

**REZ-2025-101469**

**Zoning**

**Single Family Residential**

**Fairfield District**

400

Feet



PS June 2025

Ref. 781-761-9506



# COUNTY OF HENRICO

October 21, 2025

John A. Vithoulkas  
County Manager

Eric Walker  
5319 Wythe Ave  
Henrico, VA 23226

Re: Rezoning Case REZ-2025-101469

Dear Mr. Walker:

The Board of Supervisors at its meeting on October 14, 2025, approved your request to conditionally rezone from B-3 Business District to R-4C One-Family Residence District (Conditional) Parcels 781-761-9506 and 781-761-9700 containing 0.3655 acres located at the northwest intersection of Mountain Road and North Run Road, described as follows:

GPIN: 781-761-9506

Commencing at the Point of Beginning; thence South 29° 07' 58" East, a distance of 71.44 feet to the beginning of a curve tangent to said line; thence southeasterly a distance of 8.43 feet along the curve concave to the northeast, having a radius of 4814.00 feet and a central angle of 0° 06' 01" to a point of cusp; thence South 78° 19' 43" West, a distance of 137.96 feet; thence North 08° 39' 26" West, a distance of 46.20 feet; thence North 63° 15' 08" East, a distance of 115.54 feet to the Point of Beginning. Containing 0.1789 ACRES, more or less.

GPIN: 781-761-9700

Commencing at the Point of Beginning; thence from the beginning of Left curve from which the radius point bears North 60° 46' 01" East, southeasterly a distance of 28.98 feet along the curve concave to the northeast, having a radius of 4814.00 feet and a central angle of 0° 20' 42"; thence South 20° 47' 45" West, a distance of 44.63 feet to the beginning of a curve concave to the north having a radius of 542.96 feet and a central angle of 1° 29' 20" and being subtended by a chord which bears South 70° 16' 33" West 14.11 feet; thence westerly along said curve, a distance of 14.11 feet; thence South 89° 09' 44" West, a distance of 111.97 feet; thence North 10° 16' 54" West, a distance of 46.20 feet; thence North 78° 19' 43" East, a distance of 137.96 feet to the Point of Beginning. Containing 0.1866 ACRES, more or less.

The Board of Supervisors accepted the following conditions, dated September 11, 2025, which further regulate the above-described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

1. **Density.** There shall be no more than 1 unit.

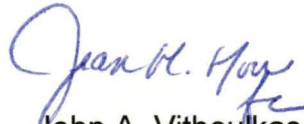


2. **Access.** There shall be no vehicular access onto Mountain Road.
3. **Elevation.** The front elevation of the building shall be consistent with the rendering attached as Exhibit A (see case file), unless otherwise requested by the Owner and specifically approved by the Director of Planning.
4. **Minimum Finished Area.** All homes shall be a minimum of 1,600 square feet.
5. **Foundations.** Foundations and front porch piers shall be finished with brick. The house shall be on a crawl-space foundation, except for garages and basements.
6. **Cantilevering.** No home shall have cantilevered treatments except for bay windows.
7. **Landscaping.** There shall be (2) 2.5" trees planted. One in the front yard and one in the side yards.
8. **Driveways.** All driveways shall be paved with asphalt, concrete, pre-cast pavers or other similar materials approved by the Director of Planning.
9. **Underground Utilities.** Except for junction boxes, meters, pedestal, transformers and existing overhead utility lines, utility connections will be underground unless otherwise required due to environmental factors.
10. **Materials.** The exterior wall surface of all homes shall be constructed of brick, stone, hardiplank or vinyl covering (with the exceptions of the foundation and trim).
11. **Sidewalk.** There shall be a 5' sidewalk installed along North Run Road.
12. **Hours of Construction.** The hours of exterior construction, including operation of bulldozers and other earthmoving equipment will be between 7:00 a.m. and 7:00 p.m. Monday through Friday, between 8:00 a.m. and 5:00 p.m. on Saturdays and none on Sundays provided, however, except emergencies or where unusual circumstances require extending the specific hours in order to complete work such as concrete pours or utility connectors. Signs, in both English and Spanish, stating the above referenced provisions shall be posted and maintained at all entrances to the Property prior to any land disturbances activities thereon.
13. **Severance.** The unenforceability, elimination, revision or amendment of any proffer set forth herein, in whole or in part, shall not affect the validity or enforceability of the other proffers or the unaffected part of any such proffer.

Eric Walker  
October 21, 2025  
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The Planning Department has been advised of the action of the Board of Supervisors and will revise its records.

Sincerely,



John A. Vithoulkas  
County Manager

pc: Rodney Lee Jackson  
Lloyd Harvey Jackson  
Henrico County Public Schools  
Director, Real Estate Assessment

# Exhibit A



RIDGE HOMES, LLC.  
(804) 641-2369

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