

REZ-2025-101725

Zoning

Master-Planned Development

Tuckahoe District

400

Feet



PS July 2025

Ref. 741-741-1794



COUNTY OF HENRICO

October 21, 2025

John A. Vithoulkas
County Manager

Wilton Commercial II, LLC
4901 Dickens Road, Suite 100
Henrico, VA 23230

Re: Rezoning Case REZ-2025-101725

Dear Sir/Madam:

The Board of Supervisors at its meeting on October 14, 2025, approved your request to conditionally rezone from B-1C Business District (Conditional) and B-2C Business District (Conditional) to R-6C General Residence District (Conditional) Parcel 741-741-1794 containing 2.66 acres located on the south line of Patterson Avenue (State Route 6) approximately 220' west of its intersection with Pump Road, described as follows:

BEGINNING at an iron rod on the south line of State Highway Route 6 (Patterson Avenue) 196.66 feet west of the west line of Pump Road extended where it intersects the south line of Patterson Avenue; thence leaving the south line of Patterson Avenue South 03°14'45" West 179.01 feet to a PK nail; thence South 86°45'15" East 15.72 feet to a PK nail; thence South 03°14'45" West 120.95 feet to an iron rod; thence North 86°45'15" West 395.72 feet to an iron rod; thence North 03° 14' 45" East 299.96 feet to an iron rod on the south line of Patterson Avenue; thence continuing along the south line of Patterson Avenue South 86°45'15" East 380.00 feet to the point of beginning. Area: 115,886 sq. ft. 2.66 acres.

The Board of Supervisors accepted the following conditions, dated September 10, 2025, which further regulate the above-described property in addition to all applicable provisions of Chapter 24, Code of Henrico (Zoning Ordinance):

1. **Conceptual Plan.** Development of the Property shall be in general conformance with the Conceptual Plan dated August 9, 2024 entitled "Wilton Canterbury Green", prepared by Freeman Morgan Architects and attached hereto (the "Concept Plan")(see case file), which Concept Plan is conceptual in nature and may vary in detail as may be approved by County review staff at the time of Plan of Development.
2. **Architectural Treatment.** Any new buildings constructed on the property shall have a style and design substantially consistent with the elevations and materials board, attached hereto (see case file).

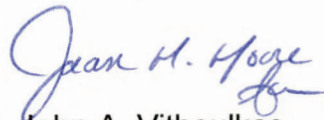
3. **Height.** No proposed buildings constructed on the Property shall be 80 feet in height, unless otherwise requested and specifically approved at the time of Plan of Development.
4. **Density.** There shall be no more than 150 residential units developed on the Property.
5. **Underground Utilities.** Except for junction boxes, meters, existing overhead utility lines and those utility services required to be above grade for technical or environmental reasons, all proposed utility lines serving the building shall be underground.
6. **Sound Suppression.** Interior walls and floors/ceilings between dwelling units shall have a minimum sound transmission coefficient rating of 54. A cross-sectional detail, reviewed, and approved by a certified architect or engineer as to the methodology to accomplish the sound coefficient rating, shall be included in the building permit application.
7. **Signage.** Any detached sign shall be ground mounted and monument style.
8. **Construction Hours.** During the construction of the development on the Property the hours of exterior construction shall be limited to 7:00 a.m. to 7:00 p.m. Monday through Friday. Saturday hours shall be limited to 8:00 a.m. to 5:00 p.m. Exceptions to these restrictions are permitted in the case of emergencies or where unusual circumstances require extending the specific hours in order to complete work such as concrete pours or utility connections. Signs containing the above information shall be displayed in English and Spanish.
9. **Sidewalks.** A sidewalk, with a minimum width of 5 feet, shall be provided along Patterson Avenue for the length of the Property. The site shall feature an internal pedestrian system that connects to the public sidewalk .
10. **Amenities.** The Phase I building rooftop shall contain amenities for residents, which may include, but shall not be limited to, a pickleball court, fire pit, recreation area, or other gathering space. The specific amenities shall be determined at the time of Plan of Development.
11. **Building Setbacks.**
 - a. **Patterson Avenue.** A minimum fifteen (15) foot building setback shall be provided adjacent to the boundary of the Property adjoining Patterson Avenue.
 - b. **Eastern Boundary.** A minimum fifteen (15) foot building setback shall be provided adjacent to the eastern boundary of the Property for the Phase I

Building. A minimum thirty (30) foot building setback shall be provided adjacent to the eastern boundary of the Property for the Phase II Building.

- c. **Southern Boundary.** A minimum twenty-five (25) foot building setback shall be provided adjacent to the southern boundary of the Property.
 - d. **Western Boundary.** A minimum thirty (30) foot building setback shall be provided adjacent to the western boundary of the Property.
12. **Buffers.** Any encroachments into the required transitional buffers shall be mitigated through the use of alternative landscaping, as approved by the Planning Director at the time of Plan of Development.
13. **Severance.** The unenforceability, elimination, revision or amendment of any proffer set forth herein, in whole or in part, shall not affect the validity or enforceability of the other proffers or the unaffected part of any such proffer.

The Planning Department has been advised of the action of the Board of Supervisors and will revise its records.

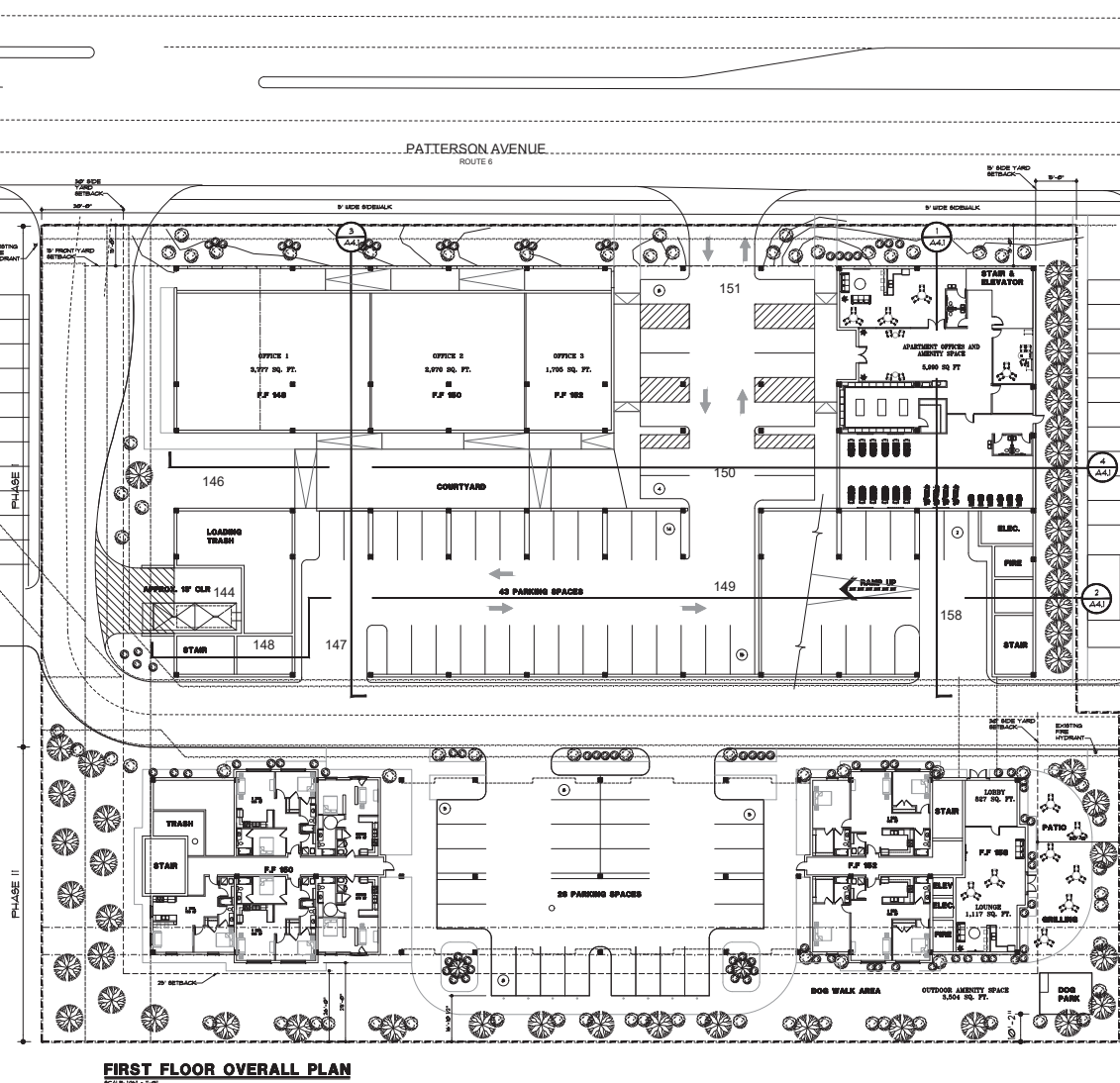
Sincerely,



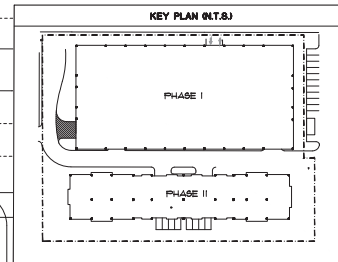
John A. Vithoukas
County Manager

pc: Simon Mueller, KBJW
Director, Real Estate Assessment
Henrico County Public Schools

SQUARE FOOTAGE			
PHASE I			
			SQUARE FOOTAGE
RESIDENTIAL			87,144
RESIDENTIAL OFFICE AND AMENITIES			6,117
RESIDENTIAL CORRIDORS, STAIRS, MISC			16,756
OFFICE SPACE			8,450
LOADING, VERTICAL CIRCULATION, MISC			6,021
TOTAL			106,488
PHASE II			
			SQUARE FOOTAGE
RESIDENTIAL			57,912
RESIDENTIAL CORRIDORS, STAIRS, MISC			14,844
RESIDENTIAL OFFICE AND AMENITIES			1,030
TOTAL			73,786
SITE GRAND TOTAL			180,274
APARTMENT UNIT COUNT			
PHASE I			
1 BDR/STUDIO =	28 UNITS	28 ROOMS	
2 BEDROOM =	32 UNITS	64 ROOMS	
3 BEDROOM =	10 UNITS	30 ROOMS	
TOTAL	70 UNITS	122 ROOMS	
PHASE II			
1 BDR/STUDIO =	16 UNITS	16 ROOMS	
2 BEDROOM =	48 UNITS	96 ROOMS	
TOTAL	64 UNITS	112 ROOMS	
SITE GRAND TOTAL	134 UNITS	234 ROOMS	
PARKING			
PHASE I		REQ'D.	PROVIDED
OFFICE (4 PER 1,000 SQ FT)		34	
RESIDENTIAL (1 PER BEDROOM)		122	
TOTAL:		156	307
PHASE II		REQ'D.	PROVIDED
OFFICE (4 PER 1,000 SQ FT)		4	
RESIDENTIAL (1 PER BEDROOM)		112	
TOTAL:		116	26
SITE GRAND TOTAL		272	333



FIRST FLOOR OVERALL PLAN
 SCALE: 1/8" = 1'-0"



BUILDING AREA	
PHASE I	
OFFICE	8,452
APARTMENT OFFICE AND AMENITIES	5,990
ROOF	10,108
PROVIDED COMMERCIAL SPACE	24,550
TOTAL BUILDING AREA	106,488
REQUIRED COMMERCIAL SPACE, 15%	15,973
PHASE II	
APARTMENT AMENITIES	1,030
OUTDOOR AMENITIES	3,400
PROVIDED COMMERCIAL SPACE	4,430
TOTAL BUILDING AREA	73,786
REQUIRED COMMERCIAL SPACE 15%	11,068
PHASE I AND II	
TOTAL BUILDING AREA	180,274
REQUIRED COMMERCIAL SPACE	27,041
PROVIDED COMMERCIAL SPACE	28,980





PHASE I - NORTH ELEVATION

SCALE: 1/16" = 1'-0"



WEST ELEVATION

SCALE: 1/16" = 1'-0"



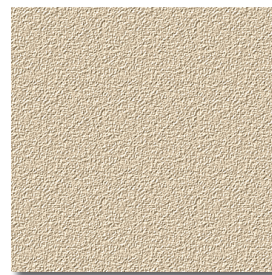
E.I.F.S. COLOR #1 | CORNICE

MASTER WALL INC - #210 "LONDON WHITE"
FINISH - FINE SAND



E.I.F.S. COLOR #2 | FIELD

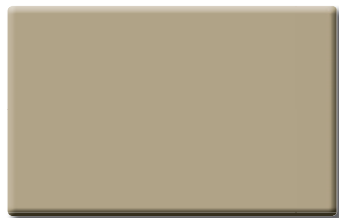
MASTER WALL INC - #301 "CHINA WHITE"
FINISH - FINE SAND



E.I.F.S. COLOR #3 | ACCENT

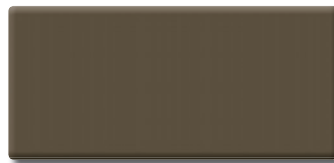
MASTER WALL INC - #460 "AMARILLO"
FINISH - FINE SAND

EXTERIOR INSULATION AND FINISH SYSTEM



PRE-FINISHED METAL COPING

COLOR: SIERRA TAN



PRE-FINISHED ALUMINUM STOREFRONT

KAWNEER - MEDIUM BRONZE PERMAFLUOR OR SIMILAR



TIE ROD CANOPY

"BRONZE"



CUSTOM METAL GRILLEWORK

MISCELLANEOUS METALS



BRICK COLOR #1 | FIELD
GENERAL SHALE - "HAMILTON"

MORTAR - WORKRITE WR2380 "RIVERSTONE"



BRICK COLOR #2 | FIELD & ACCENT
GENERAL SHALE - "FORT MCHENRY"

MORTAR - WORKRITE WR2073 "MALT"



ARCHITECTURAL CALCIUM SILICATE MASONRY UNITS

ARRISCRAFT - "CAFE" SMOOTH FINISH

MASONRY