00043

Dear Mr. Kaplan:

The Board of Supervisors at its meeting on April 9, 2024, approved your request to conditionally rezone from A-1 Agricultural District to R-3AC One-Family Residence District parcel 745-756-7219 containing 1.005 acres located between the southern terminus of Springsberry Place and northern line of Church Road, described as follows:

Beginning at a point (p.o.b.) on the western line of Church Road at the intersection of Church Road and Cottrell Road labeled p.o.b. on this plat; thence along a curve to the right with a radius of 416.70' a length of 247.90'; thence N 38°25'28" W 229.18'; thence along a curve to the left with a radius of 50.00' a length of 94.16'; thence S 69°29'58" E 348.94' to the point and place of beginning, and containing 1.005 acres of land.

The Board of Supervisors accepted the following proffered conditions, dated March 28, 2024, which further regulate the above-described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

1. **Concept Plan.** The property will be developed generally consistent with that certain conceptual plan prepared by The Bay Companies. The attached plan is titled "Exhibit A" and dated February 16, 2024 (see case file). The exact sizes and details of the lots, roads, and other improvements shown on the Concept Plan are illustrative and may be subject to change and revised and updated from time to time as required for final engineering design, compliance with governmental regulations, or as otherwise approved by the County.
2. **Density.** There shall be no more than 2 units.
3. **Minimum Finished Area.** All new homes shall be a minimum of 1,800 square feet.
4. **Foundations.** Foundations and front porch piers shall be finished with brick on all four sides. Each house shall be on crawl-space foundations, except for garages and basements.
5. **Cantilevering.** There shall be no cantilevered features, including, but not limited to, bay windows and chimneys.
6. **Driveways.** All driveways shall be paved with asphalt, concrete, pre-cast pavers, gravel or other similar materials approved by the Director of Planning.

Joshua Kaplan

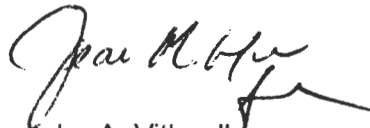
April 16, 2024

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7. **Underground Utilities.** Except for junction boxes, meters, pedestal, transformers and existing overhead utility lines, utility connections will be underground unless otherwise required due to environmental factors.
8. **Materials.** The exterior wall surface of all homes on the property (with the exceptions of foundations, trim and architectural treatments) shall be constructed of brick, stone, hardiplank or vinyl siding.
9. **Hours of Construction.** The hours of exterior construction, including operation of bulldozers and other earthmoving equipment will be between 7:00 a.m. and 7:00 p.m. Monday through Friday, between 8:00 a.m. and 5:00 p.m. on Saturdays and none on Sundays provided, however, except emergencies or where unusual circumstances require extending the specific hours in order to complete work such as concrete pours or utility connectors, Signs, in both English and Spanish, stating the above referenced provisions shall be posted and maintained at all entrances to the Property prior to any land disturbance activities thereon.
10. **Severance.** The unenforceability, elimination, revision or amendment of any proffer set forth herein, in whole or in part shall not affect the validity or enforceability of other proffers or the unaffected part of any such proffer.

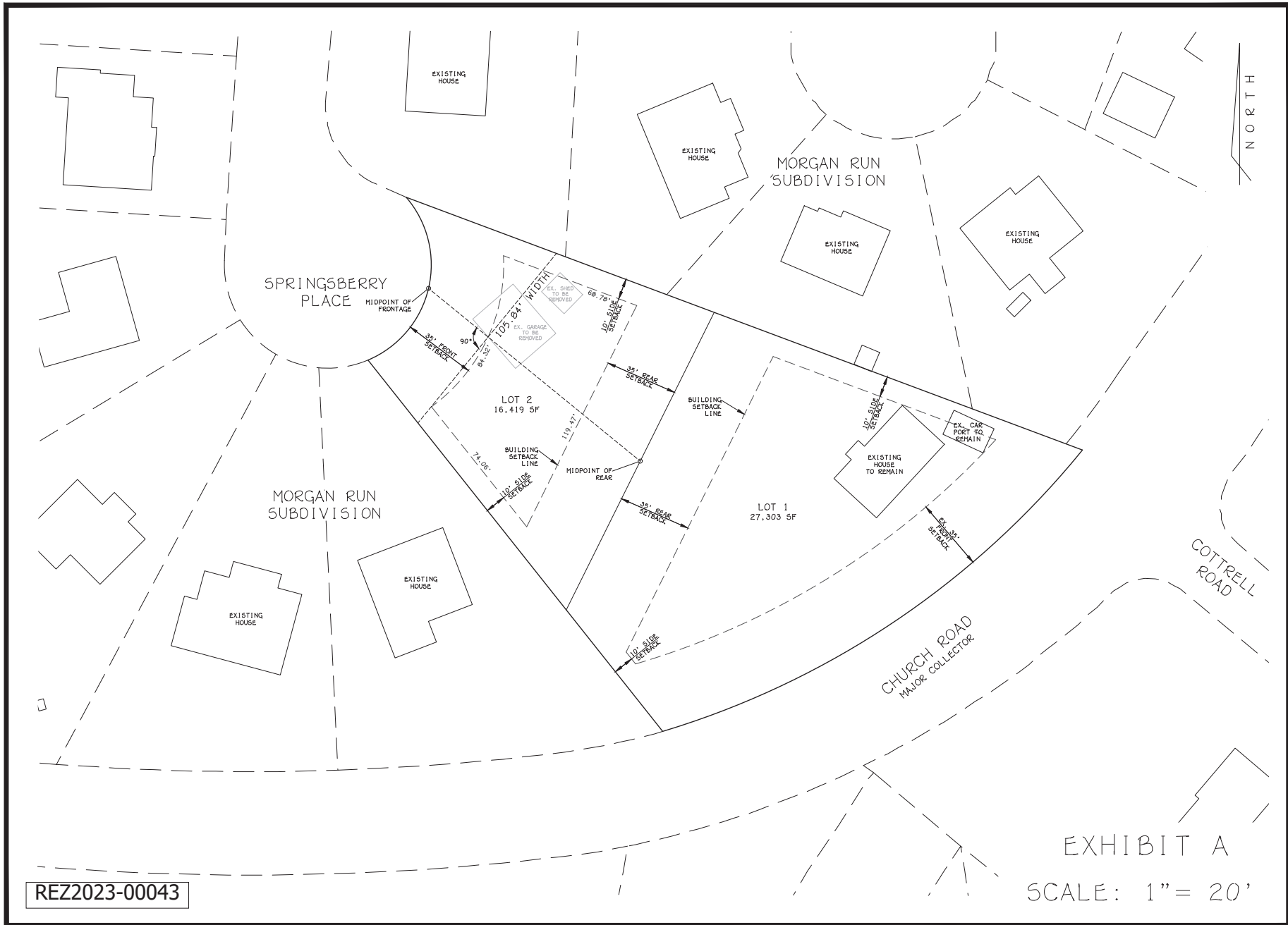
The Planning Department has been advised of the action of the Board of Supervisors and will revise its records.

Sincerely,



John A. Vithoukas
County Manager

pc: Henrico County Public Schools
Director, Real Estate Assessment

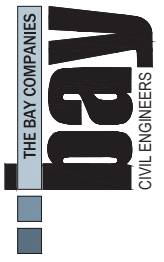


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EXHIBIT A
SCALE: 1" = 20'

THIS DRAWING IS THE PROPERTY OF THE BAY COMPANIES, INC. AND IS NOT TO BE REPRODUCED OR USED FOR ANY PROJECT IN WHOLE OR IN PART WITHOUT EXPRESS WRITTEN PERMISSION.

FILED: 23080_Zoning Exhibit
DATE: January 24, 2024
REVISED: February 16, 2024
REVISED:
REVISED:



8500 BELL CREEK ROAD
MECHANICSVILLE, VA 23116
(804) 569-7000
FAX: (804) 569-7061

PROJECT:

3010 Church Rd
CPIN 745-756-7219
Three Choct District
Henrico County, Virginia

SHEET:

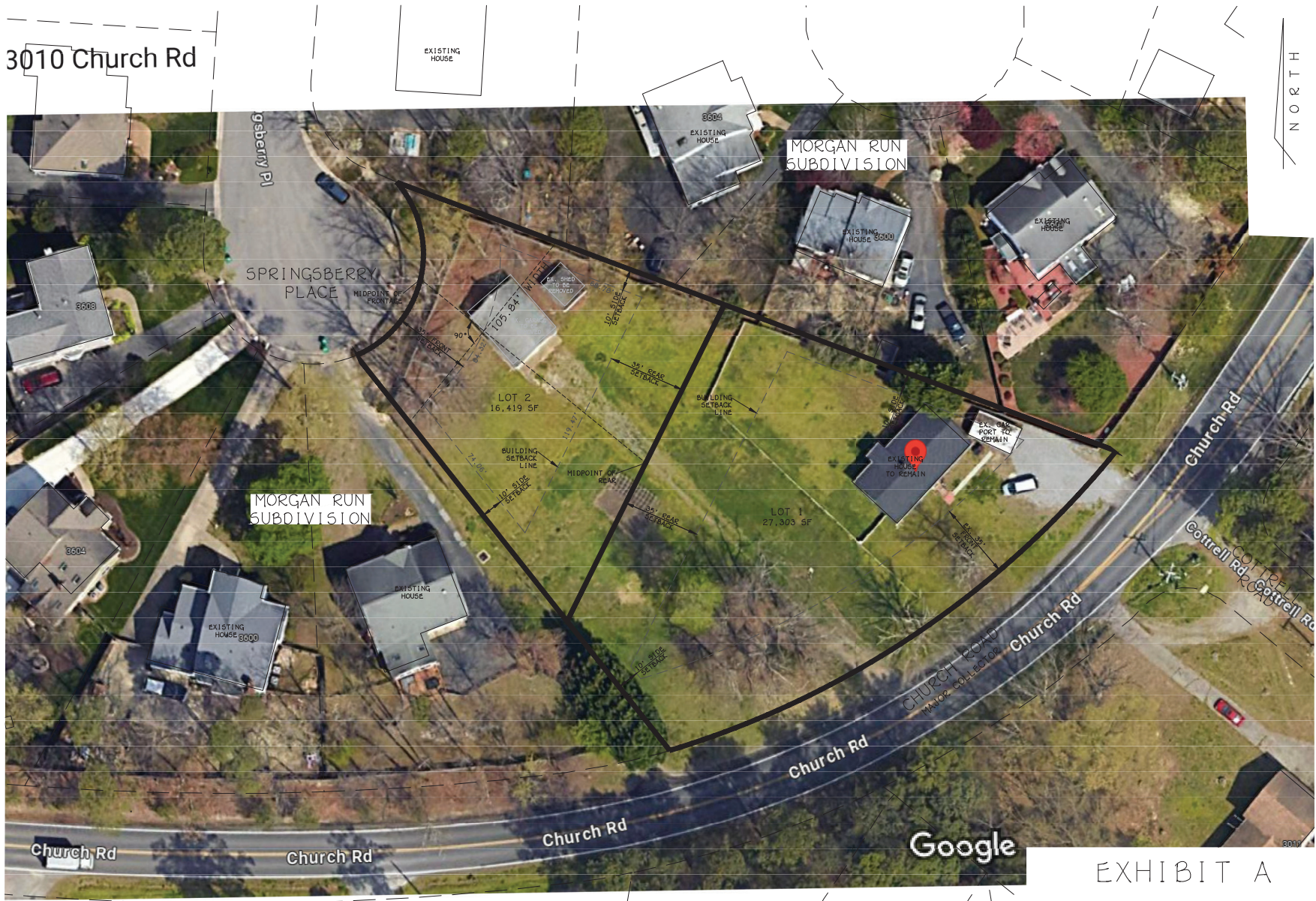
Concept Plan

SHEET NO:

C1

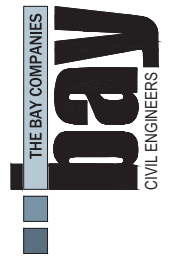
JOB NO. 23080

3010 Church Rd



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