



COUNTY OF HENRICO

December 10, 2024

John A. Vithoukas
County Manager

4911 Willow LLC
70 Pine Street Unit 720
New York, New York 10005

Re: Rezoning Case REZ-2024-101722

Dear Sir:

The Board of Supervisors at its meeting on December 3, 2024, approved your request to amend proffers accepted with REZ2022-00033 on Parcel 773-736-5900 located on the south line of Augusta Avenue approximately 160' west of the intersection of Staples Mill Road (U.S. Route 33).

The Board of Supervisors accepted the following proffered conditions, dated November 12, 2024, which further regulate the above-described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

1. **Conceptual Master Plan.** Development of the Property shall be in general conformance with the conceptual plan (the "Conceptual Plan") which is entitled "4911 WILLOW LLC, PUP PACKAGE, PLANS AND METRICS" dated October 31, 2024, prepared by Hickok Cole, and attached hereto (see case file, 4 pages). The exact locations, footprints, configurations, size, and details of the drives, roads, buildings, and other improvements shown on the Conceptual Plan are illustrative and are subject to change and may be updated from time to time as required for final engineering designs, compliance with governmental regulations or as otherwise approved at the time of Plan of Development ("POD") review of the Property or any portion thereof.
2. **Development Standards:** Development of the Property shall be subject to the following development standards, unless otherwise approved at the time of POD:
 - a. **Architectural Treatment.** Any multi-family buildings constructed on the Property shall have a style and design substantially consistent with the renderings set forth on the Conceptual Plan (see case file).
 - b. **Exterior Materials.** The exposed portion of each wall surface (front, rear and sides) of any residential building (not including the parking deck on the Property shall be the same as exposed portions of other exterior walls of such building in architectural treatment and materials. Exposed exterior wall surfaces of any residential building (not including the parking deck), exclusive of windows, doors, and architectural treatments, shall be constructed of brick, stone, phenolic panel, metal panel, EIFS or

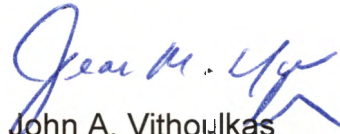
cementitious siding, or a combination of the foregoing, unless different materials are specifically approved with respect to the exposed portion of any such wall at the time of POD review.

- c. **Underground Utilities.** All new utility lines serving the Property shall be underground, except for junction boxes, meters, existing and/or relocated existing overhead utility lines and lines in wetland areas. Electrical junction boxes and meters shall be screened from public view at ground level at the perimeter of the property with use of a wall, fencing, landscaping, or such other method as may be approved at the time of POD review. The existing overhead electrical power lines located on the Property along the boundary line of the Property opposite of the Augusta Avenue boundary of the Property shall be placed underground.
 - d. **Sound Suppression.** Interior walls and floors/ceilings between dwelling units shall have a minimum sound transmission coefficient rating of 54. A cross-sectional detail, reviewed and approved by a certified architect or engineer as to the methodology to accomplish the sound coefficient rating, shall be included in the building permit application.
 - e. **Mechanical Equipment.** Mechanical equipment shall be screened from public view at ground level at the Property lines as approved at the time of POD review.
3. **Density.** There shall be no more than 188 residential units developed on the Property, with all such units being only one- or two-bedroom units. A minimum of 1,100 square feet of commercial interior space open to the public shall be provided on the Property as required at the time of POD review.
4. **Amenities.** Amenities for the project shall include both outdoor and indoor amenities and services which shall include (a) for the outdoor space, a pool and deck area, a courtyard, and such other amenities as approved at the time of POD review, and (b) for the indoor space, gathering areas consisting of at least the following: event room (with chairs and television(s)), business area, and leasing and management office, fitness center and such other amenities as approved at the time of POD review.
5. **Hours of Construction.** During the construction of the development on the Property the hours of exterior construction shall be limited to 7:00 a.m. to 7:00 p.m. Monday through Saturday, except in emergencies or where unusual circumstances require extending the specific hours in order to complete work such as concrete pours or utility connections. Exceptions shall require the approval of the Director of Planning. Construction signs shall be posted in English and in Spanish and shall state the hours of construction.

6. **Streetscape Plantings.** Plantings, including street trees, shall be provided along the public right-of-way of Augusta Avenue, consistent with Exhibit B (see case file), with specific plantings and spacing of such plantings determined at the time of POD review, subject to conflicts with utilities, sightlines and driveway areas.
7. **Severance.** The unenforceability, elimination, revision or amendment of any proffer set forth herein, in whole or in part, shall not affect the validity or enforceability of the other proffers or the unaffected part of any such proffer.

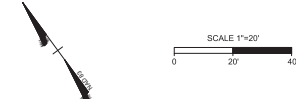
The Planning Department has been advised of the action of the Board of Supervisors and will revise its records.

Sincerely,



John A. Vithoulkas
County Manager

pc: Jennifer D. Mullen
Director, Real Estate Assessment
Henrico County Public Schools



PUP SUBMITTAL
NOT FOR CONSTRUCTION

THIS DRAWING PREPARED AT THE
CORPORATE OFFICE
1001 N. 4th Street, Suite 200
TOL 804-236-5500 FAX 804-262-0105 www.timmonsgrp.com

YOUR VISION ACHIEVED THROUGH OURS.
DATE 07/18/2024
DRAWN BY E. PATTERSON
DESIGNED BY C. JOHNSON
CHECKED BY C. JOHNSON
SCALE 1" = 20'

REVISION DESCRIPTION
DATE
POD Case #
POD Master Case #

TIMMONS GROUP

THE AUGUSTA DEVELOPMENT
BROOKLAND DISTRICT - HENRICO COUNTY - VIRGINIA
SITE LAYOUT PLAN

208 NO.
63003
SHEET NO.
C4.00

SITE LAYOUT NOTES:
1. REFER TO LANDSCAPE SHEETS FOR LANDSCAPING & LIGHTING PLANS & DETAILS.
2. ALL DIMENSIONS ARE FROM THE FACE OF CURB, UNLESS NOTED OTHERWISE.
ARCHITECTURAL BUILDING BACKGROUND DATE: 06/20/2024

PAVEMENT MARKING NOTES:
1. ALL PERMANENT MARKINGS SHALL BE TYPE B, CLASS I UNLESS OTHERWISE DIRECTED BY VDOT TRAFFIC ENGINEERING.
2. ALL PAVEMENT MARKINGS MUST HAVE A PERSON w/A PAVEMENT MARKING CERTIFICATION, ISSUED BY THE VDOT MATERIALS DIVISION, ON SITE DURING PAVEMENT MARKING OPERATIONS. A COMPLETED CERTIFIED DELIVERY TICKET & A C-85 MUST BE SUBMITTED TO THE VDOT RESIDENCY PERMIT INSPECTOR.
3. RESEAL AND RESTRIPE AREAS OF ASPHALT OUTSIDE OF DEMOLITION/EXPANSION LIMITS

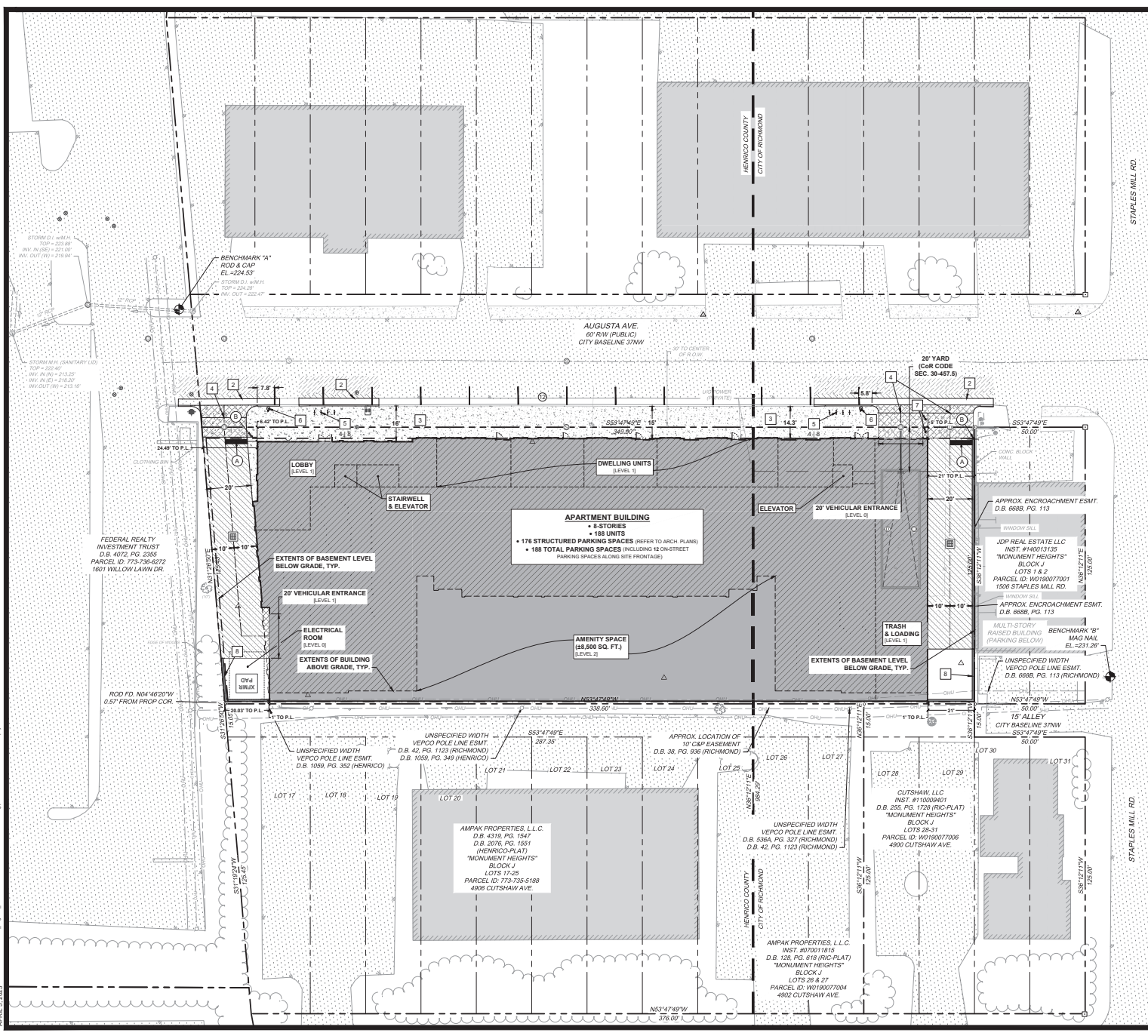
SITE LAYOUT NOTE KEY	
1	HENRICO COUNTY STD. INDEPENDENT CURB (TIE TO EXISTING CURBING WHERE NECESSARY)
2	HENRICO COUNTY STD. CURB & GUTTER (TIE TO EXISTING CURBING WHERE NECESSARY)
3	HENRICO COUNTY STD. SIDEWALK (TIE TO EXISTING SIDEWALK WHERE NECESSARY)
4	VDOT MOD. C-80 W/OVER-THE-SIDEWALK ENTRANCE
5	BIKE RACK FOR SHORT TERM BICYCLE STORAGE (N = # OF RACKS / # OF SPACES)
6	PET WASTE STATION
7	BOLLARD
8	1' RETAINING WALL, VAR. HEIGHT (VDOT STD. RW-3)

SIGN & PAVEMENT MARKING NOTE KEY	
A	24" STOP BAR
B	STOP SIGN (MUTCD STD. R1-1)

LAYOUT HATCH LEGEND	
[Hatch Pattern]	EXTENTS OF BUILDINGS AT GRADE (REFER TO ARCH. PLANS)
[Hatch Pattern]	EXTENTS OF BUILDING OVERHEAD (REFER TO ARCH. PLANS)
[Hatch Pattern]	CONCRETE SIDEWALK PAVEMENT SECTION
[Hatch Pattern]	HEAVY DUTY ASPHALT PAVEMENT SECTION
[Hatch Pattern]	HEAVY DUTY CONCRETE PAVEMENT SECTION
[Hatch Pattern]	MILL & OVERLAY PAVEMENT SECTION
[Hatch Pattern]	TRENCH CUT RESTORATION FOR GENERAL UTILITY STREET WORK SECTION

BIKE PARKING SUMMARY:	
REQUIRED	BIKE PARKING SPACES PER 40 UNITS X NUM. UNITS = 188 - 5 BIKE PARKING SPACES
PROVIDED	2 BIKES PER RACK X NUM. RACKS = 16 BIKE PARKING SPACES

REZ-2024-101722



188	188	62	161,681 SF
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Grand total	188
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188 188

Grand total	161,681 S
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26,017 SF

Grand total	260,470 SF
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Grand total	260,470 SF
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SCALE. 1 - 40 - 0



SCALE: 1 = 40' 0"



SCALE: 1 = 80 - 0

SCALE: 1" = 40'-0"



SCALE: 1 = 40 - 0

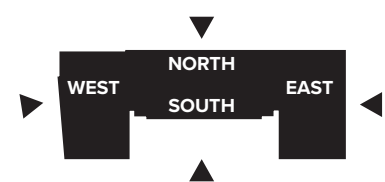


ABOVE: ELEVATION - SOUTH
 SCALE: 3/32"=1'-0"

LEFT: ELEVATION - WEST
 SCALE: 3/32"=1'-0"



KEY MAP



NORTHWEST PERSPECTIVE



NORTHEAST PERSPECTIVE



ENTRANCE



COURTYARD





Exhibit B

REZ-2024-101722





Exhibit B

REZ-2024-101722



Exhibit B

REZ-2024-101722