

REZ-2024-102409

Zoning

Office
Brookland District





COUNTY OF HENRICO

John A. Vithoulkas
County Manager

April 15, 2025

VPFW Monument MOB Investors, LLC
1519 Summit Avenue, Ste. 102
Richmond, VA 23230

Re: Rezoning Case REZ-2024-102409

Dear Sir/Madam:

The Board of Supervisors at its meeting on April 8, 2025, approved your request to conditionally rezone from R-3 One-Family Residence District to B-2C Business District (Conditional) Parcel 770-737-6328 containing 1.62 acres located at the northeast intersection of Monument Avenue and Lake Avenue, described as follows:

Beginning at a point on the northern line of Monument Avenue at its intersection with the western line of Peachtree Boulevard, said point being N 41°46'49" W, a distance of 0.16 feet from a found monument, said point also being the point of beginning; thence N 53°49'05" W, along said northern line of Monument Avenue, a distance of 243.60 feet to an iron pipe on the eastern line of Lake Avenue; thence N 36°10'55" E, along said eastern line of Lake Avenue and leaving said northern line of Monument Avenue, a distance of 290.00 feet to an iron rod on the southern line of Grace Street; thence S 53°49'05" E, along said southern line of Grace Street and leaving said eastern line of Lake Avenue, a distance of 243.60 feet to an iron rod on the western line of Peachtree Boulevard; thence S 36°10'55" W, along said western line of Peachtree Boulevard and leaving said southern line of Grace Street, a distance of 290.00 feet to the point of beginning and containing \pm 1.622 acres.

The Board of Supervisors accepted the following proffered conditions, dated March 25, 2025, which further regulate the above-described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

1. **Uses Permitted.** Uses on the Property will be limited to uses permitted in the Office Use Category set forth in the Henrico County Zoning Ordinance.
2. **Underground Utilities.** Except for junction boxes, meters and existing overhead utility lines and any utility lines crossing wetlands or otherwise required to be above ground by the utility company, all new utility lines must be underground.
3. **Detached Signage.** Permanent detached signage must be monument style and landscaped. The base of any such monument sign must be constructed of material consistent with the buildings on the Property.
4. **Parking Lot Lighting.** Parking lot lighting fixtures located in the parking lots must not exceed 25 feet in height above grade level. Such parking lot lighting must be produced from concealed sources of light (i.e., shoebox type) and must be reduced to no more than a security level following the close of business operations.

5. **No Burning.** There must be no on-site open burning of stumps, limbs, trees or other debris during site work or the construction of any buildings on the Property.
6. **HVAC.** Heating and air conditioning equipment must be screened from public view at ground level at all boundaries of the Property.
7. **Access.** Signage will be provided at each entrance into the Property prohibiting a left turn onto Peachtree Boulevard and a right turn onto Lake Avenue.
8. **Dumpster Pickup and Parking Lot Cleaning.** Dumpster pickup and unloading and parking lot cleaning (not including individuals sweeping and picking up trash) on the Property shall be limited to the hours of 7:00 a.m. to 7:00 p.m. Monday through Friday and 8:00 a.m. to 6:00 p.m. on Saturday.
9. **Hours of Operation.** Any business on the Property may be open to the public only from 7 a.m. to 7 p.m. Monday through Friday and 8 a.m. to 5 p.m. Saturdays and Sundays.
10. **Trash Receptacles and Dumpsters.** In addition to the requirements of the County Zoning Ordinance, dumpsters and trash receptacles, not including convenience containers, will be screened from public view at ground level at the perimeter of the Property, with brick on three (3) sides complementary to the building it serves. The fourth (4th) side will have a gate or door that is of a substantial and durable material as determined at the time of Plan of Development review. Support posts, gate frames, hinges and latches will be of a sufficient size and strength to allow the gates to function without sagging or becoming a nuisance.
11. **Concept Plan.** The Property will be developed in general conformance with the plan entitled "MONUMENT AVE MEDICAL OFFICE SCHEMATIC LAYOUT", prepared by Silvercore Land Development Consultants, and dated February 20, 2025 and last revised March 5, 2025 (the "Concept Plan")(see case file), which is conceptual in nature and may vary in massing, height, elevations, design, layout, final density, and other details shown therein. The specific design, general layout, elevations and other details may vary from the Concept Plan as required for final plan approval, engineering reasons, design or compliance with governmental regulations, or as approved during any Plan of Development review.
12. **Exterior Elevations.** Any buildings constructed on the Property will be similar to the style and design and generally in conformance with the elevations entitled "5600 MONUMENT AVENUE PROPOSED MEDICAL OFFICE BUILDING" dated October 9, 2024 (6 pages) and attached hereto and by this reference made a part hereof ("Elevations") (see case file), unless otherwise approved at the time of Plan of Development review. The determination of compatibility will be based on scale, materials, form, architectural features, and/or colors. Users will be permitted to include prototypical or corporate identification architectural elements in the design of their building or space. In no case will any building be more than 2 stories or 32 feet in height.

13. **Exterior Materials.**

- a. Any building will have exposed exterior walls (above finished grade and exclusive of trim, windows and doors), of brick, glass, EIFS, stone, stone veneer (including artificial stone), split-face block, wood, fiber-cement siding, or architectural-grade metal panels, precast concrete panels, or a combination of the foregoing, using a complementary color palette of materials, unless different architectural treatment and/or materials are specifically approved at the time of Plan of Development.
- b. No building will be covered with or have exposed to view any painted or unfinished plain concrete block, sheet or corrugated aluminum, asbestos or metal, unless otherwise specifically approved at the time of Plan of Development review. The exposed portion of each exterior wall surface (front, rear and sides) of each building (excluding rooftop screening materials for mechanical equipment) will be similar to the exposed portions of other exterior walls of such building in architectural treatment and materials.

14. **Sidewalk.** A sidewalk, a minimum of five feet in width, will be provided along Monument Avenue, Peachtree Boulevard and Lake Avenue, all as shown on the Concept Plan. Pedestrian access will be provided into the Property as required at the time of Plan of Development review.

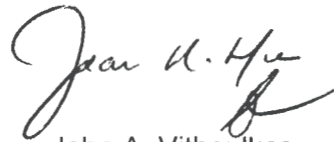
15. **Buffers and Landscaping.** Landscaping on the Property will be provided as more particularly set forth on the landscape plan entitled "MONUMENT AVE MEDICAL OFFICE, LANDSCAPE PLAN, BROOKLAND DISTRICT, HENRICO COUNTY, VIRGINIA", prepared by Silvercore, and dated February 20, 2025 and last revised March 5, 2025 (the "Landscape Plan")(see case file), subject to the following:

- a. Any buffer within the Property may include supplemental landscaping, berms and other purposes as approved at the time of landscape plan review. Access drives (including any sight lines), sidewalks, utility easements (including drainage facilities, and fiber and telecommunication lines and related facilities), fencing/walls adjacent to any roads or drives, and signage will be permitted within any such buffer; provided, any such road, drive or utility easements (other than existing electric power utility lines and easements) will be extended generally perpendicular through such buffer unless otherwise approved at the time of Plan of Development review.
- b. The areas of the Property fronting Grace Street will be kept as a natural and landscaped buffer, as generally shown on the Landscape Plan, and planted at a minimum to the level of a transitional buffer 10. An opaque fence, a minimum of 6 feet in height, will be provided on the inside of such buffer as more particularly shown on the Landscape Plan.
- c. The areas of the Property fronting Peachtree Boulevard will be kept as a landscaped buffer, as generally shown on the Landscape Plan, and planted at a minimum to the level of a transitional buffer 10.
- d. The areas of the Property fronting Monument Avenue will be kept as a landscaped buffer, as generally shown on the Landscape Plan, and planted at a minimum to the level of a transitional buffer 10.

- e. The areas of the Property fronting Lake Avenue will be kept as a landscaped buffer, as generally shown on the Landscape Plan, and planted as required at the time of landscape plan review.
16. **Construction Hours.** Exterior construction activities will be permitted only between the hours of 7:30 a.m. and 7:00 p.m. Monday through Friday and 9 a.m. and 4:00 p.m. on Saturdays, except in emergencies or where unusual circumstances require extending the specific hours in order to complete work such as concrete pours and utility connections. Signs, in both English and Spanish, stating the above-referenced provisions, will be posted and maintained at all construction entrances to the Property prior to any land disturbance activities thereon.
17. **Severance.** The unenforceability, elimination, revision or amendment of any proffer set forth herein, in whole or in part, will not affect the validity or enforceability of the other proffers or the unaffected part of any such proffer.

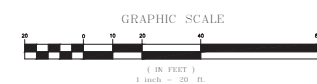
The Planning Department has been advised of the action of the Board of Supervisors and will revise its records.

Sincerely,

A handwritten signature in black ink, appearing to read "John A. Vithoukas".

John A. Vithoukas
County Manager

pc: The Church of Jesus Christ of Latter-Day Saints, a Utah Corp.
Andrew M. Conklin
Director, Real Estate Assessment

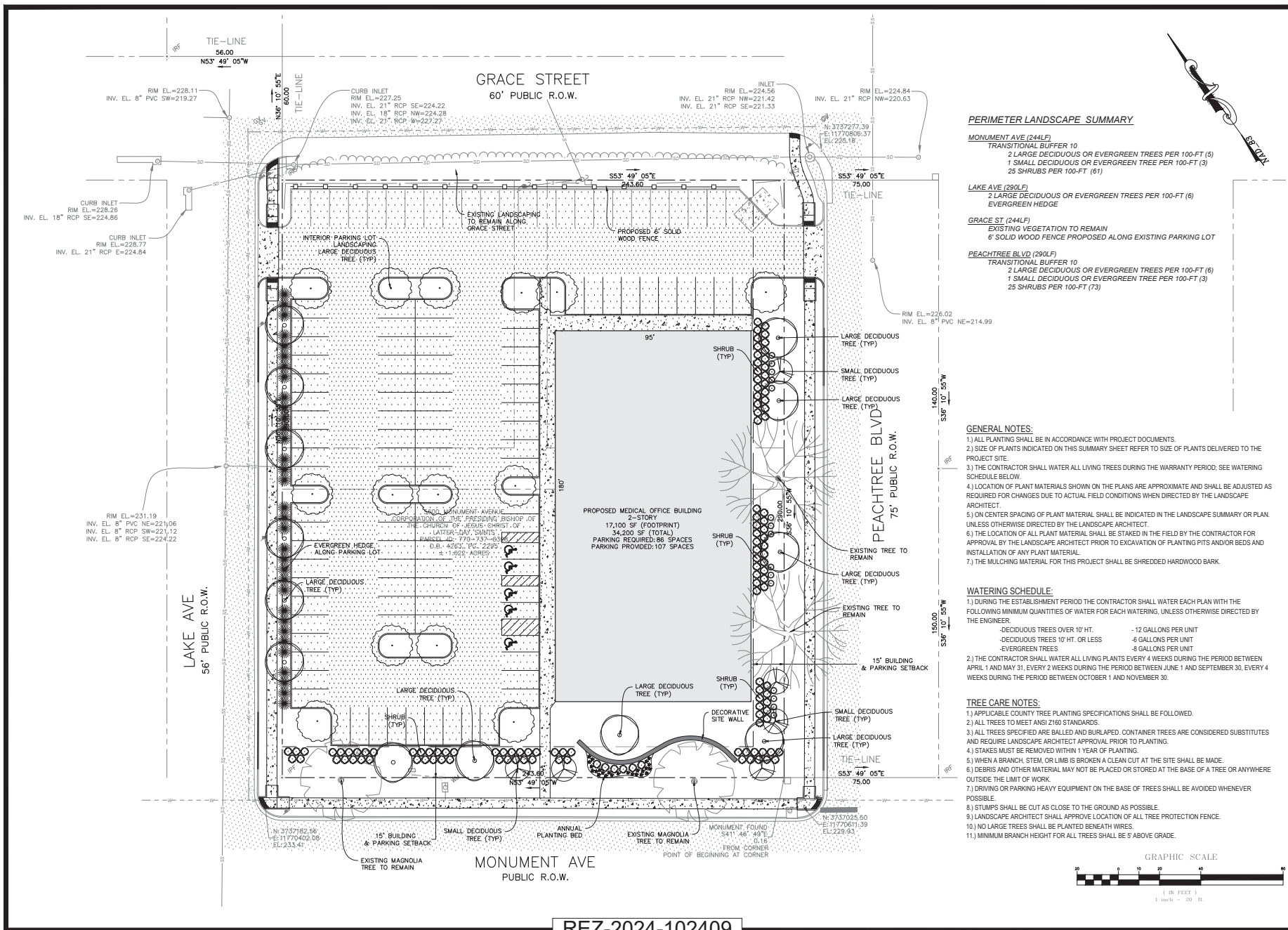


SHEET
1
JOB #:240709



REV.	DATE	DESCRIPTION
1	3/20/25	REVISIONS

DESIGN BY: Steve King
CHECKED BY: Jeff Staub
DRAWING SCALE: 1"=20'
DATE: 2/20/2025



REZ-2024-102409



virginia physicians
FOR WOMEN

5600 Monument Avenue
Proposed Medical Office Building

REZ-2024-102409

10/9/2024





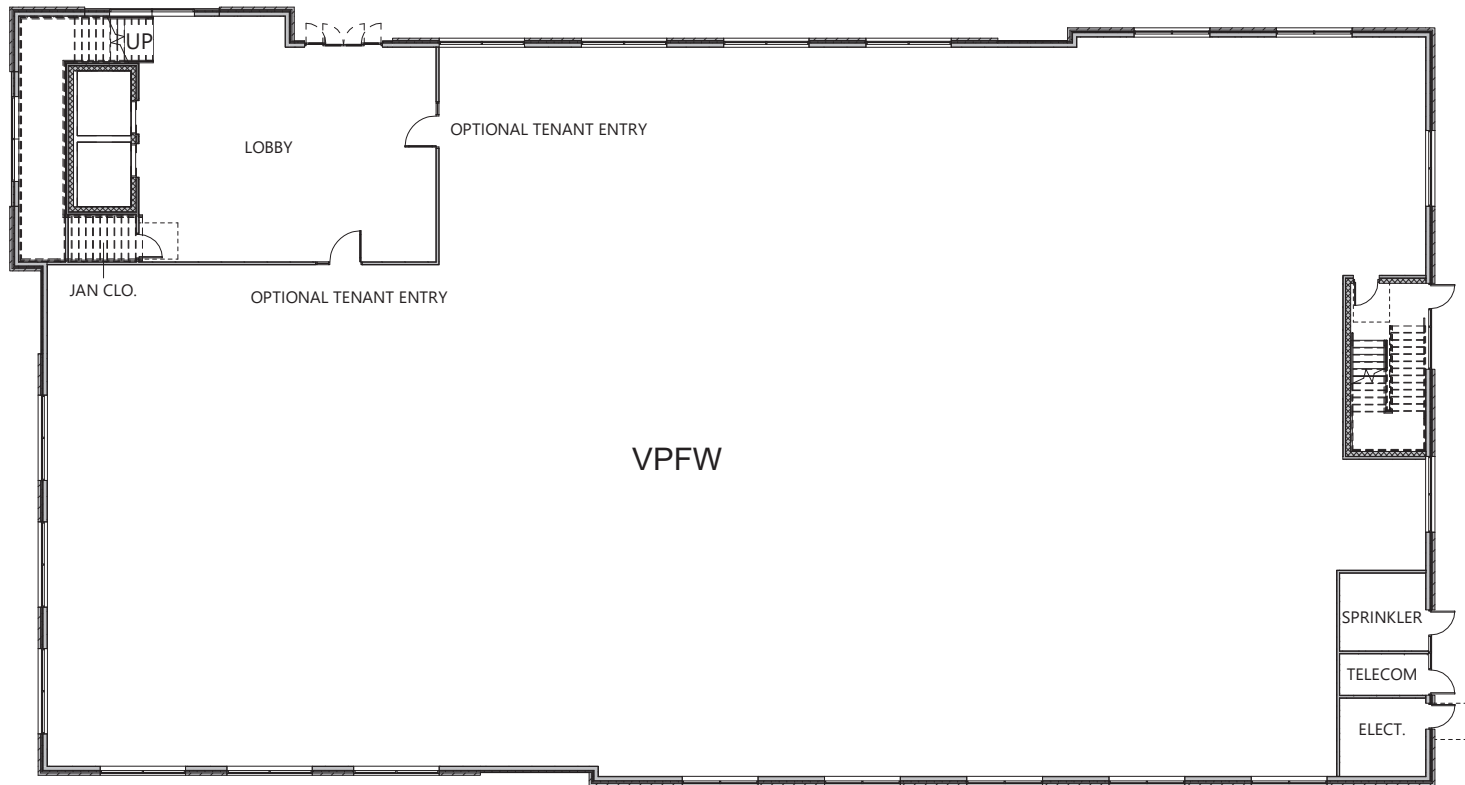
virginia physicians
FOR WOMEN

5600 Monument Avenue Proposed Medical Office Building

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Level One



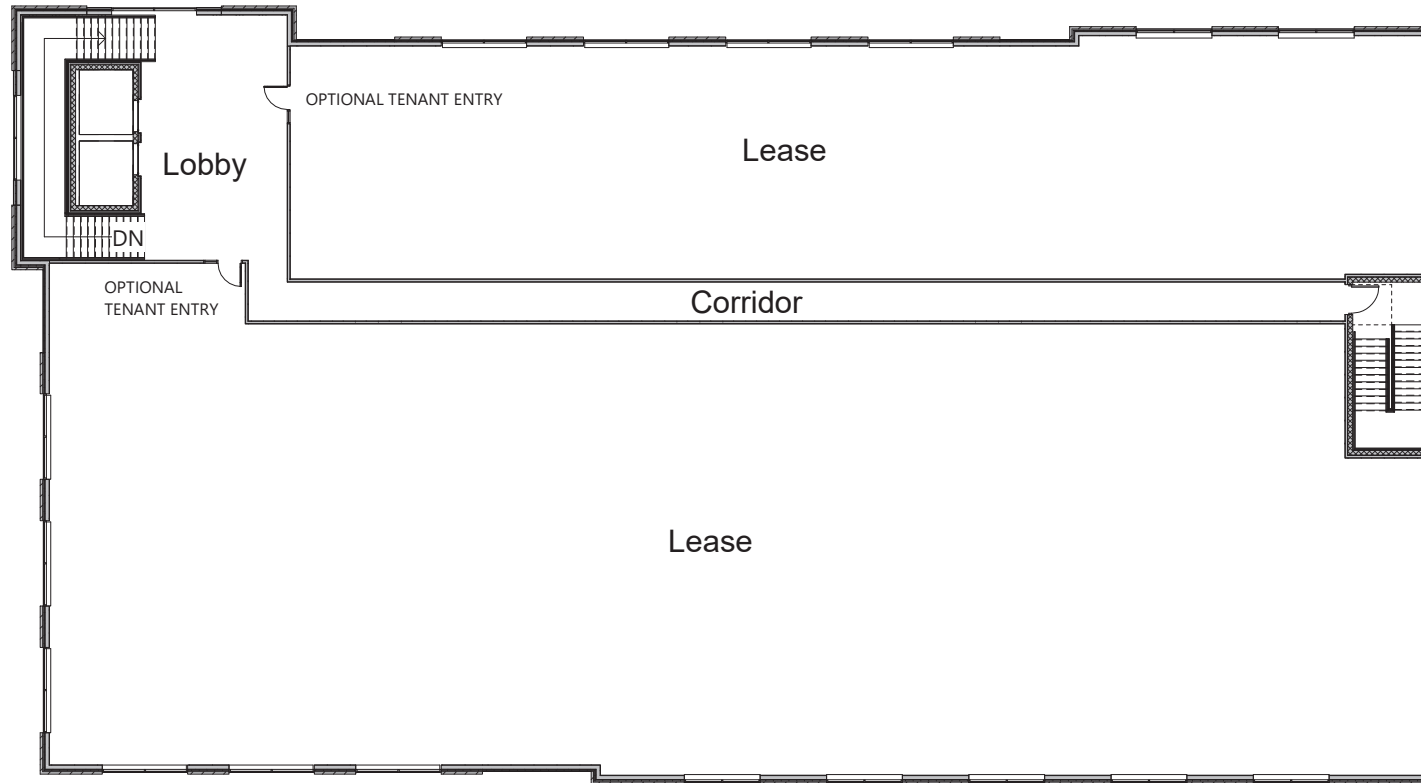
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Level Two



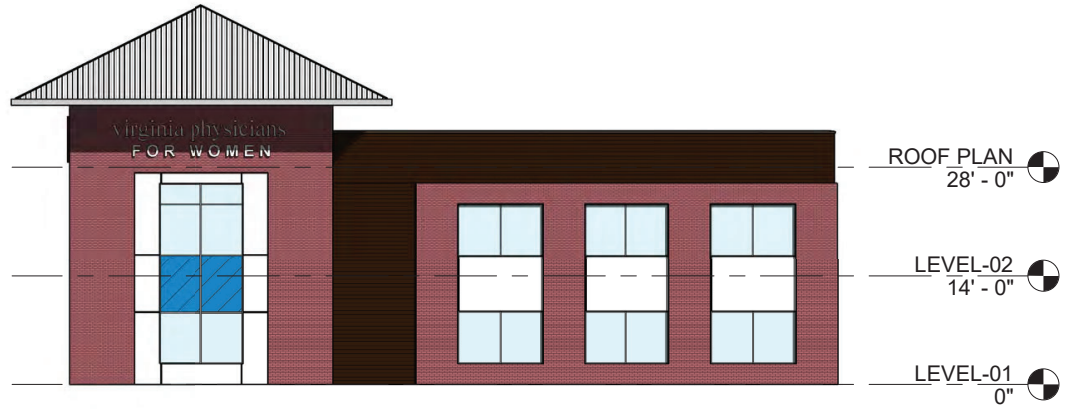
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Monument Ave Elevation



Lake Ave Elevation



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Proposed Medical Office Building

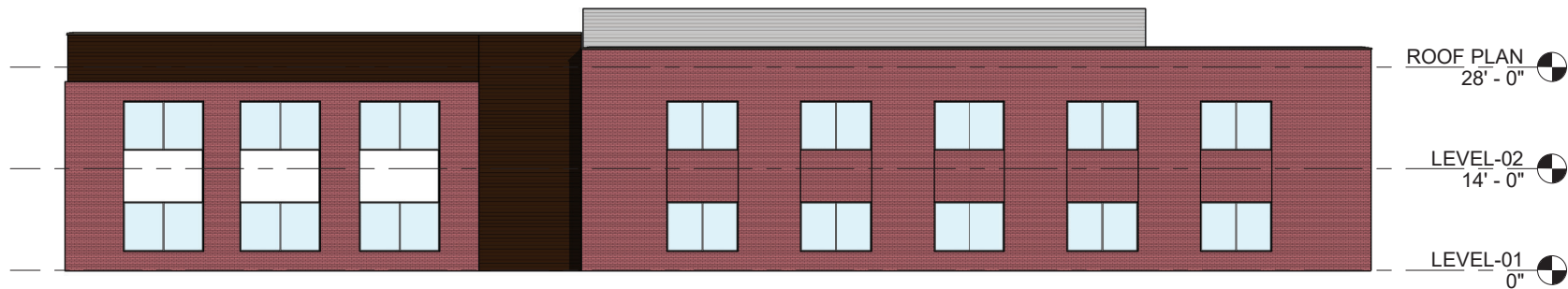
REZ-2024-102409

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West Grace Street Elevation



Peach Tree Blvd Elevation



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