





COMMONWEALTH OF VIRGINIA

COUNTY OF HENRICO

October 21, 2025

John A. Vithoulkas  
County Manager

Staples Mill Road Partners, LLC  
c/o Daniel Hargett, Manager  
3540 Floyd Avenue  
Richmond, Virginia 23221

Re: Rezoning Case REZ-2025-101721

Dear Sir:

The Board of Supervisors at its meeting on October 14, 2025, approved your request to conditionally rezone from B-2C Business District (Conditional) to C-1C Conservation District (Conditional) part of Parcel 772-749-6261 containing 2.70 acres located on the west line of Staples Mill Road (U.S. Route 33) approximately 300' south of its intersection with Bremner Boulevard, described as follows:

Beginning at a point at the intersection of the west line of Staples Mill Road (U.S. Route 33) and the north line of Dublin Street (unimproved); thence along the north line of Dublin Street S 70° 07' 00" W 382.00' to the true point of beginning; thence continuing along the north line of Dublin Street S 70° 07' 00" W 330.13' to a point; thence leaving the north line of Dublin Street N 02° 50' 00" W 311.86' to a point; thence N 14° 05' 15" W 307.08' to a point; thence N 78° 19' 00" E 108.14' to a point; thence S 23° 30' 00" E 348.88' to a point; thence N 66° 30' 00" E 63.34' to a point; thence S 23° 30' 00" E 244.53' to the true point of beginning and containing 2.702 acres.

The Board of Supervisors accepted the following conditions, dated August 27, 2025, which further regulate the above-described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

1. **Tree Preservation Area.** All trees on the area of the Property designated as "Preservation Area" in the case REZ2022-00031 (the "Preservation Area") will be retained in their natural state and no development will be permitted therein. The Preservation Area will have a minimum depth of 100 feet. Notwithstanding the foregoing, as required by the County at the time of Plan of Development review, and as required by, and not in addition to the requirements of, REZ2022-00031, an opaque fence or wall a minimum of eight feet in height shall be provided along the eastern edge of the Preservation Area as shown on the Concept Plan. Such fence or wall shall be constructed of composite material (such as Trex or Simtek), pre-cast concrete, or such other material as approved by the Director of Planning. As required by, and not in addition to the requirements of, REZ2022-00031, a row of evergreen trees (such as Green Giant Arborvitae or Leyland Cypress) planted at a minimum height of six (6) feet and in two staggered, offset

Staples Mill Road Partners, LLC

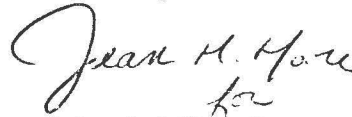
October 21, 2025

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rows no further apart than ten (10) feet on center, unless otherwise approved at the time of landscape plan review, will be planted along the eastern edge of the Preservation Area as shown on the Concept Plan. The fence or wall will be constructed and the evergreen trees will be planted on top of a variable width undulating earthen berm, up to two feet in height, designed and constructed as approved at the time of landscape plan review.

The Planning Department has been advised of the action of the Board of Supervisors and will revise its records.

Sincerely,

A handwritten signature in cursive script, appearing to read "Jean H. More".

for  
John A. Vithoulkas  
County Manager

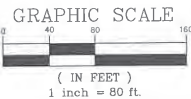
pc: Andrew M. Condlin  
Director, Real Estate Assessment



LINE	BEARING	LENGTH
L1	S13°32'30"E	9.50'
L2	S21°08'40"W	77.30'
L3	S66°30'00"W	4.60'
L4	S23°30'00"E	40.00'
L5	N66°30'00"E	26.80'
L6	S68°52'20"E	71.06'
L7	S66°30'00"W	63.34'
L8	N78°19'00"E	116.72'
L9	N78°19'00"E	108.14'
L10	N78°19'00"E	8.58'
L11	N11°41'00"W	50.00'
L12	N14°05'15"W	27.92'
L13	S78°19'00"W	137.88'
L14	N11°41'00"W	22.10'

#### ADJACENT OWNERSHIP

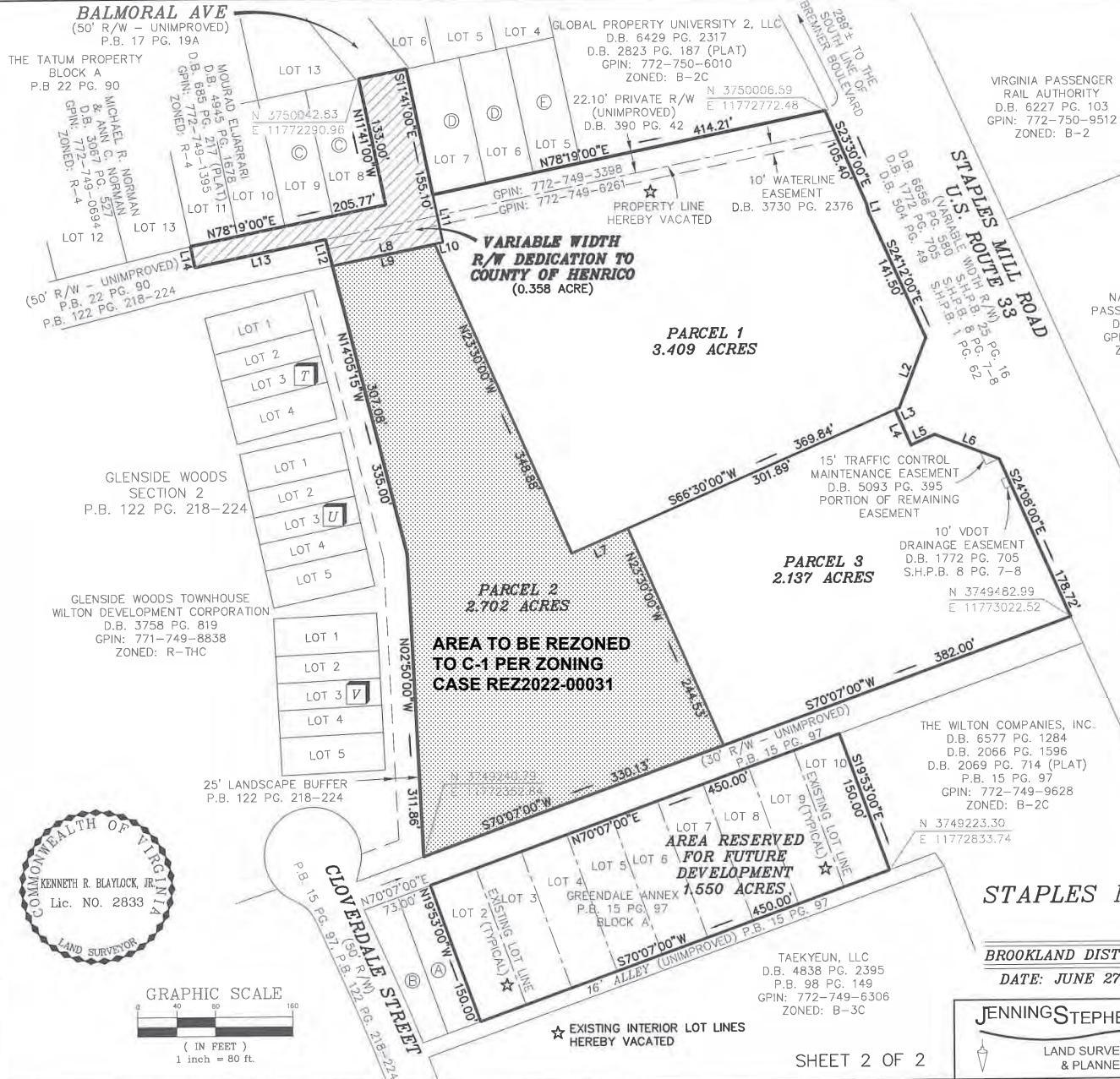
- (A) HOWARD G. CARTER  
W.B. 137 PG. 2105  
GPIN: 772-749-3613  
ZONED: R-4
- (B) HOWARD G. CARTER  
W.B. 137 PG. 2105  
GPIN: 772-749-3211  
ZONED: R-4
- (C) MOURAD ELJARRARI  
D.B. 4945 PG. 1678  
D.B. 1707 PG. 380 (PLAT)  
GPIN: 772-750-1910  
ZONED: R-3
- (D) SUSAN M. SPATIG  
D.B. 1445 PG. 257  
GPIN: 772-750-4100  
ZONED: R-4
- (E) ROBERT J. HAYES  
& BRENDA H. HAYES  
D.B. 4078 PG. 2573  
D.B. 1151 PG. 348 (PLAT)  
GPIN: 772-750-4515  
ZONED: R-3



APPROVED BY THE HENRICO COUNTY  
PLANNING COMMISSION AND/OR  
DIRECTOR OF PLANNING

DATE \_\_\_\_\_ ACTING SECRETARY/AGENT \_\_\_\_\_

REZ-2025-101721



Final Approval as  
Granted by the  
Director of Planning  
7/1/25  
CLG

Received  
June 27, 2025  
Henrico County  
Planning

## STAPLES MILL ROAD PARTNERS SECTION 1

BROOKLAND DISTRICT \* HENRICO COUNTY, VIRGINIA  
DATE: JUNE 27, 2025 SCALE: 1" = 80'

JENNINGSSTEPHENSON P.C.  
LAND SURVEYORS & PLANNERS  
10160 STAPLES MILL ROAD  
SUITE 103  
GLEN ALLEN, VA 23060  
PHONE - 804-545-6235  
FAX - 804-545-6259  
J.N. 21-742

SUB2025- 101268

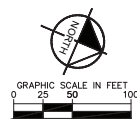
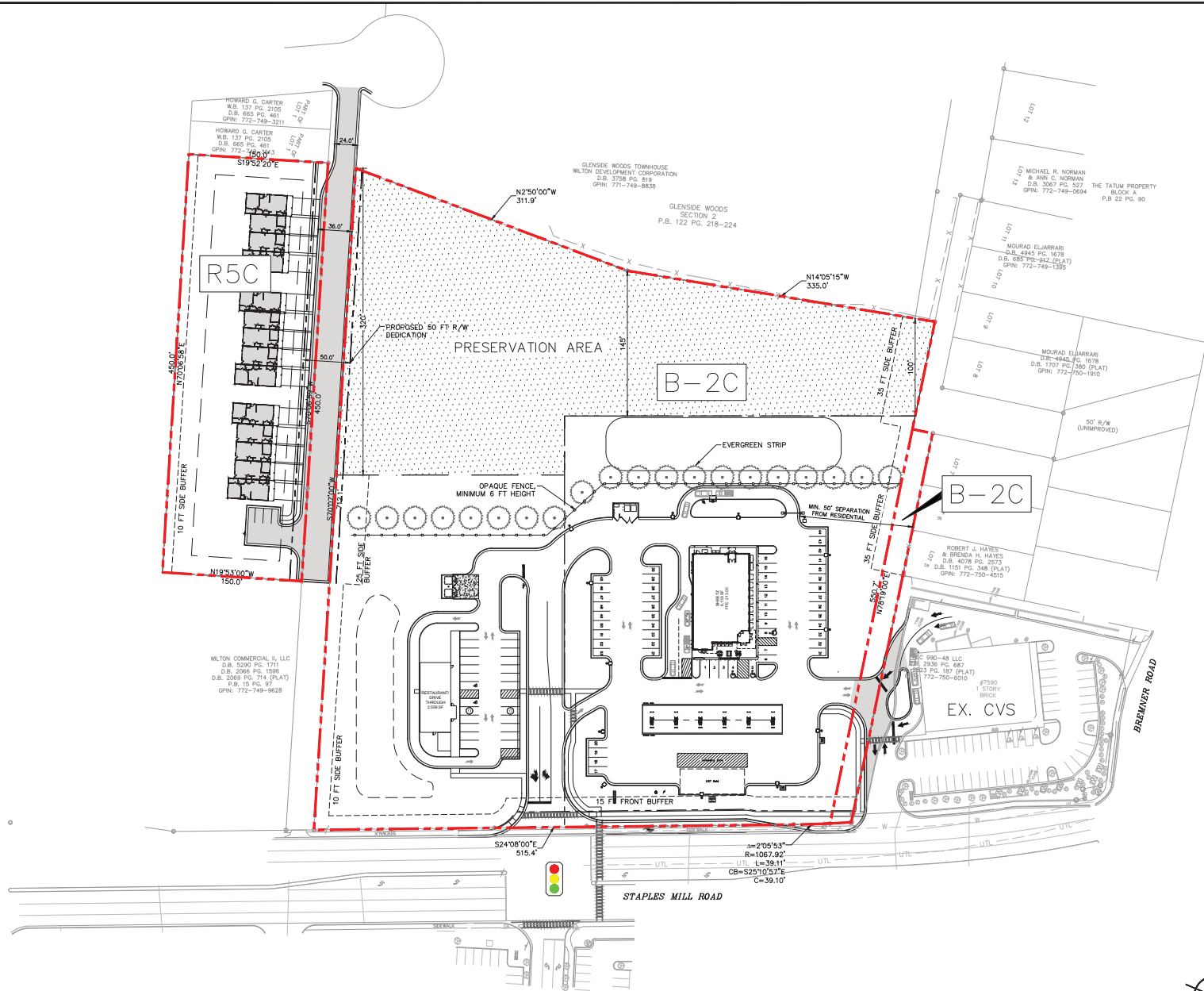
7/1/25

Final Staff Plan 2/2

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REZ2022-00031

EXHIBIT A



COMMERCIAL DEV. @ STAPLES MILL AND BREMNER		ZONING EXHIBIT		Kimley»Horn		© 2023 KIMLEY-HORN AND ASSOCIATES, INC. 2035 MAYNELL STREET, SUITE 200, ROANOKE, VA 24060 WWW.KIMLEY-HORN.COM		REVISIONS		BY	
SHEET NUMBER		1		KHA PROJECT		11/21/2023		DATE		NO.	
VA		HENRICO COUNTY		SCALE AS SHOWN		STW		DESIGNED BY		DATE	
				DRAWN BY		STW		CHECKED BY			
				REP							