



COUNTY OF HENRICO

October 21, 2025

John A. Vithoulkas
County Manager

RJM Land LLC
17242 Tulip Poplar Rd
Beaverdam, VA 23015

Re: Rezoning Case REZ-2025-100597

Dear Mr. Beckner and Mr. Basch:

The Board of Supervisors at its meeting on October 14, 2025, approved your request to conditionally rezone from A-1 Agricultural District and RTHC Residential Townhouse District (Conditional) to R-5BC General Residence District (Conditional) Parcel 809-728-8150 and part of Parcels 809-728-8732, 810-727-1699 and 810-728-3149 containing 7.713 acres located on the east line of N. Laburnum Avenue approximately 1,500 feet south of its intersection with Creighton Road, as described below:

Beginning at a point on the eastern boundary of the right of way line of N. Laburnum Avenue, said point being 0.29± Mi. south of the point of intersection of the southern boundary of the right of way line of Creighton Road and the eastern boundary of the right of way line of N. Laburnum Avenue; Thence leaving the eastern boundary of the right of way line of N. Laburnum Avenue and proceeding in a northeasterly direction the following seventeen (17) courses and distances:

- 1) N 79°48'31" E 550.51 feet to a point;
- 2) Thence N 06°38'49" W 228.49 feet to a point;
- 3) Thence S 40°00'52" E 58.92 feet to a point;
- 4) Thence S 38°02'05" E 40.28 feet to a point;
- 5) Thence S 15°13'09" E 56.99 feet to a point;
- 6) Thence S 04°46'15" W 22.73 feet to a point;
- 7) Thence S 71°20'14" E 65.54 feet to a point;
- 8) Thence N 45°01'26" E 43.97 feet to a point;
- 9) Thence S 57°40'47" E 57.07 feet to a point;
- 10) Thence N 58°56'12" E 33.22 feet to a point;
- 11) Thence S 80°03'15" E 69.96 feet to a point;
- 12) Thence S 70°15'34" E 34.28 feet to a point;
- 13) Thence S 77°49'42" E 94.21 feet to a point;
- 14) Thence S 14°21'23" E 238.25 feet to a point;
- 15) Thence N 89°39'13" W 161.47 feet to a point;
- 16) Thence S 59°36'08" W 406.47 feet to a point;
- 17) Thence S 59°36'08" W 273.16 feet to a point on the eastern boundary of the right of way line of N. Laburnum Avenue;

Thence proceeding along the eastern boundary of the right of way line of N. Laburnum Avenue in a northwesterly direction the following five (5) courses and distances:

- 1) Along a curve to the left having a radius of 2914.79 feet, a delta angle of 01°47'39" and an arc length of 91.27 feet to a point;
- 2) Thence along a curve to the left having a radius of 2914.79 feet, a delta angle of 03°49'00" and an arc length of 194.16 feet to a point;
- 3) Thence N 32°05'32" W 173.37 feet to a point;
- 4) Thence N 32°05'32" W 48.65 feet to a point;
- 5) Thence along a curve to the right having a radius of 1860.00 feet, a delta angle of 00°29'32" and an arc length of 15.98 feet to a point, said point being the Point and Place of Beginning, containing 7.713 acres, more or less.

The Board of Supervisors accepted the following conditions, dated October 1, 2025, which further regulate the above-described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

1. **Conceptual Plan:** The Property will be developed in general conformity with the concept plan exhibit entitled "961 LABURNUM AVENUE, Henrico County, Virginia", dated September 29, 2025, and prepared by VHB (the "Concept Plan") and attached as Exhibit A. The exact locations, footprints, configurations, size, and details of the lots, roads, common areas, open spaces and other improvements shown on the Concept Plan are illustrative and may be subject to change and may be updated from time to time as required for final engineering design, compliance with governmental regulations, such as environmental standards, or as otherwise specifically approved by the Director of Planning at the time of site plan review.
2. **Landscaping:**
 - a. Street trees shall be provided along each side of the internal street as shown on the Concept Plan and to meet the tree canopy requirements of the zoning ordinance in locations where not otherwise prohibited by required utilities, drainage structures, easements, intersections sight distance or other conflicts.
 - b. Foundation plantings shall be required along the entire front and corner side (when facing a public road) facade(s) of all dwelling units. Foundation planting beds shall be a minimum of four (4) feet wide from the unit foundation. The plant materials used should visually soften the unit corners and complement the architecture at their mature size.
 - c. Sod and Irrigation will be provided on the front, side, and rear yard of each residential unit, exclusive of mulched flowerbeds and landscaping.

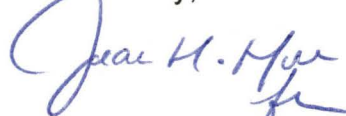
- d. The area of the Property fronting on Laburnum Avenue and designated on the Concept Plan as "35' FRONT YARD SETBACK PLUS 15' MTP SETBACK" shall be planted with landscaping equivalent of a Transitional Buffer 25, at a minimum.
- e. The area of the Property designated on the Concept Plan as "10.00' TRANSITIONAL BUFFER TB10" shall be planted with landscaping equivalent of a Transitional Buffer 10, at a minimum.
3. **Elevations**: Residential units will be in general conformity with the elevations entitled "Exhibit B-Single Family Home Conceptual Elevations" prepared by Style Craft Homes, dated August 5, 2025.
4. **Minimum Home Size**: All homes shall have a minimum of 1,250 square feet of finished floor area.
5. **Density**: There will be no more than 32 single family detached dwelling units developed on the Property.
6. **Foundations**: The exposed exterior portions of all foundations below the first-floor level shall be finished with brick, brick veneer, stone, stone veneer, or cultured stone. On the front, side and rear elevations of each building, there shall be a minimum of twelve (12) inches of brick, brick veneer, stone, stone veneer, or cultured stone visible above grade. For reasons associated with the required site grading, the requirements of this proffer may be modified or waived by the Director of Planning for individual side or rear facades.
7. **Building Materials**: All buildings shall have exposed exterior walls (above grade and exclusive of trim, which may be metal, wood or vinyl) of stone, cultivated stone, stone veneer, brick, brick veneer, E.I.F.S., cementitious siding (e.g. Hardi-Plank), high grade vinyl (a minimum of 0.042" nominal thickness as evidenced by manufacturer's printed literature), or a combination of the foregoing unless different architectural treatment and/or materials are specifically approved with respect to the exposed portion of any such wall, at the time of Plan of Development review.
8. **Streets**: Community streets for the development shall be public and designed to the Henrico County Design Standards. The internal subdivision roads and alleys will be constructed in a similar style as the Concept Plan (Exhibit A).

9. **Easement Dedication**: An easement will be established for a future traffic signal along N. Laburnum during the subdivision plan process and will be dedicated by subdivision plats approved pursuant to the Zoning and/or Subdivision Ordinance.
10. **Sidewalks**: Sidewalks are required along all street frontages and will be five (5) feet in width and separated from the street by a four (4) foot wide planting strip.
11. **Amenities**: Recreational amenities will include at least one gathering area containing two benches or other outdoor furniture, and a walking trail, both as shown on the Concept Plan, unless otherwise approved at the time of subdivision review.
12. **Monument Sign**: A front entrance monument sign with solar powered down lighting and shrubbery similar in nature as to what is illustrated on Exhibit C entitled "STYLE OF POSSIBLE NEIGHBORHOOD SIGN", will be provided at the neighborhood entrance adjacent to N. Laburnum Avenue.
13. **Off Street Parking**: All homes shall have a minimum of a two car, rear-loaded driveway. Garage shall be optional and rear loaded.
14. **Clearing Limitation**: Where practical, the clearing of trees shall be limited to areas necessary for dwellings, driveways, utilities, entrance, road improvements, drainage and stormwater management requirements, or when necessary for common areas.
15. **Underground Utilities**: Except for junction boxes, meters, pedestals, transformers and existing overhead utility lines, and any utility lines crossing wetlands, if any, all utility lines shall be underground.
16. **Construction Activity**: Exterior construction will only occur between 7:00am and 7pm, Monday through Friday, and between 8:00am to 4:00pm on Saturday, with the exception of emergencies or where unusual circumstances require extending the specific hours in order to complete work such as concrete pours or utility connections. No exterior construction shall occur on Sunday. All clearing, grading and construction contracts will contain these provisions. Signs, in both English and Spanish, stating the above provisions shall be posted on site and maintained at all entrances to the property prior to land disturbance activity.

17. **Conservation Areas**: The Owner will, prior to subdivision plat recordation for areas that include flood plains, special flood hazard areas and existing undisturbed wetlands, apply to rezone such portions of the Property to a C-1 Conservation District. The location and limits of such portions(s) of the said Property will be established by subdivision plats approved pursuant to the Zoning and/or Subdivision Ordinance.
18. **Protective Covenants**: Prior to or concurrent with the final approval of the initial subdivision or plan of development for the Property, a document setting forth covenants (the "Covenants") shall be recorded in the Clerk's Office of the Circuit Court of Henrico County, Virginia, setting forth controls on the development and maintenance of the Property and establishing an owners' association (the "Association"). The Association will be limited to the Property. The Covenants shall provide for standards of uniform maintenance of individual sites, common areas, open space, landscaping and private streets and alleys. The Association shall establish uniform rules related to the standards for approval by the Association of improvements within the Property.
19. **Severance**: The unenforceability, elimination, revision or amendment of any proffer set forth herein, in whole or in part, will not affect the validity or enforceability of the other proffers or the unaffected part of any such proffer.

The Planning Department has been advised of the action of the Board of Supervisors and will revise its records.

Sincerely,



John A. Vithoukas
County Manager

pc: EJD Associates Inc c/o Linda Paret
Robert J King Jr. Trustee
Riley B Lowe, Trustee
c/o Robert J King Jr.
Andrew M. Condlin
Henrico County Public Schools
Director, Real Estate Assessment

Exhibit A



CONCEPT PLANT SCHEDULE

- LARGE DECIDUOUS TREE
- SMALL DECIDUOUS TREE
- SMALL EVERGREEN TREE
- SHRUB



961 Laburnum Avenue

Henrico County, Virginia

No.	Revision	Date	Revised

Designed by	MJW	Checked by	RJB
Drawn by		Date	09/29/2025

Review

NOT FOR CONSTRUCTION

Illustrative Rendering

Drawing Number

L1.00

Sheet 1 of 1

Project Number
200458

REZ-2025-100597

EXAMPLES ONLY

901 (Portion), 961, 981 & 1101 N. Laburnum Avenue R-5B Re-Zoning Application

August 5, 2025

Exhibit B - Single Family Home Conceptual Elevations



REZ-2025-100597



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1166



y show modified designs.

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Exhibit C

STYLE OF POSSIBLE NEIGHBORHOOD SIGN

