



COMMONWEALTH OF VIRGINIA

COUNTY OF HENRICO

John A. Vithoulkas
County Manager

February 4, 2025

Main Street Homes of VA, Inc.
15871 City View Dr. #100
Midlothian, VA 23113

Re: Rezoning Case REZ-2024-102035

Dear Sir/Madam:

The Board of Supervisors at its meeting on January 28, 2025, approved your request to conditionally rezone from A-1 Agricultural District and B-3C Business District (Conditional) to RTHC Residential Townhouse District (Conditional) Parcels 738-755-6305, 738-755-7308, 738-755-8700, 738-755-9518, and 739-755-1726 containing 6.54 acres located on the north line of Church Road approximately 425' west of its intersection with John Rolfe Parkway, described as follows:

PARCEL 1 (PARCEL ID: 739-755-1726)

Beginning at the northwest intersection of Church Road and Old Pump Road, thence with the north line of Church Road 311.75' to a monument found, said monument found being the actual point of beginning and labeled P.O.B. 1; thence with the north line of Church Road S 67°14'49" W 133.95' to a rod set; thence leaving the north line of Church Road N 24°24'19" W 370.73' to a rod set; thence N 67°18'05" E 143.29' to a point, said point being 0.26' south of a rod found; thence S 24°24'19" E 149.90' to a rod found; thence S 67°49'41" W 9.34' to a point, said point being 0.45' east of a rod found; thence S 24°24'19" E 220.79' to a monument found, said monument being the point of beginning and containing 1.171 acres of land.

PARCEL 2 (PARCEL ID: 738-755-9518)

Beginning at the northwest intersection of Church Road and Old Pump Road, thence with the north line of Church Road 445.70' to a rod set, said rod set being the actual point of beginning and labeled P.O.B. 2; thence with the north line of Church Road S 67°14'49" W 5.33' to a monument found; thence S 66°01'32" W 267.59' to a rod set; thence leaving the north line of Church Road N 30°29'05" W 145.27' to a rod set; thence S 68°54'50" W 70.00' to a rod set; thence N 23°30'29" W 259.62' to a rod found; thence N 22°43'26" W 91.25' to a rod found; thence N 69°17'26" E 144.95' to a rod found; thence S 22°41'55" E 115.18' to a point, said point being 0.15' west of a rod found; thence N 67°18'05" E 210.31' to a rod set; thence S 24°24'19" E 370.73' to the point of beginning and containing 3.202 acre of land.

Parcel 3 (PARCEL ID: 738-755-7308)

Beginning at the northwest intersection of Church Road and Old Pump Road, thence with the north line of Church Road 806.25' to a rod set, said rod set being the actual point of beginning and labeled P.O.B. 3; thence with the north line of Church Road S 68°41'10" W 105.07' to a rod set;

thence N 23°39'18" W 394.68' to a rod found; thence N 68°20'42" E 106.06' to a rod set; thence S 23°30'29" E 395.27' to the point of beginning and containing 0.957 acre of land.

Parcel 4 (PARCEL ID: 738-755-6305)

Beginning at the northwest intersection of Church Road and Old Pump Road, thence with the north line of Church Road 911.32' to a rod set, said rod set being the actual point of beginning and labeled P.O.B. 4; thence with the north line of Church Road S 68°41'10" W 34.36' to a nail found; thence along a tangent curve to the right having a radius of 641.08', an arc length of 70.97', a delta angle of 06°20'34", a chord bearing of S 71°51'27" W, and a chord length of 70.93' to a rod set; thence N 23°39'18" W 390.13' to a rod found; thence N 68°20'42" E 105.00' to a rod found; thence S 23°39'18" E 394.68' to the point of beginning and containing 0.948 acre of land.

Parcel 5 (PARCEL ID: 738-755-8700)

Beginning at the northwest intersection of Church Road and Old Pump Road, thence with the north line of Church Road 718.62' to a rod set, said rod set being the actual point of beginning and labeled P.O.B. 5; thence with the north line of Church Road S 66°01'32" W 32.66' to a monument found; thence S 68°41'10" W 54.97' to a rod set; thence N 23°30'29" W 145.31' to a rod set; thence N 68°54'50" E 70.00' to a rod set; thence S 30°29'05" E 145.27' to the point of beginning and containing 0.262 acre of land.

The Board of Supervisors accepted the following proffered conditions, dated December 26, 2024, which further regulate the above-described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

1. **Concept Plan.** The Property shall be developed in general conformance with Exhibit A, attached (see case file), dated December 2024 (the "Concept Plan"). The exact locations, footprints, configurations, size, and details of the drives, lots, buildings and other improvements shown on the Concept Plan are illustrative and are subject to change and may be updated from time to time as required for final engineering designs, compliance with governmental regulations or as otherwise approved at the time of Plan of Development review of the Property. This includes the owner's ability to adjust the road width at the time of Plan of Development review in order to obtain approval of the plan of development if the County requires wider or narrower private roads for such approval.
2. **Construction.** The hours of exterior construction activities, including operation of bulldozers and other earthmoving equipment shall be between 7:00 a.m. and 7:00 p.m. Monday through Friday and 9:00 a.m. and 5:00 p.m. on Saturdays, except in emergencies or where unusual circumstances require the specific hours in order to complete work as concrete pours, asphalt pours and utility connections. No exterior construction activities shall be allowed on Sundays. Signs, in both English and Spanish, stating the above-referenced provisions, shall be posted and maintained at all entrances to the Property prior to any land disturbance activities thereon.
3. **Protective Covenants.** Prior to the issuance of the first building permit, a document shall be recorded in the Clerk's Office of the Circuit Court of Henrico County, Virginia, setting forth controls on the development and maintenance of the Property.

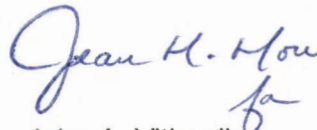
4. **Density.** No more than 41 dwelling units will be developed on the Property.
5. **Architecture.** Townhome buildings constructed on the Property shall be in general conformance with the architectural style depicted on Exhibit B (see case file) and attached hereto and by this reference made a part hereof, unless otherwise approved by the Planning Director at the time of Plan of Development review.
6. **Building Materials.** All buildings shall have exposed exterior walls (above grade and exclusive of trim, which may be metal, wood or vinyl) of stone, cultured stone, stone veneer, brick, brick veneer, E.I.F.S., cementitious siding (e.g. Hardi-plank), high-grade vinyl (a minimum of .042" nominal thickness as evidenced by manufacturer's printed literature), or a combination of the foregoing unless different architectural treatment and/or materials are specifically approved with respect to the exposed portion of any such wall, at the time of Plan of Development review.
7. **Minimum Sizes.** The minimum finished floor area of each townhouse unit shall be 1,500 square feet of finished floor area.
8. **Foundations.** The exposed exterior portions of all foundations below the first-floor level shall be finished with brick, brick veneer, stone, stone veneer, cultured stone or brick stamped concrete. On the front, side and rear elevations of each building, there shall be a minimum of twelve (12) inches of brick, brick veneer, stone, stone veneer, cultured stone or brick stamped concrete visible above grade. For reasons associated with required site grading, the requirements of this proffer may be modified or waived by the Director of Planning for individual side or rear facades.
9. **End Unit Facades.** For end units identified as numbers 1 and 41 on the Concept Plan (see case file), the following measures shall be implemented, unless otherwise approved at the time of plans review.
 - a. A minimum of one window per floor is required in a fenestration pattern similar to the front facade.
 - b. Trim on the side elevation shall be a minimum of 4" wide.
10. **Cantilevering.** There shall be no cantilevered treatment of any architectural features on the first floor. Items on the upper floors such as balconies, decks, bump-outs, box or bay-type windows may be cantilevered, but shall include decorative supports.
11. **Lead Walk.** A lead walk a minimum of a three (3) feet in width shall be provided to the front entrance of each dwelling unit, to connect to alleys, sidewalks or streets, in the manner generally shown on the Concept Plan (see case file).
12. **Driveways.** Driveways shall be constructed of either cobblestone, brick, asphalt, pre-cast pavers, concrete or other similar hardscape materials approved by the Director of Planning.
13. **Sidewalks.** Sidewalks shall be provided, at a minimum, along one side of each internal road.

14. **Amenities.** A gathering area shall be provided in the location labeled "Potential Pocket Park" on the Concept Plan (see case file). At a minimum, the gathering area shall be improved as follows:
 - a. With a minimum of two benches with hardscape below each bench (the square footage of this hardscape below each bench being a minimum of two times the square footage of the bench seating area), and
 - b. With landscaping identified on the landscape plan submitted by the owner at the time of plans review. An alternate design for this gathering area may be submitted to the Planning Director for approval at the time of Plan of Development review and approval
15. **Sod and irrigation.** Each front and side yard (to the edge of the rear of the unit on corner lots adjacent to streets) shall initially be sodded and irrigated, exclusive of mulched flowerbeds and landscaping.
16. **Church Road Buffer.** Along Church Road, east of the Property entrance, a buffer area 25' in width will be provided. Along Church Road, west of the Property entrance, a buffer area 10' in width will be provided. Both buffers shall be planted in accordance with their respective buffer types, as outlined in Table 5310B of the Zoning Ordinance, except to the extent necessary for the entrance road, utility easements, signage, sidewalks, and other purposes requested and specifically permitted, or if required, at the time of Plan of Development. This buffer may be concurrent with the 15' additional RTH setback required per Table 3105 of the Zoning Ordinance and be located partially in common area and partially in the adjacent rear yard setbacks as necessary to fit the required plantings.
17. **Privacy Fence and 10' Buffer Area.**
 - a. A buffer area 10' in width will be provided along the entire northern and eastern property lines meeting the planting requirements of buffer type 10 outlined in Table 5310B of the Zoning Ordinance, or as otherwise approved at the time of Plan of Development. Existing vegetation may be removed.
 - b. A six foot (6') tall opaque privacy fence ("Privacy Fence") shall be installed along the entire northern and eastern property lines of the Property. The Privacy Fence shall be installed within the 10' buffer area.
18. **Private Roads.** The internal roadways shall be private and shall be maintained by a homeowners' association. The private road section shall be in general conformance with the Concept Plan.
19. **Entrance Turn Lane.** The Property owner shall stripe a left turn lane into the entrance within the existing painted median. These improvements shall be completed prior to the issuance of the first certificate of occupancy within the project, unless otherwise approved by the Planning Director at the time of Plan of Development approval.
20. **Garages.** Each townhouse unit shall include a minimum of a one (1) car garage.

21. **Trash.** There shall be no central trash receptacles.
22. **Marketing.** All townhouse units shall be initially marketed for sale as "Owner-occupied".
23. **Street Trees.** A minimum of one (1) street tree will be provided between each string of front-loaded townhouse units and where not otherwise prohibited by required utilities, drainage structures, easements, intersection sight distance or other conflicts. Sufficient trees shall be provided to meet the tree canopy requirements of the Zoning Ordinance.
24. **Best Management Practice.** Above-ground stormwater basins shall be located outside of any landscaped buffer within the Property, except as a landscaping amenity or water related feature, or unless approved at the time of Plan of Development review. Any permanent wet pond must include an aeration feature and meet the requirements of Sec. 24-4306 G.6.
25. **Sound Suppression Measures.** Sound suppression measures with at least a 55 sound coefficient rating shall be provided between units. A cross-sectional detail, reviewed and approved by a certified architect or engineer as to the methodology accomplishing the sound coefficient rating shall be included in the building permit application.
26. **Severance.** The unenforceability, elimination, revision or amendment of any proffer set forth herein, in whole or in part, shall not affect the validity or enforceability of the other proffers or the unaffected part of any such proffer.

The Planning Department has been advised of the action of the Board of Supervisors and will revise its records.

Sincerely,



John A. Vithoukas
County Manager

pc: HJW, LLC
Youngblood Properties LLC
Gary and Rosemary Proffitt
Douglas P. Bragg
Jeffrey P. Geiger
Director, Real Estate Assessment
Henrico County Public Schools

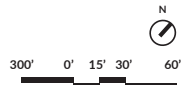


NOTE: Per Proffer #16
A buffer area 10' in width will be provided along the entire northern and eastern property lines and to the left of the entrance meeting the planting requirements of buffer type 10 outlined in Table 5310B of the Zoning Ordinance.

A six foot (6') tall opaque privacy fence ("Privacy Fence") shall be installed along the entire northern and eastern property lines of the Property. The Privacy Fence shall be installed within the 10' buffer area.

CHURCH ROAD

RICHMOND, VA
CONCEPTUAL LAYOUT



DECEMBER 2024

EXHIBIT A

REZ-2024-102035

2 Story Residential Concept Design:

Exhibit B



2 Story Residential Concept Design:



2 Story Residential Concept Design:



2 Story Residential Concept Design:

