

REZ-2024-102498
Zoning
 Single-Family Residential
 Fairfield District

400 Feet

PS November 2024 Ref 783-749-1680



COMMONWEALTH OF VIRGINIA
COUNTY OF HENRICO

February 18, 2025

John A. Vitoulkas
County Manager

The Kittrell Company
c/o David Hamnett
6327 Mallory Drive
Richmond, VA 23226

Re: Rezoning Case REZ-2024-102498

Dear Mr. Hamnett:

The Board of Supervisors at its meeting on February 11, 2025, approved your request to conditionally rezone from R-2 One-Family Residence District to R-4C One-Family Residence District (Conditional) Parcels 783-749-1680 and 783-749-2044 containing 8.40 acres located on the south line of Hilliard Road (State Route 161) approximately 700' east of its intersection with Club Road, described as follows:

"PARCEL A" LEGAL DESCRIPTION:

Beginning at a point on south line of Hilliard Road, said point being 700'± east of the eastern intersection of Club Road, labeled "P.O.B." and more particularly described as follows: Thence N85°32'45"E, 200.00'; thence S04°27'15"E, 325.00'; thence N85°32'45"E, 251.50'; thence N04°27'15"W, 25.00'; thence N85°32'45"E, 80.00'; thence S04°27'15"E, 225.00'; thence S08°25'15"W, 179.51'; thence S85°32'45"W, 715.10'; thence N17°19'45"W, 179.51'; thence N85°32'45"E, 40.00'; thence N04°27'15"W, 325.00'; thence N85°32'45"E, 123.60'; thence S04°27'15"E, 100.00'; thence N85°32'45"E, 100.00'; thence N04°27'15"W, 300.00' to the point and place of beginning, and containing 8.40 acres of land.

The Board of Supervisors accepted the following proffered conditions, dated January 7, 2025, which further regulate the above-described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

1. **Concept Plan.** If approved by the County, the lots and roads will be platted generally as shown on the "Conceptual Zoning Plan" by Bay Companies, Inc. dated January 3, 2025 ("Conceptual Plan") attached hereto as Exhibit A (see case file).
2. **Density.** No more than eighteen (18) residential lots shall be constructed on the property.
3. **Finished Floor Area.** All dwellings within the Property shall have a minimum finished floor area of at least 1,600 square feet, exclusive of garages, decks, and open porches.

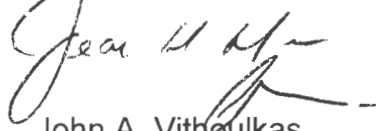
4. **Foundations.** All finished floor areas, except basements, shall be constructed on a crawl space. No finished floor areas, except basements, shall be built on a slab on grade. The exterior portions of all residential foundations, including the exterior portion of foundations below the first level which is visible above grade, shall be covered with brick, stone, or cultured stone.
5. **Garages and Driveways.** No garage doors shall be flat panel design. At least 75% of the homes shall have a garage. Driveways shall be constructed of either cobblestone, brick, asphalt, pre-cast pavers, concrete, stamped aggregate, or other similar material. Garages may be one-car or two-car. For homes with front-loading two-car garages, the driveway shall be two cars wide from the garage door(s) to the street. For homes on corner lots with side-loading two-car garages, the driveway shall be two cars wide from the garage door(s) to the street. All lots shall have a driveway. Garages may be front-loading or side-loading on any non-corner lot.
6. **Chimneys.** The exposed portions of any fireplace chimney shall be constructed of brick, stone, or cementitious siding. The exposed bases of all chimneys shall be of the same material as the building foundations. The exposed portion of a flue for a direct-vent gas fireplace shall be constructed of the same material used on the adjacent siding and shall be built on a foundation that is constructed of the same material as the adjacent foundation.
7. **Cantilevering.** There shall be no cantilevered treatment of any architectural features on the first floor. Items on the upper floors such as balconies, decks, bump-outs, box or bay-type windows may be cantilevered, but shall include decorative support corbels or brackets.
8. **Exterior Building Material.** All new homes shall have exposed walls clad with brick, stone, cultured stone, cementitious siding, vinyl siding, or a combination of the foregoing, or as otherwise approved at the time of subdivision review. The property owner shall be responsible for demonstrating compliance with this provision at building permits. Shingles shall have architectural or dimensional quality. Homes with the same elevations side by side shall not be permitted. On corner lots where the side elevation is visible from the street, the side elevation facing the street shall have a minimum of two (2) windows.
9. **Architecture.** Homes shall be generally consistent with elevations illustrated in Exhibit A (see case file), or as otherwise approved at the time of subdivision review.
10. **Underground Utilities.** All proposed utilities, except for junction boxes, meters, pedestals, transformers, transmission mains, similar elements, and existing overhead lines, shall be placed underground, unless technical or environmental reasons require otherwise or unless not otherwise approved by the applicable utility company.

11. **Sidewalks.** There shall be sidewalks of a minimum width of five (5) feet along one side of all roads within the Project.
12. **Landscaping.** There shall be one (1) tree provided in the front yard of each lot.
13. **Residential Lights.** Each lot shall have one (1) decorative post light.
14. **Construction Hours.** The hours of exterior construction activities, including operation of bulldozers and other earth moving equipment, shall be between 7:00 am and 7:00 pm Monday through Friday and between 8:00 am and 5:00 pm on Saturday, except in emergencies or where unusual circumstances require extending the specific hours in order to complete work such as concrete pours and utility connections. Hours shall be posted in both English and Spanish during construction.
15. **Buffer.** A minimum 25' no ingress/egress landscape buffer shall be provided along Hilliard Road and shall be planted to a minimum of the transitional buffer 25 requirements. Existing trees and bushes can be used to meet the minimum TB25 requirements. The westernmost existing driveway entrance serving Lot 1 can remain, to allow Lot 1 to access Hilliard Road across the buffer. The easternmost existing driveway entrance shall be removed.
16. **Right of Way Dedication.** Right of Way on the south side of Hilliard Road shall be dedicated to VDOT. A sidewalk shall be provided along the Hilliard Road Frontage.
17. **Protective Covenants.** Prior to conveyance of the first unit, restrictive covenants describing development controls and maintenance responsibilities for all common areas within the development, shall be recorded in the Clerk's Office of the Circuit Court of Henrico County, Virginia. In addition, there shall be a Homeowner's Association of the owners of the units on the property that shall be responsible for enforcement of the restrictive covenants.
18. **Severability.** The unenforceability, elimination, revision or amendment of any proffer set forth herein, in whole or part, shall not affect the validity or enforceability of any other proffer or the unaffected portion of a proffer.
19. The owner, prior to subdivision plat recordation, shall apply to rezone such portions of the property that include a one-hundred (100) year flood plain as determined by definitive engineering studies approved by the Department of Public Works, to a C-1 Conservation District.

The Kittrell Company
February 18, 2025
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The Planning Department has been advised of the action of the Board of Supervisors and will revise its records.

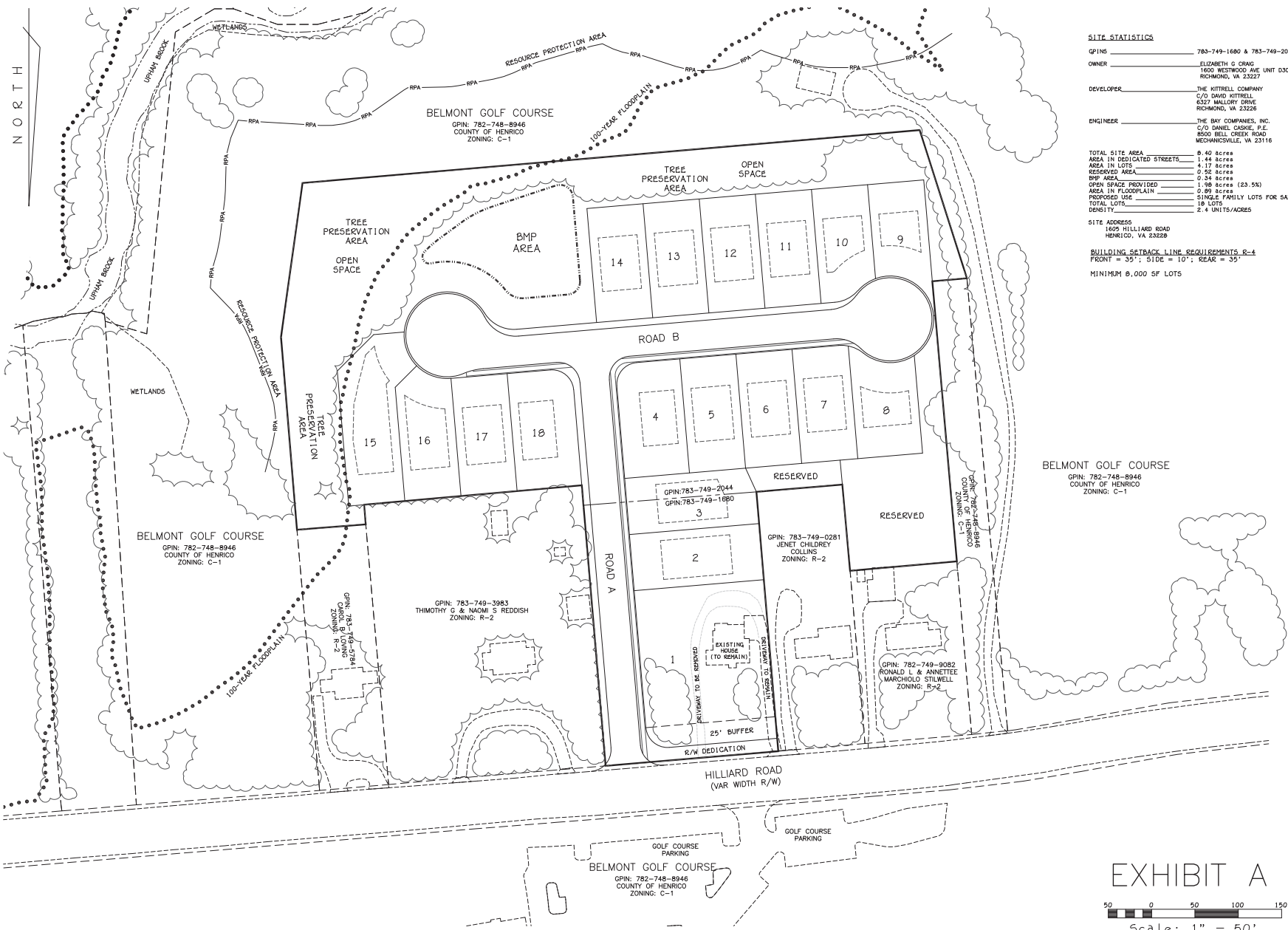
Sincerely,

A handwritten signature in black ink, appearing to read "John A. Vitoulkas", written in a cursive style.

John A. Vitoulkas
County Manager

pc: Elizabeth G. Craig
Director, Real Estate Assessment
Henrico County Public Schools

NORTH



SITE STATISTICS

GPIINS 783-749-1680 & 783-749-2044
 OWNER ELIZABETH G CRAIG
 1600 WESTWOOD AVE UNIT D303
 RICHMOND, VA 23227

DEVELOPER THE KITRELL COMPANY
 C/O DAWD KITRELL
 6327 WALLYORY DRIVE
 RICHMOND, VA 23226

ENGINEER THE BAY COMPANIES, INC.
 C/O DANIEL OSKINE, P.E.
 8500 BELL CREEK ROAD
 MECHANICSVILLE, VA 23116

TOTAL SITE AREA 8.40 Acres
 AREA IN DEDICATED STREETS 1.44 Acres
 AREA IN LOTS 4.17 Acres
 RESERVED AREA 0.92 Acres
 BMP AREA 0.34 Acres
 OPEN SPACE PROVIDED 1.98 Acres (23.5%)
 AREA IN FLOODPLAIN 0.89 Acres
 PROPOSED USE SINGLE FAMILY LOTS FOR SALE
 TOTAL LOTS 18 LOTS
 DENSITY 2.4 UNITS/ACRES

SITE ADDRESS 1605 HILLIARD ROAD
 HENRICO, VA 23228

BUILDING SETBACK LINE REQUIREMENTS R-4
 FRONT = 35'; SIDE = 10'; REAR = 35'

MINIMUM 8,000 SF LOTS

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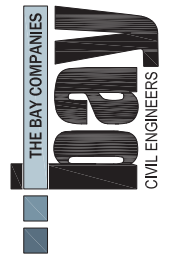
FILED: 24083_Zoning Exhibit A

DATE: November 12, 2024

REVISED: January 3, 2025

REVISED:

REVISED:



8500 BELL CREEK ROAD
 MECHANICSVILLE, VA 23116
 (804) 569-7000
 FAX: (804) 569-7061

PROJECT:

Belmont Green

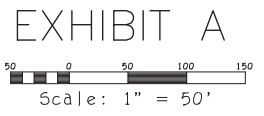
Fairfield District
 Henrico County, Virginia

SHEET:

Conceptual
 Zoning
 Plan

SHEET NO: C1

JOB NO. 24083



REZ-2024-102498



Belmont Green-elevation A



Belmont Green-elevation B



Belmont Green-elevation C



Belmont Green-elevation D

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FILED: 24083_Zoning Exhibit A
 DATE: November 12, 2024
 REVISED:
 REVISED:



8500 BELL CREEK ROAD
 MECHANICSVILLE, VA 23116
 (804) 569-7060
 FAX: (804) 569-7061

PROJECT:
1605 Hilliard Road
 R-4 LOTS
 Fairfield District
 Henrico County, Virginia

SHEET:
 Building Elevations

SHEET NO: **C2**
 JOB NO. 24083

REZ-2024-102498

www.thebaycompanies.com

EXHIBIT A